

PRELIMINARY  
NOT FOR CONSTRUCTION

**SAFETY / SECURITY  
ALTERATIONS**  
CITY OF NORTHFIELD  
801 WASHINGTON STREET  
NORTHFIELD, MN 55057

NATURE / SEAL

FOR  
REFERENCE  
ONLY

NOT FOR  
CONSTRUCTION

## SYNOPSIS

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DUPLICATE DATE  
MAY 26, 2021

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SHEET NAME

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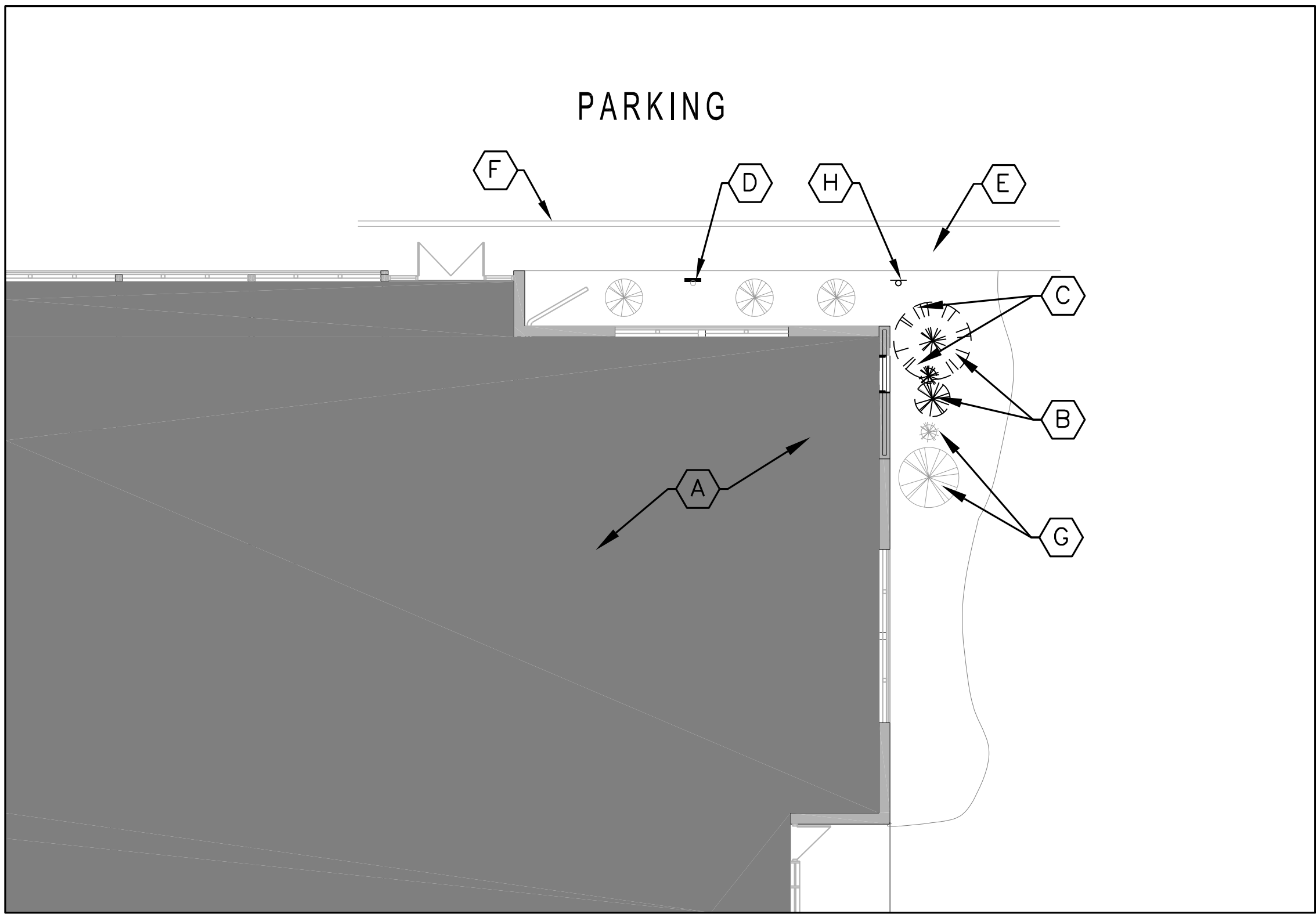
S&R PROJECT NO.  
0031.1

VISION NO.

SHEET NUMBER

# A0.0





1 SITE DEMOLITION PLAN  
A0.1 SCALE: 1"=10'

SITE DEMOLITION GENERAL NOTES

CONTRACTOR SHALL BE RESPONSIBLE TO VISIT THE SITE AND BE COMPLETELY FAMILIAR WITH SITE FEATURES, ELEMENTS AND ACCESS. NO ADDITIONAL COMPENSATION WILL BE PROVIDED BY THE OWNER FOR THOSE SITE FEATURES, ELEMENTS AND ACCESS ISSUES WHICH ARE READILY KNOWN THROUGH A SITE VISIT.

THE CONTRACTOR SHALL BE RESPONSIBLE TO DOCUMENT THE AS-BUILT SITE ELEMENTS, SITE FEATURES AND GRADES.

CONTRACTOR SHALL COORDINATE ALL WORK IN THE R.O.W. AND PARK PROPERTY WITH THE CITY OF NORTHFIELD. CONTRACTOR TO FOLLOW CITY OF NORTHFIELD STANDARD PLATES AND SPECIFICATIONS IN THE R.O.W. AND WITHIN THE CITY'S PROPERTY.

IN ACCORDANCE WITH STATE LAW, PRIOR TO EXCAVATION OR GRADING ON ANY SITE: UTILITIES MUST BE LOCATED. CALL GOPHER STATE ONE CALL AT 1-800-252-1166 OR 651-454-0002 TO SCHEDULE UTILITY LOCATIONS FOR THIS SITE. [MS 216D.01-216D.07]

CONTRACTOR SHALL HAVE ALL UNDERGROUND PUBLIC AND PRIVATE UTILITIES LOCATED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.

DO NOT BEGIN CONSTRUCTION UNTIL RELATED TEMPORARY SITE EROSION CONTROL MEASURES ARE IN PLACE. NOT ALL TEMPORARY SITE EROSION CONTROL MEASURES REQUIRED MAY, OR HAVE BEEN, SHOWN ON THE CONSTRUCTION DOCUMENTS. WHETHER SHOWN OR NOT, DOES NOT RELIEVE THE CONTRACTOR OF BEING RESPONSIBLE FOR THE EROSION CONTROL MEASURES BEING INSTALLED AND/OR MAINTAINED.

CONTRACTOR SHALL PROTECT EXISTING VEGETATION AND SITE FEATURES WHICH ARE TO REMAIN. ALL SITE FEATURES DAMAGED BY CONTRACTOR (INCLUDING TURF AREAS), NOT SCHEDULED TO BE REMOVED, SHALL BE REPAIRED/REPLACED BY CONTRACTOR TO OWNERS SATISFACTION AT NO ADDITIONAL COST TO THE OWNER.

PROTECT EXISTING TREES TO REMAIN AT DRIPLINE, AND AS NECESSARY OR AS SHOWN ON THE DEMOLITION PLAN. NO CONSTRUCTION MATERIAL SHALL BE STORED OR PLACED BENEATH OR WITHIN THE TREE(S) DRIPLINE.

ALL OVERHEAD/UNDERGROUND UTILITIES NOT INDICATED TO BE REMOVED SHALL REMAIN.

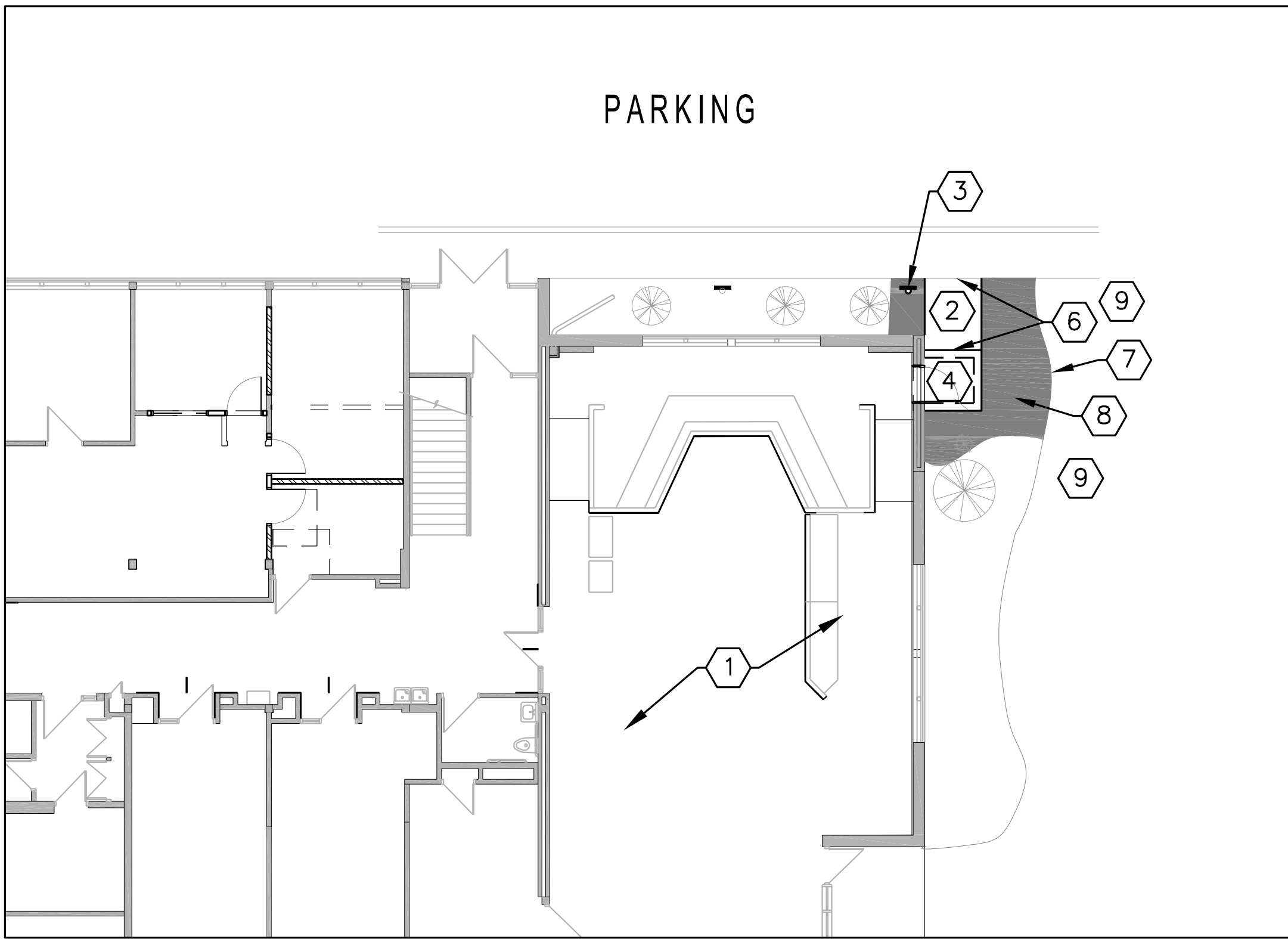
REMOVAL OF PAVEMENTS AND/OR CURBS SHALL INCLUDE FULL DEPTH REMOVAL OF PAVEMENT/CURBS, AND EXISTING BASE AGGREGATE MATERIAL. EXISTING BASE AGGREGATE MATERIAL SHALL BE TESTED BY OWNERS TESTING AGENT TO BE DETERMINED IF SUITABLE FOR REUSE. SEE SECTION 01 22 00 FOR ADDITIONAL INFORMATION.

DEMOLITION LEGEND

- PROTECT TREES
- CURB REMOVALS
- CONCRETE REMOVALS
- BIO-ROLL TEMPORARY EROSION CONTROL
- INLET PROTECTION TEMPORARY EROSION CONTROL

DEMOLITION PLAN KEYNOTES

- PROTECT EXISTING BUILDING
- REMOVE EXISTING TREE(S) AND SHRUB(S) INCLUDING ALL TRUNK(S) AND ROOTS. DISPOSE OF MATERIAL OFF SITE
- REMOVE EXISTING LANDSCAPE EDGING AND MULCH. DISPOSE OF MATERIAL OFF SITE
- PROTECT EXISTING SIGNS
- PROTECT EXISTING PAVEMENT TO REMAIN.
- PROTECT CURB & GUTTER TO REMAIN.
- PROTECT EXISTING TREE(S) TO REMAIN
- SALVAGE SIGN POST AND SIGN FOR REINSTALLATION INTO PROJECT



2 SITE LAYOUT & SOD PLAN  
A0.1 SCALE: 1"=10'

SITE LAYOUT GENERAL NOTES

CONTRACTOR SHALL BE RESPONSIBLE TO VISIT THE SITE AND BE COMPLETELY FAMILIAR WITH SITE FEATURES, ELEMENTS AND ACCESS. NO ADDITIONAL COMPENSATION WILL BE PROVIDED BY THE OWNER FOR THOSE SITE FEATURES, ELEMENTS AND ACCESS ISSUES WHICH ARE READILY KNOWN THROUGH A SITE VISIT.

CONTRACTOR TO COORDINATE ALL WORK IN THE R.O.W. AND CITY PROPERTY WITH THE CITY OF NORTHFIELD, MN. CONTRACTOR TO FOLLOW CITY OF NORTHFIELD, MN STANDARD PLATES AND SPECIFICATIONS IN THE R.O.W. AND CITY PROPERTY

CONTRACTOR SHALL HAVE ALL UNDERGROUND PUBLIC AND PRIVATE UTILITIES LOCATED PRIOR TO CONSTRUCTION.

DO NOT BEGIN CONSTRUCTION UNTIL RELATED TEMPORARY SITE EROSION CONTROL MEASURES ARE IN PLACE, AND HAVE BEEN APPROVED BY GOVERNING AUTHORITY IF AND AS REQUIRED.

ALL DIMENSIONS ARE TAKEN FROM EXISTING FINISHED FACE OF BUILDING, UNLESS OTHERWISE NOTED. ALL COORDINATES ON RADII ARE TO CENTER OF RADIUS.

ALIGN EDGES OF WALKS WITH BUILDING WALLS AND/OR STOOPS AS SHOWN, UNLESS OTHERWISE NOTED.

CONTRACTOR SHALL MATCH REPLACEMENT PAVEMENTS GRADES BACK TO PRIOR/EXISTING CONDITIONS, AS SHOWN ON DRAWINGS, AND/OR SHALL MATCH UP WITH ADJOINING PAVEMENT OR SITE ELEMENTS, UNLESS OTHERWISE NOTED.

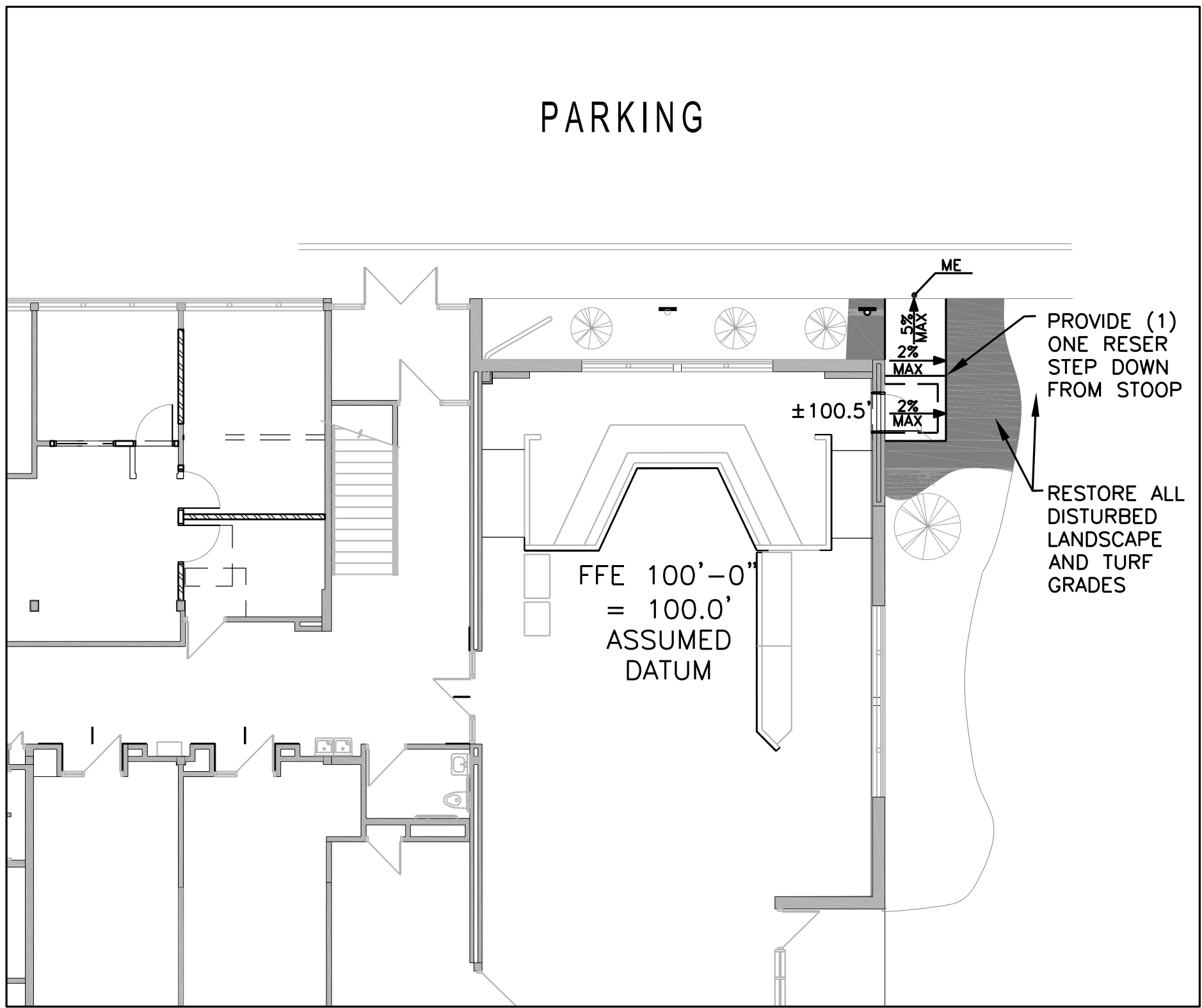
NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR COORDINATION AND SEQUENCING, DELAYS, INCONVENIENCE OR DAMAGE SUSTAINED BY THE CONTRACTOR DUE TO INTERFERENCE FROM THE UTILITIES AND APPURTENANCES OR THE OPERATIONS OF MOVING OR INSTALLING THEM.

PROTECT ALL EXISTING TREES TO REMAIN FROM CONSTRUCTION ACTIVITY. INSTALL TREE PROTECTION MEASURES AROUND ALL TREES IN IMMEDIATE VICINITY OF CONSTRUCTION ACTIVITY.

CONTRACTOR SHALL BE RESPONSIBLE TO PROPER REPAIR ANY AFFECTED DISTURBED TURF, PLANTING BED, OR BARK MULCH AREAS BACK TO EXISTING GRADE AND CONDITIONS, AND/OR OWNER'S APPROVAL.

SITE LAYOUT PLAN KEYNOTES

- EXISTING BUILDING
- REINFORCED CONCRETE PAVEMENT
- RELOCATED EXG SIGN
- BUILDING STOOP - SEE ARCH PLANS
- CONCRETE CONTROL JOINT
- CONCRETE EXPANSION JOINT
- PROVIDE NEW LANDSCAPE EDGING
- PROVIDE NEW LANDSCAPE SHREDDED BARK MULCH
- RESTORE GRADES AND SOD ALL DISTURBED AREAS



3 SITE GRADING PLAN  
A0.1 SCALE: 1"=10'

SITE GRADING PLAN GENERAL NOTES

CONTRACTOR SHALL BE RESPONSIBLE TO VISIT THE SITE AND BE COMPLETELY FAMILIAR WITH SITE FEATURES, ELEMENTS AND ACCESS. NO ADDITIONAL COMPENSATION WILL BE PROVIDED BY THE OWNER FOR THOSE SITE FEATURES, ELEMENTS AND ACCESS ISSUES WHICH ARE READILY KNOWN THROUGH A SITE VISIT.

NO SURVEY DATUM WAS ACQUIRED FOR THIS PROJECT. THE CONTRACTOR SHALL BE REQUIRED TO VERIFY AND GENERATE A EXISTING VERIFICATION PLAN FOR THE PURPOSES OF PROPERLY GRADING THE SITE AND FOR ASSURANCE THAT SITE FEATURES WILL FUNCTION PROPERLY. THE CONTRACTOR SHALL ACQUIRE OWNER'S AND ARCHITECTS APPROVAL PRIOR TO PROCEEDING WITH FINAL GRADING AND ESTABLISHMENT OF PAVEMENT GRADES. CONTRACTOR SHALL SUBMIT AS-BUILT VERIFICATION PLAN PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.

CONTRACTOR SHALL HAVE ALL UNDERGROUND PUBLIC AND PRIVATE UTILITIES LOCATED PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL MATCH REPLACEMENT PAVEMENTS GRADES BACK TO PRIOR/EXISTING CONDITIONS, AS SHOWN ON DRAWINGS, AND/OR SHALL MATCH UP WITH ADJOINING PAVEMENT OR SITE ELEMENTS, UNLESS OTHERWISE NOTED.

CONTRACTOR SHALL BE RESPONSIBLE TO PROPERLY MATCH NEW SITE PAVEMENT ELEMENTS TO ADJOINING INTERIOR FINISHED FLOOR ELEVATIONS AND/OR TO MATCH ADJOINING CONCRETE PAVEMENT AND CURBS, WHERE NECESSARY

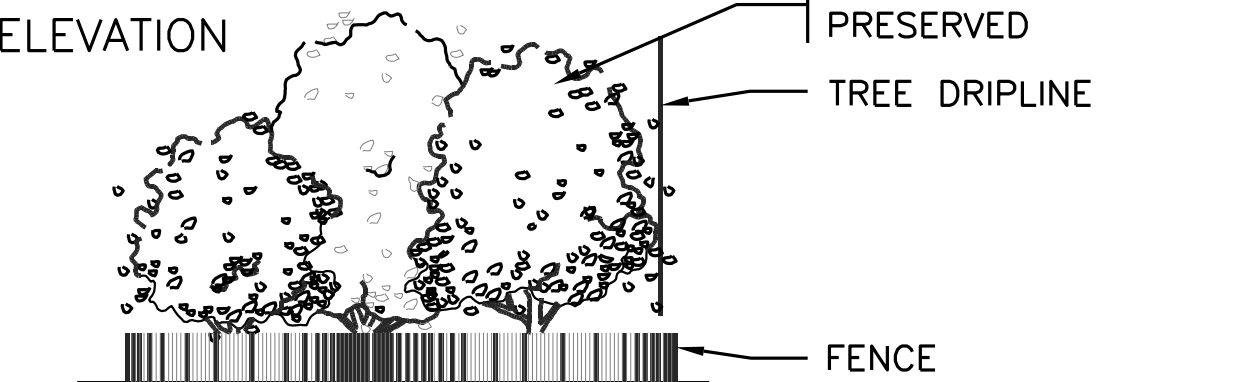
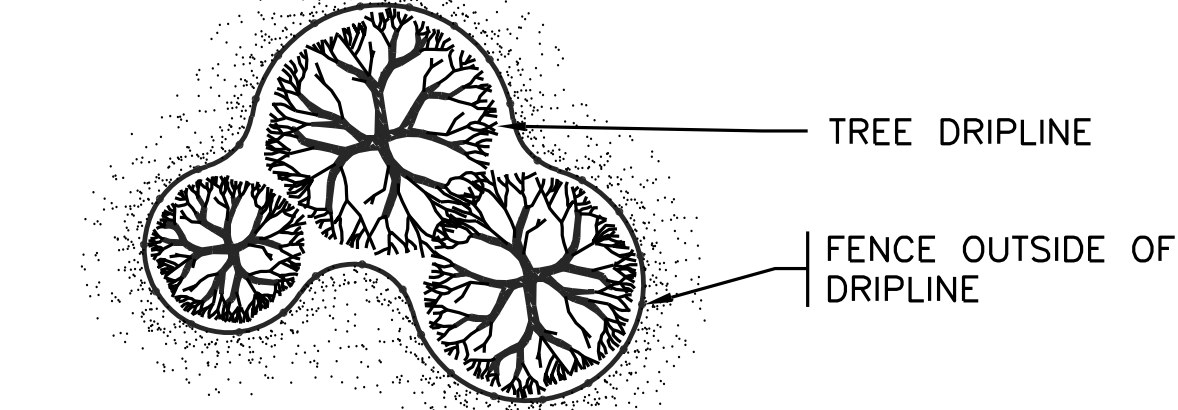
PROTECT ALL EXISTING TREES TO REMAIN FROM CONSTRUCTION ACTIVITY. INSTALL TREE PROTECTION MEASURES AROUND ALL TREES IN IMMEDIATE VICINITY OF CONSTRUCTION ACTIVITY.

CONTRACTOR SHALL BE RESPONSIBLE TO PROPER REPAIR ANY AFFECTED DISTURBED TURF, PLANTING BED, OR BARK MULCH AREAS BACK TO EXISTING GRADE AND CONDITIONS, AND/OR OWNER'S APPROVAL.

GRADING PLAN LEGEND

- FFE - FINISH FLOOR ELEVATION
- HP - HIGH POINT
- LP - LOW POINT
- G.B. - GRADE BREAK
- ME - MATCH EXISTING

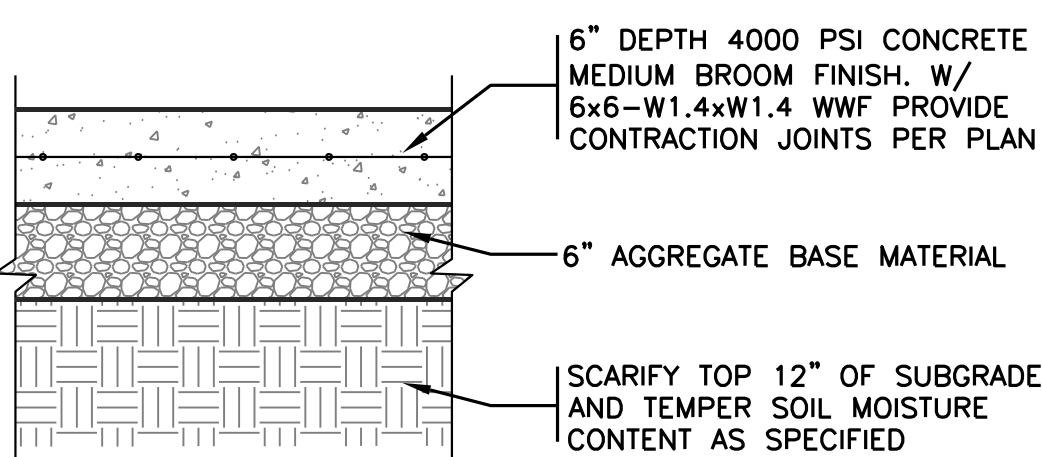
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ERECT PROTECTIVE FENCE PRIOR TO ANY CONSTRUCTION ACTIVITY. DO NOT STORE ANY EQUIPMENT OR MATERIALS WITHIN THE PROTECTED AREA. REMOVE THE FENCE ONLY AFTER CONSTRUCTION OPERATIONS ARE COMPLETED.

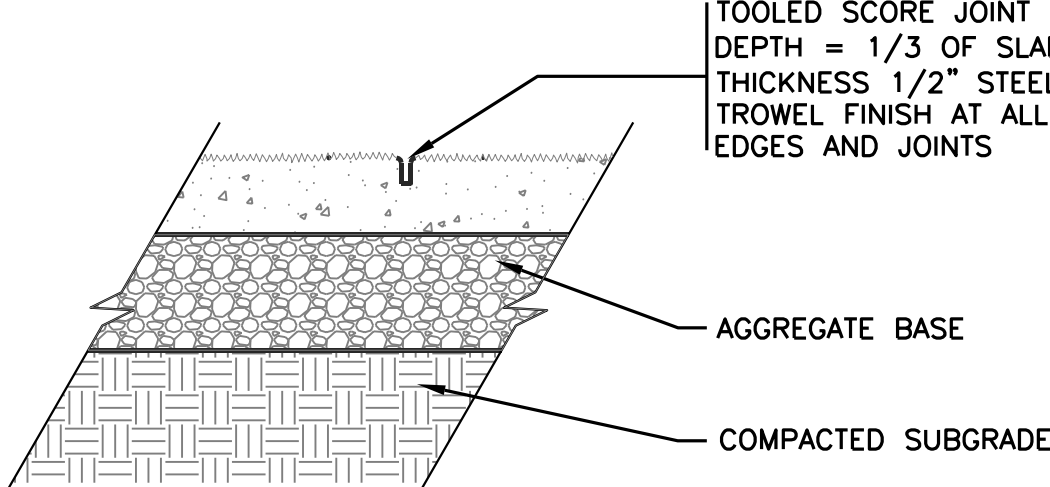
4 TREE PROTECTION  
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NOT TO SCALE



5 REINFORCED CONCRETE PAVEMENT AT SIDEWALKS  
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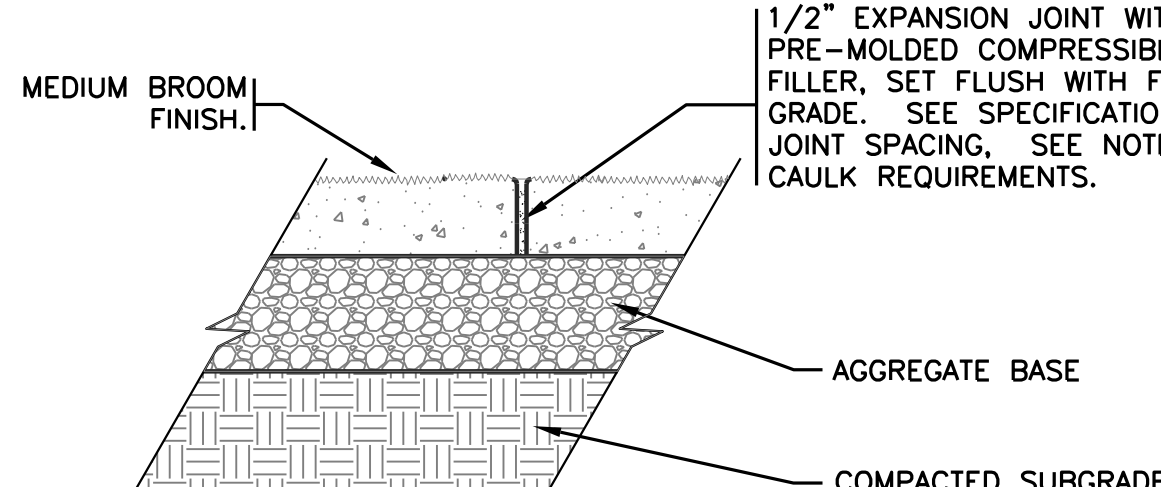
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6 CONTRACTION JOINT  
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NOT TO SCALE

NOTE: CAULK ALL EXPANSION JOINTS AT LOCATIONS ADJACENT TO BUILDING, CONCRETE STOOPS, AND COLUMNS, OR AS CALLED OUT IN THE SPECIFICATIONS. RECESS 1/2" FROM FINISHED GRADE, COVER TOP IF CAULKED.



7 EXPANSION JOINT  
A0.1

NOT TO SCALE

REVISIONS

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ALTERATIONS  
CITY OF NORTHFIELD  
801 WASHINGTON STREET  
NORTHFIELD, MN 55057

SIGNATURE / SEAL

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KEYPLAN

DRAWN BY

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ISSUED FOR

95% REVIEW SET

ISSUE DATE

MAY 26, 2021

SHEET NAME

SITE DEMOLITION,  
LAYOUT AND GRADING  
PLANS; SITE DETAILS

AT&S&R PROJECT NO.

20031.1

REVISION NO.

SHEET NUMBER



## REVISIONS

NORTHFIELD CITY HALL  
SAFETY / SECURITY  
ALTERATIONS  
CITY OF NORTHFIELD  
801 WASHINGTON STREET  
NORTHFIELD, MN 55057

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KEYPLAN

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ANALYSIS PLANSATS&R PROJECT NO.  
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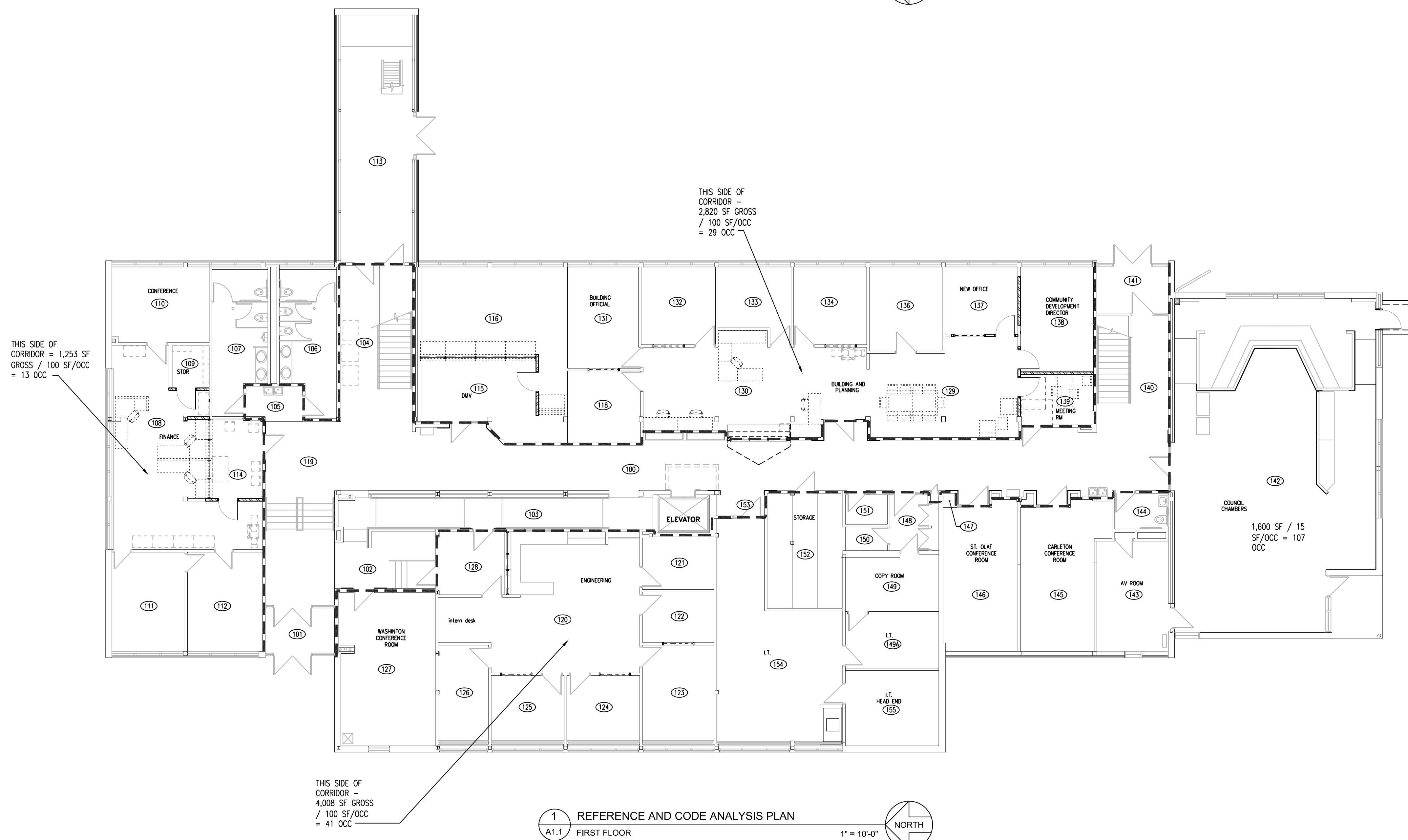
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| ROOM NUMBER | ROOM NAME          |
|-------------|--------------------|
| 100         | CORRIDOR           |
| 101         | VESTIBULE          |
| 102         | CORRIDOR           |
| 103         | RAMP               |
| 104         | CORRIDOR           |
| 105         | ALCOVE             |
| 106         | WOMEN              |
| 107         | MEN                |
| 108         | FINANCE            |
| 109         | STORAGE            |
| 110         | CONFERENCE         |
| 111         | OFFICE             |
| 112         | OFFICE             |
| 113         | MECHANICAL         |
| 114         | WAITING            |
| 115         | WAITING            |
| 116         | DMV                |
| 118         | OFFICE             |
| 119         | CORRIDOR           |
| 120         | ENGINEERING        |
| 121         | PRINT ROOM         |
| 122         | OFFICE             |
| 123         | OFFICE             |
| 124         | OFFICE             |
| 125         | OFFICE             |
| 126         | OFFICE             |
| 127         | CONFERENCE         |
| 128         | OFFICE             |
| 129         | ADMINISTRATION     |
| 130         | BUILDING & PLANN'G |
| 131         | BUILDING OFFICIAL  |
| 132         | OFFICE             |
| 133         | OFFICE             |
| 134         | OFFICE             |
| 136         | OFFICE             |
| 137         | OFFICE             |
| 138         | COMM DEV DIR       |
| 139         | MEETING            |
| 140         | CORRIDOR           |
| 141         | VESTIBULE          |
| 142         | COUNCIL CHAMBERS   |
| 143         | AUDIO-VISUAL       |
| 144         | UNISEX             |
| 145         | CONFERENCE         |
| 146         | CONFERENCE         |
| 147         | CLOSET             |
| 148         | ENTRY              |
| 149         | COPY               |
| 149A        | I.T.               |
| 150         | STORAGE            |
| 151         | JANITOR            |
| 152         | STORAGE            |
| 153         | ALCOVE             |
| 154         | I.T.               |
| 155         | I.T. HEAD END      |

| ROOM NUMBER | ROOM NAME       |
|-------------|-----------------|
| 200         | CORRIDOR        |
| 201         | CORRIDOR        |
| 202         | BREAK           |
| 203         | CONFERENCE      |
| 204         | OFFICE          |
| 205         | JANITOR         |
| 206         | ELEV EQUIP      |
| 208         | STORAGE         |
| 209         | TRAINING        |
| 210         | ENTRY           |
| 213         | HALLWAY         |
| 214         | MECHANICAL      |
| 215         | MENS            |
| 216         | WOMENS          |
| 217         | STORAGE         |
| 218         | CORRIDOR        |
| 220         | STORAGE         |
| 221         | OFFICE          |
| 222         | OFFICE          |
| 223         | OFFICE          |
| 224         | OFFICE          |
| 226         | HUMAN RESOURCES |
| 227         | OFFICE          |
| 228         | OFFICE          |
| 229         | OFFICE          |
| 230         | T.V.            |
| 231         | MEETING         |
| 232         | OFFICE          |
| 233         | OFFICE          |
| 234         | OFFICE          |

1A  
A1.1 REFERENCE AND CODE ANALYSIS PLAN  
SECOND FLOOR

1" = 10'-0" NORTH

1  
A1.1 REFERENCE AND CODE ANALYSIS PLAN  
FIRST FLOOR

1" = 10'-0" NORTH

## GOVERNING CODES

2020 MINNESOTA BUILDING CODE  
2020 MINNESOTA ENERGY CODE (ASHRAE 90.1-2016)  
2020 MINNESOTA FIRE CODE  
2020 MINNESOTA ACCESSIBILITY CODE  
2015 MINNESOTA PLUMBING CODE  
2020 MINNESOTA MECHANICAL AND FUEL GAS CODE  
2020 NATIONAL ELECTRICAL CODE

## CODE PLAN GENERAL NOTES

- BUILDING IS TYPE IIB, NON-SPRINKLED, B OCCUPANCY.
- EXISTING 1-HOUR CORRIDORS ARE BEING MAINTAINED WHERE THEY ARE AFFECTED BY CONSTRUCTION.
- NO CHANGE TO EXISTING BUILDING EXITING.
- BUILDING IS FULLY ACCESSIBLE: PARKING, TOILETS, ACCESSIBLE ROUTE, SO 20% RULE DOES NOT APPLY AS ACCESSIBILITY HAS BEEN FULLY MET.

## LEGEND:

--- EXISTING FIRE PARTITION (NEW AT NEW CONSTRUCTION ON CORRIDOR WALLS): 1 HR WITH 20 MINUTE DOORS, 45 MINUTE WINDOWS, 1.5 HOUR FIRE/SMOKE DAMPER, WIRE GLAZING - 100 SQ IN MAX (IBC TABLES 715.4, 715.5 & 715.5.3). FIRE DAMPERS (ONLY) MAY BE ELIMINATED PER 716.5.2



## SEQUENCING GENERAL NOTES

1. CONTRACTORS SHALL FOLLOW THE CONSTRUCTION SEQUENCES INDICATED FOR ALL WORK ON THIS PROJECT, AND SHALL PROVIDE SUFFICIENT MANPOWER TO MEET THE DEADLINES FOR EACH SEQUENCE. ANY CHANGES THAT CONTRACTOR(S) DESIRE TO MAKE TO THESE SEQUENCES MUST BE APPROVED BY THE OWNER WELL IN ADVANCE - AT LEAST ONE SEQUENCE AHEAD.
2. OWNER SHALL OCCUPY THE BUILDINGS THROUGHOUT CONSTRUCTION. CONTRACTORS SHALL MAINTAIN CONDITIONS SUITABLE FOR OCCUPANCY IN ALL AREAS NOT UNDER CONSTRUCTION IN THE CURRENT SEQUENCE.
3. ANY REQUIRED INTERRUPTIONS OF ELECTRICAL, FIRE ALARM, WATER, AND/OR HEATING/COOLING SERVICE TO OCCUPIED AREAS, INCLUDING THOSE REQUIRED TO SWITCH OVER BREAKER PANELS, MUST BE DONE BEFORE/AFTER BUSINESS HOURS. PLAN FOR OVERTIME AND/OR SECOND SHIFT WORK AS REQUIRED TO ACHIEVE THIS. IF INTERRUPTIONS DURING THE BUSINESS DAY ARE CONSIDERED UNAVOIDABLE BY CONTRACTOR(S), REQUEST MUST BE MADE AND PRIOR APPROVAL MUST BE GRANTED BY ARCHITECT AND OWNER AT LEAST 2 WEEKS PRIOR TO SERVICE INTERRUPTION.
4. FIRE ALARM SYSTEM MUST BE OPERATIONAL IN OCCUPIED/COMPLETED AREAS OF THE BUILDING AT ALL TIMES. IF THE FIRE ALARM SUB-CONTRACTOR FAILS TO PROVIDE AN OPERATIONAL SYSTEM IN OCCUPIED/COMPLETED AREAS, THIS SUB-CONTRACTOR SHALL PROVIDE A FIRE WATCH AT THEIR EXPENSE.
5. ALL SAWCUTTING/DRILLING, ETC. THROUGH OR INTO FLOORS, ROOFS, MASONRY WALLS, ETC. (DISRUPTIVE NOISE) IN OR DIRECTLY ADJACENT TO THE EXISTING BUILDING SHALL BE COORDINATED WITH THE OWNER.
6. WORK IN CORRIDORS THAT CREATES DISRUPTIVE NOISE/ EXCESSIVE DEBRIS, SUCH AS CERAMIC TILE/CBD/STUD WALL DEMOLITION, AND VCT FLOORING REMOVAL SHALL BE DONE BEFORE/AFTER BUSINESS HOURS OR ON WEEKENDS. CONTRACTOR SHALL PLAN FOR OVERTIME AND/OR SECOND SHIFT WORK AS REQUIRED TO ACHIEVE THIS.
7. INSTALL TEMPORARY PLASTIC BARRIERS OR PARTITIONS AS SHOWN AND AS REQUIRED TO SEPARATE EACH SEQUENCE'S CONSTRUCTION AREA FROM THE OCCUPIED PORTIONS OF THE BUILDING AND TO PROVIDE DUST CONTROL. COORDINATE THESE PARTITION LOCATIONS WITH THE OWNER AND THE LOCAL FIRE CHIEF FOR APPROVAL OF MODIFIED EXITING AND TO MAINTAIN ACCEPTABLE OCCUPANT CIRCULATION. IN CORRIDORS AND STAIRWELLS, MAINTAIN CIRCULATION PATHWAY AT LEAST 4' WIDE DURING BUSINESS HOURS.
8. CONTROL DUST WITH TEMPORARY BARRIERS AND METHODS SUCH AS VACUUM DRYWALL SANDERS, COVERING RETURN DUCTWORK, ETC - REFER TO SPEC.
9. FLOORING MOISTURE MITIGATION AND FLOORING INSTALLATION SHALL BE DONE BEFORE/AFTER BUSINESS HOURS AND WEEKENDS (WITH EXCEPTION FOR L2 INSTALLATION ON FRIDAY AS SHOWN ON SEQUENCING SCHEDULE BELOW). CONTRACTOR SHALL PLAN FOR OVERTIME AND/OR SECOND SHIFT WORK AS REQUIRED TO ACHIEVE THIS.
10. OWNER SHALL RETAIN USE OF ALL PARKING LOTS AND ON-STREET PARKING OTHER THAN THAT DESIGNATED FOR CONSTRUCTION PARKING/STAGING.
11. CONTRACTOR SHALL PARK ON ADJACENT BASKETBALL COURT (PLOWED IN WINTER FOR EXCESS PARKING), ACCESSED OVER SIDEWALK FROM 9TH ST. E. NO PARKING IN CITY LOT DURING BUSINESS HOURS.
12. CONTRACTOR SHALL PROVIDE CONSTRUCTION FENCING AROUND CONSTRUCTION AREA (MIN 6'-0" HT CHAIN LINK) AS REQUIRED. FENCING SHALL REMAIN UNTIL NO HAZARDS REMAIN AROUND EXTERIOR PERIMETER OF BUILDING.
13. PROVIDE TEMPORARY EXIT SIGNAGE AS REQUIRED.
14. COVER EXIT SIGNAGE TO EGRESS DOOR THAT ARE INACTIVE DURING CONSTRUCTION.
15. REFER TO SITE STRUCTURE, MECHANICAL AND ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
16. STAGING AREA SIZES AND LOCATIONS ARE ONLY RECOMMENDATION TO THE CONTRACTOR AND MUST BE VERIFIED AND COORDINATE WITH THE OWNER.
17. CONTRACTOR SHALL RESTORE ALL EXISTING CONSTRUCTION/STAGING AREAS TO THEIR EXISTING CONDITION.
18. THESE SEQUENCE TIME FRAMES INCLUDE OWNER'S SYSTEMS FURNITURE DEMOLITION AND INSTALLATION OF NEW FURNITURE - COORDINATE DETAILED SCHEDULES FOR EACH AREA WITH SYSTEMS FURNITURE INSTALLER, INNOVATIVE OFFICE SOLUTIONS.
19. DEPARTMENTS ARE GENERALLY MOVING INTO TRAINING ROOM 209 WHILE THEIR DEPARTMENTS ARE BEING REMODELED - ONE DAY IS BEING SET ASIDE BETWEEN DEPARTMENTS WORK SEQUENCES TO ALLOW MOVE IN / MOVE OUT. NO/MINIMAL CORRIDOR WORK IN PATH OF TRAVEL (BOTH STAIR AND ELEVATOR) BETWEEN THOSE DEPARTMENTS ON THAT DAY.

## CONSTRUCTION SEQUENCING

|   |   |
|---|---|
| 6' HIGH CHAIN LINK CONSTRUCTION FENCING       | START DATE - SUBSTANTIAL  |
| TEMPORARY BARRIER / PARTITION                 | 1 = SEPTEMBER 1, 2021 - SEPTEMBER 31, 2021<br>-CONSTRUCTION OF EXTERIOR STOOP, SIDEWALK AND RELATED EXTERIOR WORK (NO CUTTING INTO EXISTING BUILDING THIS SEQUENCE)   |
| MAINTAIN PATH OF EGRESS DURING BUSINESS HOURS | 1A= NOVEMBER 1, 2021 - MARCH 14, 2022<br>(THROUGHOUT CONSTRUCTION, COORDINATE WORK AT EACH DOOR WITH OWNER AND NOTIFY 2 WEEKS PRIOR)<br>-CARD READER / ELECT STRIKE INSTALLATION AT DOORS/ROOMS THAT HAVE NO OTHER WORK/NOT SHOWN ON THIS SEQUENCING PLAN         |
|   | 2 = NOVEMBER 1, 2021 - NOVEMBER 23, 2021 (3.5 WEEKS)<br>-FINANCE DEPT<br>-HUMAN RESOURCES DEPT (FORMER RICE COUNTY)<br>(NOVEMBER 24 DEPARTMENT MOVE DAY)  |
|   | 3 = NOVEMBER 26, 2021 - DECEMBER 14, 2021 (2+ WEEKS)<br>-DMV DEPT (BUILDING CLOSED FOR BUSINESS ON NOV. 26TH, CONTRACTOR WORK ALLOWED).<br>(DECEMBER 15 DEPARTMENT MOVE DAY)  |
|   | 4 = DECEMBER 8, 2021 - DECEMBER 31, 2021 (3+ WEEKS)<br>-COUNCIL CHAMBER INCLUDING EXTERIOR DOOR, LINTEL, EXTERIOR MASONRY WALL PATCHING AND INTERIOR WORK<br>-L VENDING ALCOVE MASONRY/WALL/PATCHING (BY ALTERNATE)<br>-ENGINEERING DEPT                          |
|   | 5 = DECEMBER 16, 2021 - JANUARY 13, 2022 (3+ WEEKS)<br>-ENGINEERING DEPT<br>(JANUARY 14 DEPARTMENT MOVE DAY)  |
|   | 6 = JANUARY 17 2022 - FEBRUARY 24, 2022 (5.5 WEEKS)<br>-BUILDING AND PLANNING   |
|   | 6A= JANUARY 31, 2022 - FEBRUARY 24, 2022 (~4 WEEKS)<br>-FIRST FLOOR CORRIDOR WALL TILING / RUBBER BASE DEMO / WALL PAINTING<br>-NORTH STAIRWELL WALL TILING / PAINTING<br>(FEBRUARY 25 DEPARTMENT MOVE DAY)   |
|   | 7 = FEBRUARY 14 - MARCH 10 2022 (~4 WEEKS)<br>-SECOND FLOOR CORRIDOR WALL TILING / RUBBER BASE DEMO / WALL PAINTING / VENDING RECESS / BENCHING<br>-SOUTH STAIRWELL WALL TILING / PAINTING  |
|   | 8 = FEBRUARY 28, 2022 - MARCH 10, 2022 (1.5+ WEEKS)<br>-ADMINISTRATION<br>-IT (FORMER HUMAN RESOURCES)<br>-TECHNOLOGY - CABLING/TERMINATIONS THROUGHOUT, SECURITY SYSTEMS TESTING/ADJUSTMENTS   |
|   | 8A= MARCH 7, 2022 - MARCH 10, 2022<br>BEFORE AND AFTER BUSINESS HOURS: L1 AND L2 CORRIDOR FLOORING/BASE DEMOLITION  |
|   | 9= MARCH 11, 12, 13, 2022 (FRI, SAT, SUN)<br>-FRIDAY DURING BUSINESS HOURS: L2 CORRIDOR FLOORING INSTALLATION.<br>-FRIDAY AFTER BUSINESS HOURS, SATURDAY, SUNDAY IF NEEDED: L1 CORRIDOR MOISTURE MITIGATION (IF ALTERNATE IS ACCEPTED) AND FLOORING INSTALLATION. |
|   | 10= MARCH 14, 2022<br>CORRIDOR FLOORING BASE INSTALLATION<br>(MARCH 16 DEPARTMENT MOVE DAY)   |

CONSTRUCTION SEQUENCING PLANS

ISSUE DATE  
MAY 26, 2021  
SHEET NAME

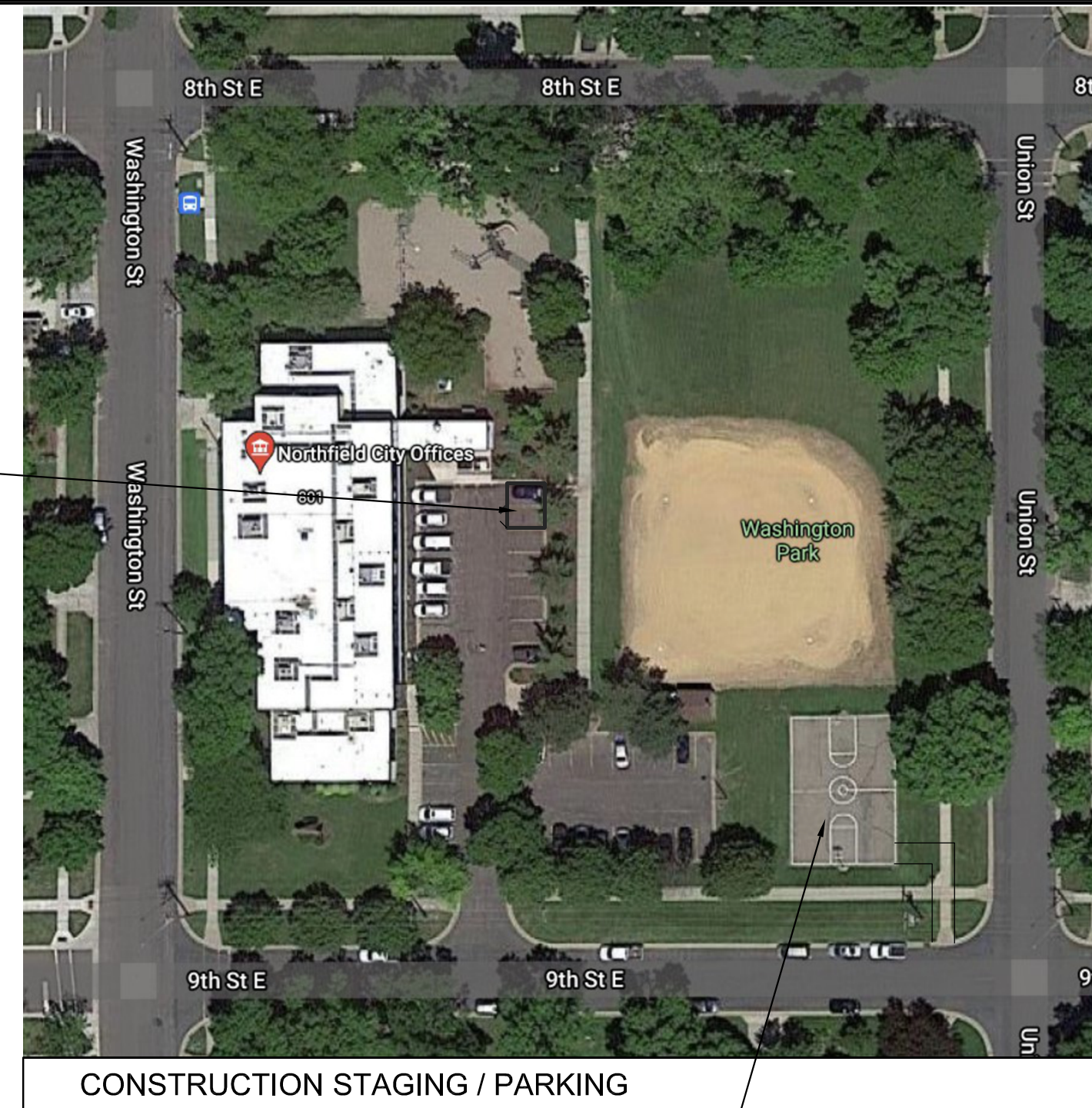
CONSTRUCTION  
SEQUENCING PLANS

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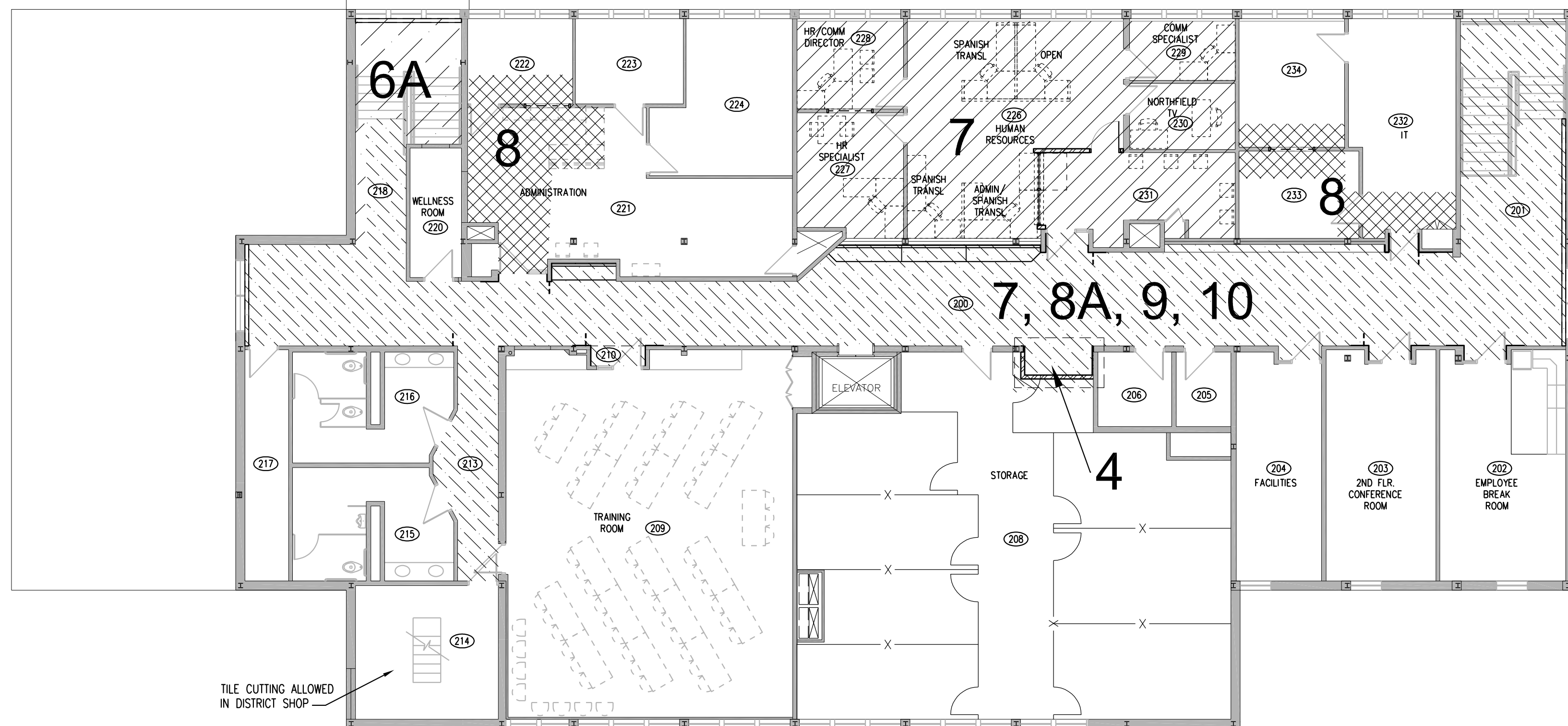
A1.2



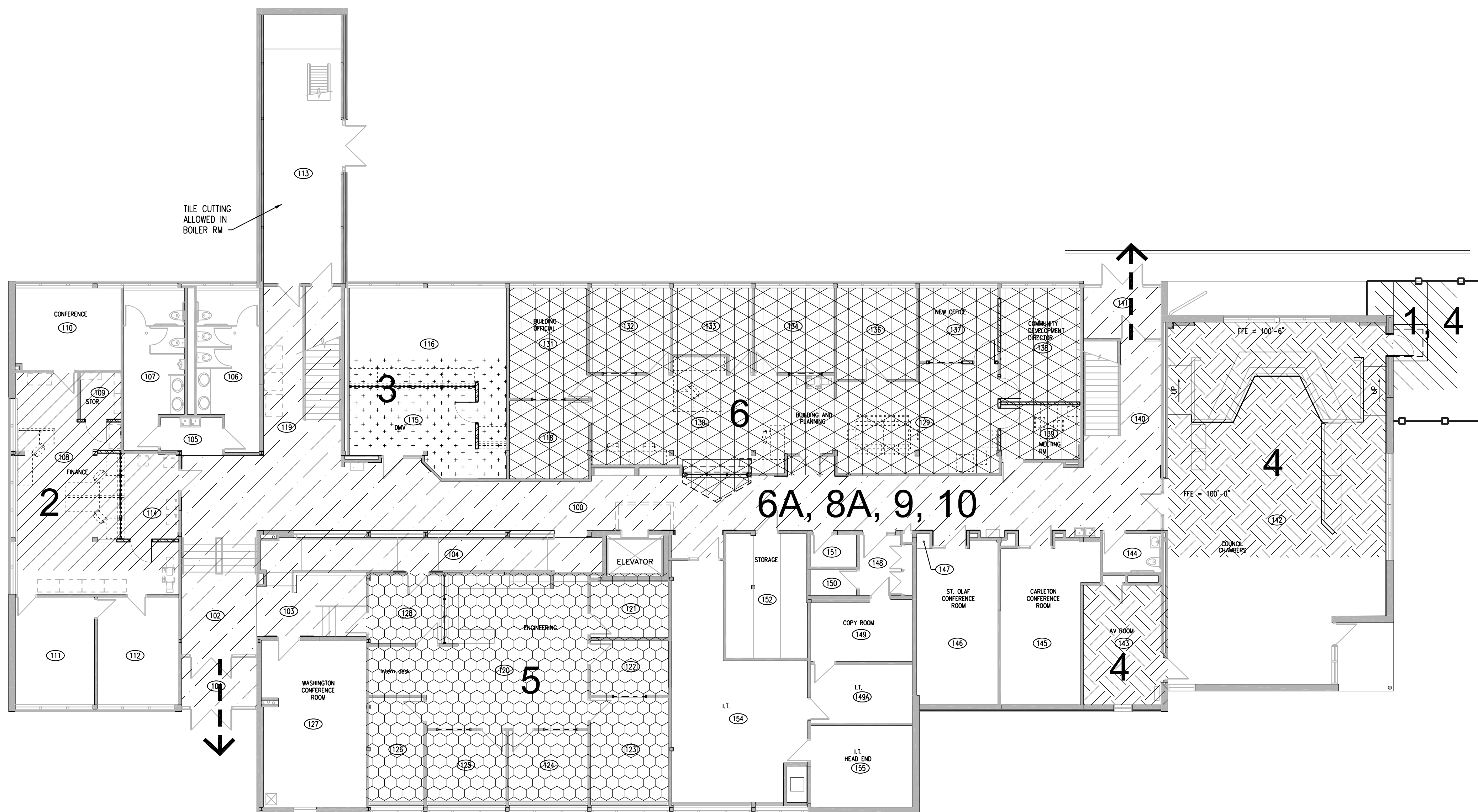
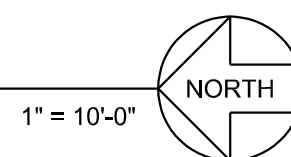
CONSTRUCTION STAGING / PARKING

CONSTRUCTION PARKING  
ON BB COURT

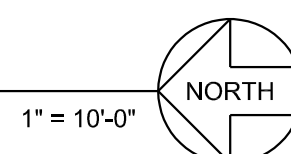
CONST STAGING - TWO  
PARKING SPOTS



1A REFERENCE AND CODE ANALYSIS PLAN  
A1.1 SECOND FLOOR



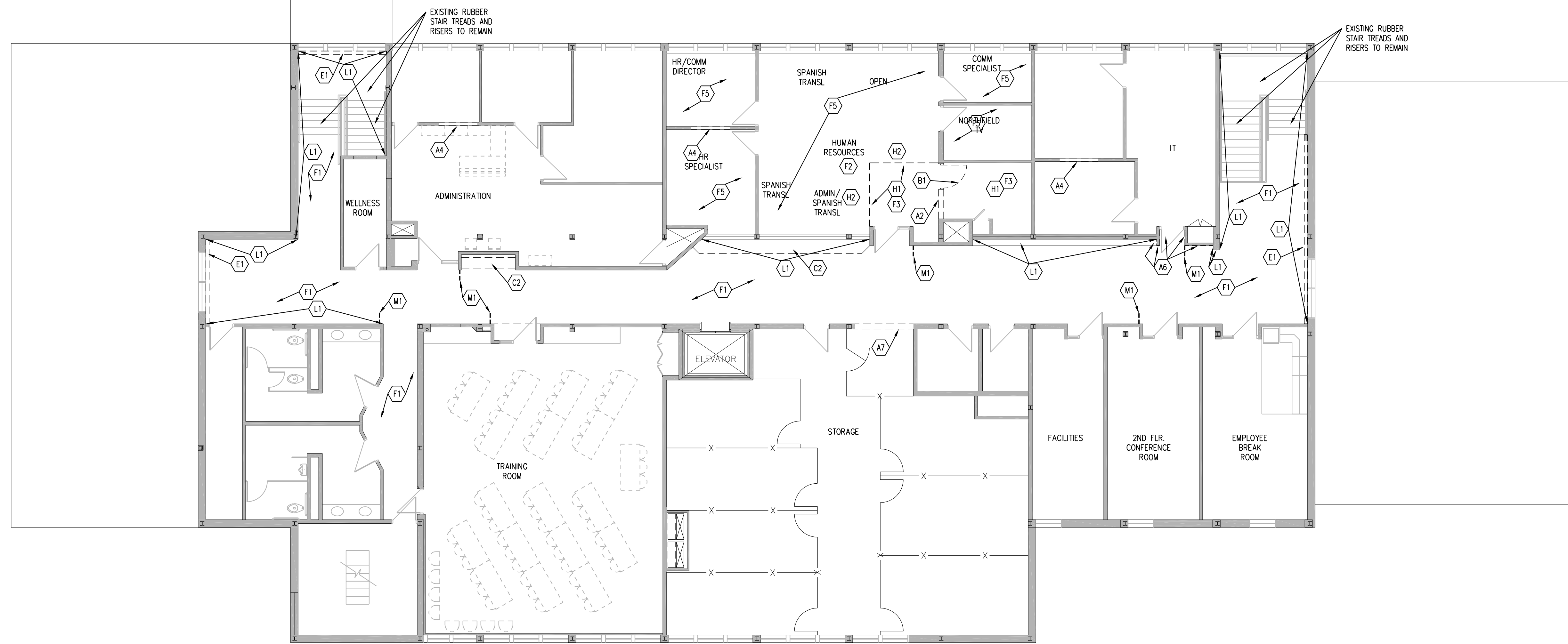
1 REFERENCE AND CODE ANALYSIS PLAN  
A1.1 FIRST FLOOR





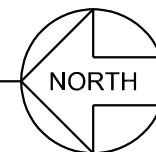






1 SECOND FLOOR  
A2.2 DEMOLITION PLAN

1/8" = 1'-0"



#### GENERAL DEMOLITON NOTES

- ALL OPENINGS CUT INTO EXISTING MASONRY WALLS SHALL BE LARGE ENOUGH TO RECEIVE LINTEL ABOVE AND MASONRY AT JAMBS AND SILL TO MATCH EXISTING ADJACENT MATERIALS. REFER TO FLOOR PLANS FOR FINISHED OPENING DIMENSIONS.
- INFORMATION FROM EXISTING DRAWINGS HAS BEEN USED IN THE PREPARATION OF THESE DOCUMENTS. CONTRACTORS SHALL VERIFY ALL INFORMATION RELATING TO THE WORK, INCLUDING BUT NOT LIMITED TO THE LOCATION OF EXISTING BUILDING UTILITIES.
- REFER TO OTHER ARCHITECTURAL DRAWINGS AND TO STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION AND ALTERATION INFORMATION.
- REMOVE & SALVAGE ALL DESIRED EQUIPMENT AND FIXTURES PRIOR TO COMMENCEMENT OF DEMOLITION. PROVIDE TEMPORARY LIGHTING AND POWER BY ELECTRICAL CONTRACTOR.
- NOTIFY THE OWNER OF THE PRESENCE OF HAZARDOUS MATERIAL(S) IN WORK AREAS.
- EACH CONTRACTOR DISCIPLINE SHALL SAWCUT & REMOVE PORTIONS OF EXISTING FLOORS, WALLS, CEILINGS & ROOF AS REQUIRED TO ACCOMMODATE THEIR WORK (COORDINATE WORK W/OTHER RELATED CONTRACTOR DISCIPLINES). GENERAL CONTRACTOR SHALL PATCH ADJACENT SURFACES TO MATCH.
- WHEN EXISTING WALLS, CASEWORK, AND OTHER ELEMENTS ARE REMOVED, PATCH ALL EXG-TO-REMAIN ADJACENT SURFACES TO MATCH EXISTING, TO ACHIEVE CLEAN, MATCHING ADJACENT SURFACE TEXTURES. THIS INCLUDES GRINDING AND PATCHING OF FLOORS AND WALLS THAT MAY BE REQUIRED AT REMOVED MASONRY WALLS.
- COORDINATE DEMOLITION OF WALLS WHICH INCLUDE EXISTING ELECTRICAL PANELS WITH ELECTRICAL CONTRACTOR.
- CONTRACTOR SHALL COORDINATE DEMOLITION WORK WITH NOT-IN-CONTRACT SYSTEMS FURNITURE SUPPLIER, WHO WILL BE DEMOLISHING EXISTING SYSTEMS FURNITURE IN WORK AREAS.
- SEE ROOM FINISH SCHEDULES ON FLOOR PLAN SHEETS FOR EXISTING WALL, FLOOR, & CEILING MATERIALS
- AT WALLS TO BE TILED, REMOVE ALL EXISTING EQUIPMENT & DEVICES (DOOR STOPS, HOLD OPENS, SIGNAGE, ETC), AS REQUIRED FOR TILING WORK. REINSTALL AT SAME LOCATION UNLESS CALLED TO BE DEMOLISHED. REPLACE ANY ITEMS DAMAGED BY REMOVAL WITH EQUAL. ELECT SHALL REMOVE & REINSTALL ALL EXIST-TO-REMAIN ELECT DEVICES & PROVIDE EXTENSION RINGS AS REQUIRED.

#### DEMOLITION PLAN NOTES

- A1 REMOVE PORTION OF EXG MAS WALL AS REQ FOR NEW DOOR FRAME, LINTEL AND JAMBS - SEE FLOOR PLAN AND DETAILS.
- A2 REMOVE EXG GBD AND STL STUD PARTITION FROM FLOOR TO UNDERSIDE OF DECK. PATCH ALL ADJACENT SURFACES TO MATCH EXG.
- A3 REMOVE PORTION OF EXG GBD AND STL STUD PARTITION AS REQ FOR NEW WINDOW, AND REQUIRED STUD FRAMING AROUND NEW OPENING, INCLUDING LOW WALL SUPPORT BELOW WINDOW - SEE FLOOR PLAN AND WINDOW DETAILS. PATCH GBD, STUDS, AND BATT INS TO MATCH EXISTING.
- A4 REMOVE PORTION OF EXG GBD AND STL STUD PARTITION AS REQ FOR NEW WINDOW AND REQUIRED STUD FRAMING AROUND NEW OPENING. REFER TO WINDOW DETAILS. PATCH GBD, STUDS, AND BATT INS TO MATCH EXISTING.
- A5 WITH REMOVAL OF CERAMIC TILE, VERIFY CONDITION OF REMAINING GBD. IF PAPER FACE HAS COME OFF, REMOVE GBD OUT TO NEXT STUD. PATCH WITH GBD WHERE IT WILL BE EXPOSED (NO NEW PCT), WHERE IT WILL BE COVERED WITH NEW PCT (SEE ELEVATIONS). PATCH WITH 5/8" TILE BACKER BOARD. REMOVE AND REINSTALL EXG CEILING AS REQUIRED FOR THIS. MINIMIZE CEILING REMOVAL AS MUCH AS POSSIBLE. IF REMOVAL OF EXG CERAMIC TILE CAUSES ONLY VERY MINOR DAMAGE TO PAPER FACE, AND CONTRACTOR FEELS THAT NEW TILE CAN BE INSTALLED SUCCESSFULLY OVER IT, ARCHITECT WILL REVIEW CONDITION - IF ARCHITECT AGREES, EXISTING GBD CAN REMAIN.
- A6 REMOVE EXG ±3/4" WD PANELING FULL HEIGHT (AND MAIL SLOT) AND PREP FOR NEW GBD INSTALLATION
- A7 SAWCUT AND REMOVE EXG LOAD BEARING CMU AND PLASTER WALL AS REQUIRED FOR LINTEL AND JAMBS. SAWCUT AND GRIND AT FLOOR AS REQ AND INFILL FLOOR AT WALL WITH CONC AND PREP FOR FLOORING.
- B1 REMOVE EXG DOOR & HM FRAME.
- B2 REMOVE EXG WD DOOR & HM FRAME AND SALVAGE DOOR, FRAME AND HARDWARE FOR REINSTALLATION IN SAME ROOM. SEE FLOOR PLAN.
- C1 REMOVE EXG VINEER PLYWOOD AND WOOD TRIM - REFER TO DEMOLITION DETAILS
- C2 AT BENCHING, REMOVE EXG CARPETING COVERING AND PORTION OF PLYWD/WD FRAMING UNDERNEATH TO REVISE BENCHING - REFER TO FLOOR PLAN AND DETAIL
- E1 EXISTING FIN TUBE RADIATION COVER REMOVED AND REINSTALLED BY MC FOR NEW TILE WORK - REFER TO MECHANICAL DRAWINGS.
- F1 REMOVE VCT FLOORING & BASE - PREP FOR NEW FLOOR FINISH
- F2 REMOVE AND REINSTALL EXG MODULAR CPT AS REQUIRED FOR NEW WALL. CUT/REMOVE/REINSTALL PORTION OF EXG RUBBER BASE AS REQ.
- F3 REMOVE EXT CPT AND RUBBER BASE AND PREP FOR NEW FLOOR FINISH
- F4 REMOVE EXT MODULAR CPT AND RUBBER BASE. SALVAGE CARPET FOR REINSTALLATION IN ADJACENT SPACE. PREP FLOOR FOR NEW FLOOR FINISH
- F5 BY ALTERNATE, REMOVE EXT BROADLOOM CPT AND RUBBER BASE AND PREP FOR NEW FLOOR FINISH
- F6 REMOVE EXG CT BASE (EXG CT FLOOR TO REMAIN).
- H1 REMOVE EXG ACT CLG & GRID IN ITS ENTIRETY. SALVAGE CEILING TILES FOR PATCHING AT OTHER LOCATIONS.
- H2 REMOVE AND REINSTALL EXG ACT CEILING AS REQ FOR WORK
- H3 REMOVE PORTION OF EXG GBD CEILING AND PREP FOR PATCHING INTO NEW WALL LOCATION.
- H4 REMOVE EXG ACT CLG & GRID AS REQUIRED FOR NEW GBD SOFFIT. SALVAGE CEILING TILES FOR PATCHING.
- L1 PREP EXG CT WAINSCOT (±6"-1") TO RECEIVE NEW PCT OVER EXG - REFER TO ELEVATIONS.
- L2 REMOVE EXG FULL HT CT
- L3 REMOVE EXG CT ON EAST SIDE AND TOP OF LOW WALL/CURB (±6" H. AT MAIN CORRIDOR SIDE). EXG RAILING TO REMAIN.
- M1 REMOVE EXG PROJECTING "BLADE" SIGNAGE, PATCH WALL, PREP FOR NEW SIGNAGE AS SHOWN ON ELEVATIONS.
- S1 SYSTEMS FURNITURE CONTRACTOR (OWNER'S SEPARATE CONTRACT) WILL REMOVE EXISTING SYSTEMS FURNITURE. ELECTRICAL CONTRACTOR SHALL DISCONNECT EXISTING POWER AND DATA AS REQUIRED.

#### REVISIONS

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MAY 26, 2021

SHEET NAME  
SECOND  
FLOOR DEMOLITION  
PLAN

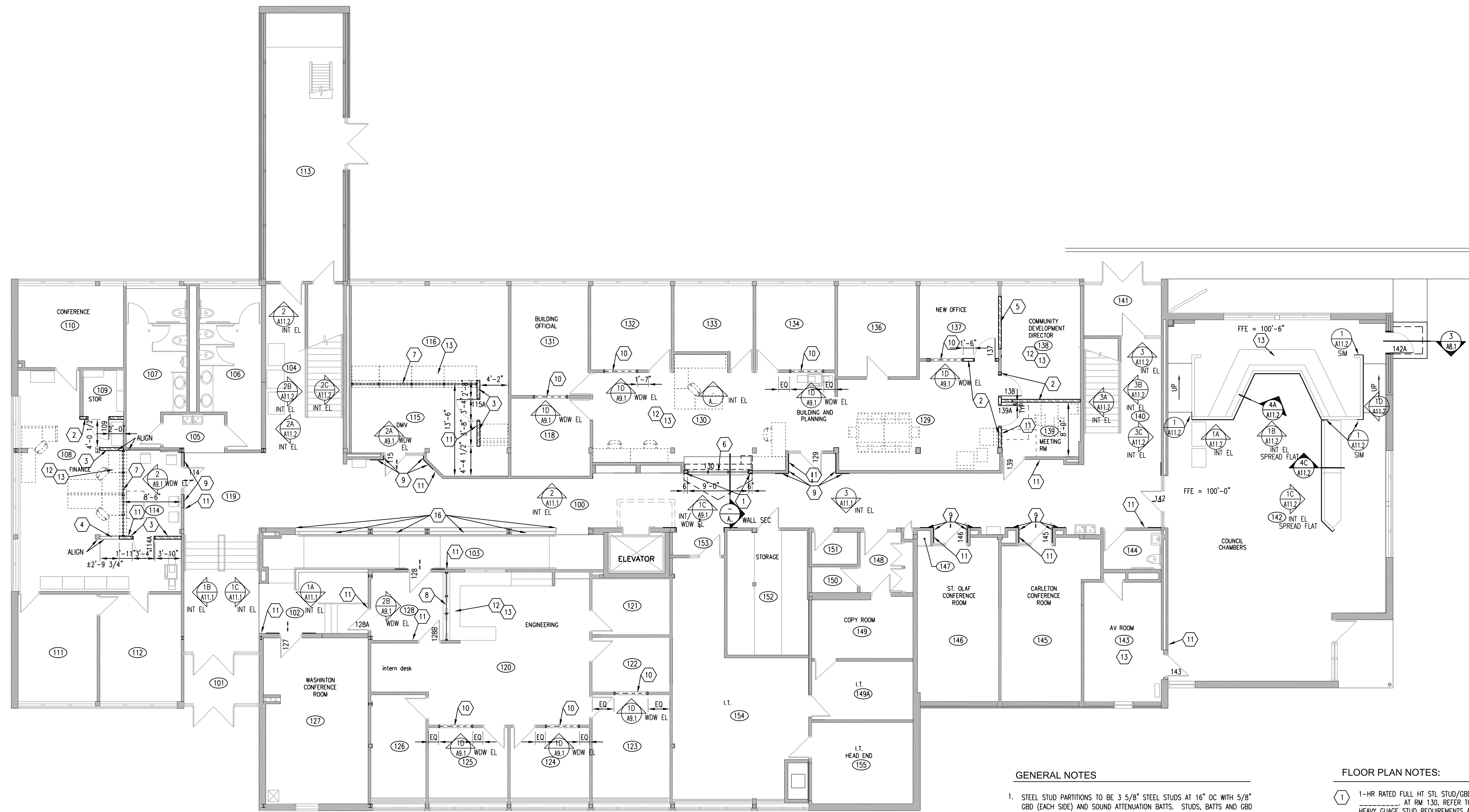
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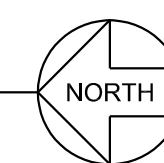
A2.2





1 FIRST FLOOR  
A3.1 FLOOR PLAN

1/8" = 1'-0"



GENERAL NOTES

1. STEEL STUD PARTITIONS TO BE 3 5/8" STEEL STUDS AT 16" OC WITH 5/8" GBD (EACH SIDE) AND SOUND ATTENUATION BATT. STUDS, BATT. AND GBD TO CONTINUE FROM FLOOR TO UNDERSIDE OF DECK ABOVE. TYPICAL UNLESS OTHERWISE NOTED. REFER TO \_\_\_\_\_.
2. COORDINATE ALL ALUMINUM WINDOW FRAMING PLACEMENT AND ASSOCIATED CEILING WORK WITH OWNER'S SEPARATE SYSTEM'S FURNITURE CONTRACTOR, INNOVATIVE OFFICE SOLUTIONS.
3. REFER TO SHEET A3.1 FOR DOOR TYPES.
4. WHERE TILING IS BEING DONE OVER EXISTING CERAMIC TILE, ELECT TO PROVIDE EXTENSION RINGS AT ALL ELECT DEVICES.

FLOOR PLAN NOTES:

- 1-HR RATED FULL HT STL STUD/GBD/ACOUST BATT. PARTITION - REFER TO \_\_\_\_\_ AT RM 130, REFER TO CEILING DOOR JAMB DETAIL FOR SPECIAL HEAVY GLAZE STUD REQUIREMENTS AT JAMBS.
- FULL HT STL STUD/GBD/ACOUST BATT. PARTITION - REFER TO \_\_\_\_\_.
- 3 5/8" 25 GA STL STUDS 16" O.C. UP TO 6" ABOVE CEILING, WITH 5/8" GBD EACH SIDE, BRACE TO STRUCT BOTH WAYS 6'-0" O.C. MAX. REMOVE AND REINSTALL EXG MODULAR CARPET TILES AROUND WALL (CUT OUT BROADLOOM AT WALL AT RM 226, BASE BID - SEE RM FIN SCHED).
- 3'-0" H. PARTIAL HEIGHT STL STUD/GBD PARTITION - REFER TO DTL \_\_\_\_\_ FOR SOLID SURFACE CAP.
- STL STUD/GBD/ACOUST BATT. PARTITION TO INFILL FORMER CASED OPENING BETWEEN ROOMS FOR CLEAN WALL PLANE - REFER TO \_\_\_\_\_ SIM.
- LOW WALL STEEL CHANNEL COLUMN SUPPORT AT CENTER OF 9'-0" OPENING - REFER TO DTL \_\_\_\_\_.
- ALUM STOREFRONT WDW FRAMING ON N.I.C. SYSTEMS FURNITURE - COORDINATE SIZE AND INSTALLATION WITH SYSTEMS FURNITURE SUPPLIER. REFER TO REFL CLG PLAN FOR DETAIL AT CEILING.
- ALUM STOREFRONT WDW FRAMING ON EXG CASEWORK - FIELD VERIFY SIZE TO FIT EXG. REFER TO REFL CLG PLAN FOR DETAIL AT CEILING.
- WHERE EXG TILE AND GBD WAS REMOVED, PATCH EXG 1-HR RATED WALL WITH TYPE "X" 5/8" GBD (USE 5/8" TYPE "X" TILE BACKER BOARD AS POSSIBLE WITHIN TILE FIELD AND STUD SPACING). REFER TO INTERIOR ELEVATIONS FOR TILE LOCATIONS. REMOVE/REINSTALL ACT CLG AS REQ FOR CLEAN INSTALLATION (MINIMIZE CEILING IMPACT IF POSSIBLE).
- HIGH WINDOW IN EXT STL STUD/GBD PARTITION - FRAME AND PATCH GBD AS REQ - SEE WDW ELEVATION AND DETAILS. REFER TO ELECT FOR ELECT/TECH OUTLET RELOCATIONS AS REQ WHERE THEY OCCUR.
- CARD READER - MOUNT TOP AT 36" A.F.F. - SEE ELECT. PULL WIRING THRU STUD WALL TYP. DO NOT PLACE ON TILE FLANKING DEPARTMENT DOORS ON MAIN CORRIDOR FACE (PLACE NEXT TO IT) UNLESS THERE IS NO OTHER OPTION.
- MOMENTARY DOOR UNLOCK BUTTON ON SYSTEMS FURNITURE (ON CSWK AT RM 120) (COORDINATE EXACT LOCATION WITH OWNER) - SEE ELECT. MOMENTARILY UNLOCKS DOOR BETWEEN DEPARTMENT'S PUBLIC SIDE AND STAFF SIDE.
- LOCK DOWN BUTTON ON SYSTEMS FURNITURE (UNDER COUNTER - COORD EXACT LOC WITH OWNER) (ON CSWK AT RM 120 AND 142). BUTTON SHALL LOCK ALL ELECTRIFIED STRIKES AND PUT ALL CARD READERS IN BUILDING ON HIGH SECURITY MODE - SEE ELECT/TECH.
- VIDEO DOOR INTERCOM SYSTEM SURFACE MOUNTED ON EXISTING WALL - RUN CONDUIT THRU EXG STUD WALL - SEE ELECT. CONNECTED TO INTERCOM SYSTEM MASTER STATION ON CASEWORK/SYSTEMS FURNITURE.
- INTERCOM SYSTEM MASTER STATION ON SYSTEMS FURNITURE - SEE ELECT. ELECT TO CONNECT SYSTEM TO DOOR 221, WITH PUSH BUTTON TO MOMENTARILY UNLOCK DOOR 221.
- APPLY PCT. \_\_\_\_\_ TO EXG MASONRY CURB, AROUND EXG MTL RAILING POSTS, EAST AND SOUTH SIDES AND TOP. PROVIDE METAL EDGE TRIM AND SEALANT AT ALL OPEN EDGES.
- ACCENT PAINT THIS WALL PLANE
- MECH TO REMOVE AND REINSTALL EXG FIN TUBE COVER TO ALLOW NEW TILE (OVER EXG TILE) TO FIT BEHIND COVER- REFER TO MECH.
- 5/8" TYPE "X" GBD FULL HT ON EXG FRAMING - PROVIDE 1/2" SEALANT JT AT TOP (PAINTABLE SEALANT OVER FIRE SEALANT)

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SHEET NAME

FIRST FLOOR PLAN  
AND SCHEDULES

ATS&R PROJECT NO.  
20031.1

REVISION NO.

SHEET NUMBER

A3.1

| FIRST FLOOR ROOM FINISH SCHEDULE |           |       |      |      |         |     |     |     |     |
|----------------------------------|-----------|-------|------|------|---------|-----|-----|-----|-----|
| NO.                              | ROOM NAME | FLOOR | BASE | WALL | CEILING | MTL | FIN | HT  | DTL |
| 100                              | EXG       | ---   | ---  | ---  | ---     | --- | --- | --- | --- |
| 102                              | EXG       | ---   | ---  | ---  | ---     | --- | --- | --- | --- |
| 103                              | EXG       | ---   | ---  | ---  | ---     | --- | --- | --- | --- |
| 104                              | EXG       | ---   | ---  | ---  | ---     | --- | --- | --- | --- |
| 105                              | EXG       | ---   | ---  | ---  | ---     | --- | --- | --- | --- |
| 108                              | EXG       | ---   | ---  | ---  | ---     | --- | --- | --- | --- |
| 109                              | EXG       | ---   | ---  | ---  | ---     | --- | --- | --- | --- |
| 114                              | EXG       | ---   | ---  | ---  | ---     | --- | --- | --- | --- |
| 115                              | EXG       | ---   | ---  | ---  | ---     | --- | --- | --- | --- |
| 116                              | EXG       | ---   | ---  | ---  | ---     | --- | --- | --- | --- |
| 118                              | EXG       | ---   | ---  | ---  | ---     | --- | --- | --- | --- |
| 119                              | EXG       | ---   | ---  | ---  | ---     | --- | --- | --- | --- |
| 120                              | EXG       | ---   | ---  | ---  | ---     | --- | --- | --- | --- |
| 122                              | EXG       | ---   | ---  | ---  | ---     | --- | --- | --- | --- |
| 123                              | EXG       | ---   | ---  | ---  | ---     | --- | --- | --- | --- |
| 124                              | EXG       | ---   | ---  | ---  | ---     | --- | --- | --- | --- |
| 125                              | EXG       | ---   | ---  | ---  | ---     | --- | --- | --- | --- |
| 128                              | EXG       | ---   | ---  | ---  | ---     | --- | --- | --- | --- |
| 129                              | EXG       | ---   | ---  | ---  | ---     | --- | --- | --- | --- |
| 130                              | EXG       | ---   | ---  | ---  | ---     | --- | --- | --- | --- |
| 131                              | EXG       | ---   | ---  | ---  | ---     | --- | --- | --- | --- |
| 132                              | EXG       | ---   | ---  | ---  | ---     | --- | --- | --- | --- |
| 134                              | EXG       | ---   | ---  | ---  | ---     | --- | --- | --- | --- |
| 137                              | EXG       | ---   | ---  | ---  | ---     | --- | --- | --- | --- |
| 138                              | EXG       | ---   | ---  | ---  | ---     | --- | --- | --- | --- |
| 139                              | EXG       | ---   | ---  | ---  | ---     | --- | --- | --- | --- |
| 140                              | EXG       | ---   | ---  | ---  | ---     | --- | --- | --- | --- |
| 142                              | EXG       | ---   | ---  | ---  | ---     | --- | --- | --- | --- |

ROOM FINISH SCHEDULE NOTES:  
SHADED LINES INDICATE EXISTING MATERIALS & FINISHES IN EXISTING ROOMS TO REMAIN, UNLESS NOTED TO BE REMOVED ON DEMOLITION PLANS OR COVERED OVER AS NOTED IN SCHEDULE. UNSHADED LINES INDICATE MATERIALS & FINISHES OF NEW CONSTRUCTION - SEE PLANS & RM FINISH SCHEDULE FOR EXTENT OF NEW FINISHES IN EXISTING ROOMS. PATCH FLOOR, BASE AND CEILING, WHERE DAMAGED BY CONSTRUCTION, TO MATCH EXISTING ADJACENT MATERIALS & FINISH.

1. PAINT AND VB AT NEW CONSTRUCTION
2. PAINT CORNER TO CORNER WHERE AFFECTED BY CONSTRUCTION.
3. SEE PLAN FOR ACCENT WALL PAINT LOCATIONS
4. SEE INTERIOR ELEVATIONS FOR TILING / PAINTING
5. REMOVE AND REINSTALL EXG MODULAR CPT AND CUT PORTION OF EXG VB AS REQUIRED FOR WALL INSTALLATION
6. REMOVE AND REINSTALL PORTION OF EXG ACT CLG AS REQUIRED FOR THE WORK

| FIRST FLOOR DOOR SCHEDULE |                            |        |      |        |        |             |     |               |       |
|---------------------------|----------------------------|--------|------|--------|--------|-------------|-----|---------------|-------|
| NO.                       | NOMINAL SIZE               | DOOR   |      | FRAME  |        | HEAD DETAIL | HOW | DR & FR LABEL | NOTES |
|                           |                            | MTL    | TYPE | MTL    | TYPE   |             |     |               |       |
| 109                       | EXG 3'-0" x 7'-0" x 1 3/4" | EXG HM | --   | EXG HM | --     | --          | --  | --            | 7     |
| 114                       | EXG 3'-0" x 7'-0" x 1 3/4" | EXG WD | --   | EXG HM | --     | --          | --  | --            | 3.5   |
| 114A                      | 3'-0" x 7'-0" x 1 3/4"     | WD     | B    | HM     | 1A/9.1 | 3B/9.1      | --  | --            | 3.4,6 |
| 115                       | EXG 3'-0" x 7'-0" x 1 3/4" | EXG WD | --   | EXG HM | --     | --          | --  | --            | 3.5   |
| 115A                      | 3'-0" x 7'-0" x 1 3/4"     | WD     | B    | HM     | 1A/9.1 | 3B/9.1      | --  | --            | 3.4,6 |
| 127                       | EXG 3'-0" x 7'-0" x 1 3/4" | EXG WD | --   | EXG HM | --     | --          | --  | --            | 3.5   |
| 128                       | EXG 3'-0" x 7'-0" x 1 3/4" | EXG WD | --   | EXG HM | --     | --          | --  | --            | 3.5   |
| 128A                      | EXG 3'-0" x 7'-0" x 1 3/4" | EXG WD | --   | EXG HM | --     | --          | --  | --            | 3.5   |
| 128B                      | EXG 3'-0" x 7'-0" x 1 3/4" | EXG WD | --   | EXG HM | --     | --          | --  | --            | 3.5   |
| 129                       | EXG 3'-0" x 7'-0" x 1 3/4" | EXG WD | --   | EXG HM | --     | --          | --  | --            | 3.5   |
| 138                       | 3'-0" x 7'-0" x 1 3/4"     | WD     | D    | HM     | 1A/9.1 | 3B/9.1      | --  | --            | 3.4,6 |
| 139                       | EXG 3'-0" x 7'-0" x 1 3/4" | EXG WD | --   | EXG HM | --     | --          | --  | --            | 3.5   |
| 139A                      | 3'-0" x 7'-0" x 1 3/4"     | WD     | B    | HM     | 1A/9.1 | 3B/9.1      | --  | --            | 3.4,6 |
| 142                       | EXG 3'-0" x 7'-0" x 1 3/4" | EXG WD | --   | EXG HM | --     | --          | --  | --            | 3.5   |
| 142A                      | 3'-0" x 6'-8" x 1 3/4"     | HM     | D    | HM     | 1B/9.1 | 4/9.1       | --  | --            | 1.4,8 |
| 143                       | EXG 3'-0" x 7'-0" x 1 3/4" | EXG WD | --   | EXG HM | --     | --          | --  | --            | 3.5   |
| 145                       | EXG 3'-0" x 7'-0" x 1 3/4" | EXG WD | --   | EXG HM | --     | --          | --  | --            | 3.5   |
| 146                       | EXG 3'-0" x 7'-0" x 1 3/4" | EXG WD | --   | EXG HM | --     | --          | --  | --            | 3.5   |

- DOOR SCHEDULE NOTES:
1. EXTERIOR DOOR - PANIC HARDWARE, EXIT ONLY, NO OUTSIDE TRIM.
  2. PROVIDE ROUGH-IN FOR DOOR ALARM. REFER TO ELEC DWGS AND DETAIL \_\_\_\_\_.
  3. PROVIDE ELECTRONIC CARD READER. REFER TO ELEC DWGS.
  4. PROVIDE CLOSER.
  5. PROVIDE ELECTRIC STRIKE ON EXISTING DOOR/FRAME. RUN RACEWAY DOWN WALL WITHIN DEPT TO TOP OF FRAME THEN RUN WITHIN FRAME.
  6. PROVIDE ELECTRIC STRIKE.
  7. EXISTING RELOCATED HM DOOR AND FRAME W/ CONTINUOUS HINGE AND LEVER SET.
  8. INSULATED HM DOOR

| SPECIALTY DOOR SCHEDULE |                        |                   |           |              |             |      |      |         |         |
|-------------------------|------------------------|-------------------|-----------|--------------|-------------|------|------|---------|---------|
| DOOR NO                 | DOOR TYPE              | DOOR SIZE (W x H) | OPERATION | DOOR CONTROL | FIRE RATING | SLAT | HOOD | JAMB    | DETAILS |
| 130                     | COILING COUNTER GRILLE | 9'-0" x 5'-6"     | ELECTRIC  | KEY          | 20 MIN      | STL  | STL  | 44/A9.1 | 46/A9.1 |

- SPECIALTY DOOR NOTES:
1. FACTORY PT FINISH
  2. SMOKE SEALS



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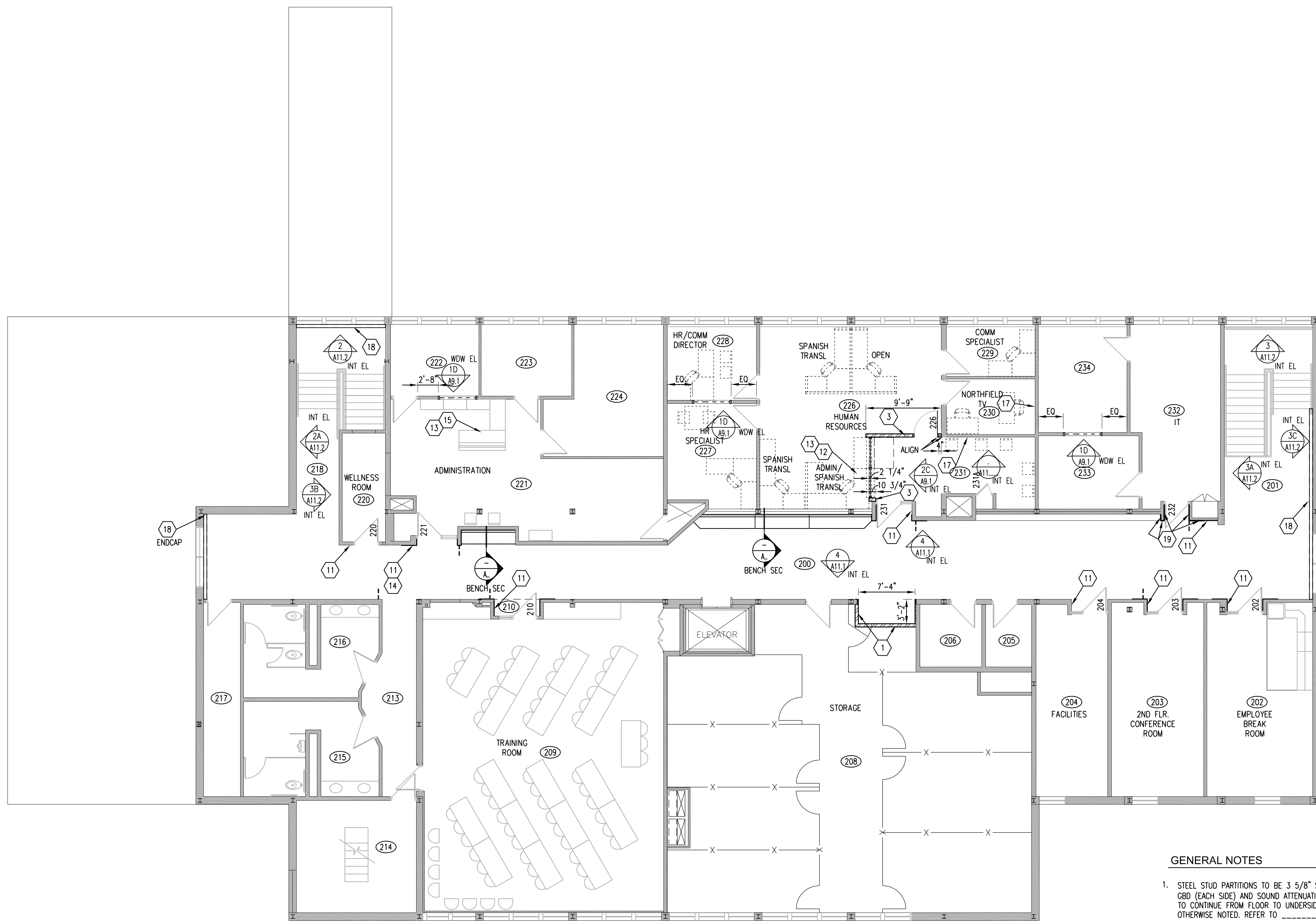
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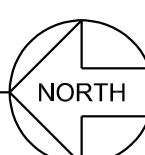
REVISION NO.

SHEET NUMBER

A3.2

1 SECOND FLOOR  
A3.2 FLOOR PLAN

1/8" = 1'-0"



## GENERAL NOTES

- STEEL STUD PARTITIONS TO BE 3 5/8" STEEL STUDS AT 16" OC WITH 5/8" GBD (EACH SIDE) AND SOUND ATTENUATION BATTS. STUDS, BATTS AND GBD TO CONTINUE FROM FLOOR TO UNDERSIDE OF DECK ABOVE. TYPICAL UNLESS OTHERWISE NOTED. REFER TO \_\_\_\_\_
- COORDINATE ALL ALUMINUM WINDOW FRAMING PLACEMENT AND ASSOCIATED CEILING WORK WITH OWNER'S SEPARATE SYSTEM'S FURNITURE CONTRACTOR, INNOVATIVE OFFICE SOLUTIONS.
- REFER TO SHEET A9.1 FOR DOOR TYPES.
- WHERE TILING IS BEING DONE OVER EXISTING CERAMIC TILE, ELECT TO PROVIDE EXTENSION RINGS AT ALL ELECT DEVICES.

## FLOOR PLAN NOTES:

- 1-HR RATED FULL HT STL STUD/GBD/ACOUST BATTS PARTITION - REFER TO \_\_\_\_\_ AT RM 120. REFER TO CEILING DOOR JAMB DETAIL FOR SPECIAL HEAVY GAUGE STUD REQUIREMENTS AT JAMBS.
- FULL HT STL STUD/GBD/ACOUST BATTS PARTITION - REFER TO \_\_\_\_\_
- 3 5/8" 25 GA STL STUDS 16" O.C. UP TO 6" ABOVE CEILING, WITH 5/8" GBD EACH SIDE. BRACE TO STRUCT BOTH WAYS 6'-0" O.C. MAX. REMOVE AND REINSTALL EXG MODULAR CARPET TILES AROUND WALL (CUT OUT BROADLOOM AT WALL AT RM 226, BASE BID - SEE RM FIN SCHED).
- 3'-0" H. PARTIAL HEIGHT STL STUD/GBD PARTITION - REFER TO DTL \_\_\_\_\_ FOR SOLID SURFACE CAP.
- STL STUD/GBD/ACOUST BATTS PARTITION TO INFILL FORMER CASED OPENING BETWEEN ROOMS FOR CLEAN WALL PLANE - REFER TO \_\_\_\_\_, SIM.
- LOW WALL STEEL CHANNEL COLUMN SUPPORT AT CENTER OF 9'-0" OPENING - REFER TO DTL \_\_\_\_\_
- ALUM STOREFRONT WDW FRAMING ON N.I.C. SYSTEMS FURNITURE - COORDINATE SIZE AND INSTALLATION WITH SYSTEMS FURNITURE SUPPLIER. REFER TO REFL CLG PLAN FOR DETAIL AT CEILING.
- ALUM STOREFRONT WDW FRAMING ON EXG CASEWORK - FIELD VERIFY SIZE TO FIT EXG. REFER TO REFL CLG PLAN FOR DETAIL AT CEILING.
- WHERE EXG TILE AND GBD WAS REMOVED, PATCH EXG 1-HR RATED WALL WITH TYPE "X" 5/8" GBD (USE 5/8" TYPE "X" TILE BACKER BOARD AS POSSIBLE WITHIN TILE FIELD AND STUD SPACING). REFER TO INTERIOR ELEVATIONS FOR TILE LOCATIONS. REMOVE/REINSTALL ACT CLG AS REQ FOR CLEAN INSTALLATION (MINIMIZE CEILING IMPACT IF POSSIBLE).
- HIGH WINDOW IN EXT STL STUD/GBD PARTITION - FRAME AND PATCH GBD AS REQ - SEE WDW ELEVATION AND DETAILS. REFER TO ELECT FOR ELECT/TECH OUTLET RELOCATIONS AS REQ WHERE THEY OCCUR.
- CARD READER - MOUNT TOP AT 36" A.F.F. - SEE ELECT. PULL WIRING THRU STUD WALL, TYP. DO NOT PLACE ON TILE FLANKING DEPARTMENT DOORS ON MAIN CORRIDOR FACE (PLACE NEXT TO IT) UNLESS THERE IS NO OTHER OPTION.
- MOMENTARY DOOR UNLOCK BUTTON ON SYSTEMS FURNITURE (ON CSWK AT RM 120) (COORDINATE EXACT LOCATION WITH OWNER) - SEE ELECT. MOMENTARILY UNLOCKS DOOR BETWEEN DEPARTMENT'S PUBLIC SIDE AND STAFF SIDE.
- LOCK DOWN BUTTON ON SYSTEMS FURNITURE (UNDER COUNTER - COORD EXACT LOC WITH OWNER) (ON CSWK AT RM 120 AND 142). BUTTON SHALL LOCK ALL ELECTRIFIED STROKES AND PUT ALL CARD READERS IN BUILDING ON HIGH SECURITY MODE - SEE ELECT/TECH.
- VIDEO DOOR INTERCOM SYSTEM SURFACE MOUNTED ON EXISTING WALL - RUN CONDUIT THRU EXG STUD WALL - SEE ELECT. CONNECTED TO INTERCOM SYSTEM MASTER STATION ON CASEWORK/SYSTEMS FURNITURE.
- INTERCOM SYSTEM MASTER STATION ON SYSTEMS FURNITURE - SEE ELECT. ELECT TO CONNECT SYSTEM TO DOOR 221, WITH PUSH BUTTON TO MOMENTARILY UNLOCK DOOR 221.
- APPLY PCT \_\_\_\_\_ TO EXG MASONRY CURB, AROUND EXG MTL RAILING POSTS, EAST AND SOUTH SIDES AND TOP. PROVIDE METAL EDGE TRIM AND SEALANT AT ALL OPEN EDGES.
- ACCENT PAINT THIS WALL PLANE.
- MECH TO REMOVE AND REINSTALL EXG FIN TUBE COVER TO ALLOW NEW TILE (OVER EXG TILE) TO FIT BEHIND COVER- REFER TO MECH.
- 5/8" TYPE "X" GBD FULL HT ON EXG FRAMING - PROVIDE 1/2" SEALANT JT AT TOP (PAINTABLE SEALANT OVER FIRE SEALANT)

## SECOND FLOOR ROOM FINISH SCHEDULE

| SECOND FLOOR ROOM FINISH SCHEDULE |                 |            |    |            |    |            |     |         |     |    |       |      |
|-----------------------------------|-----------------|------------|----|------------|----|------------|-----|---------|-----|----|-------|------|
| NO.                               | ROOM NAME       | FLOOR      |    | BASE       |    | WALL       |     | CEILING |     |    |       | NOTE |
|                                   |                 | MTL        |    | MTL        |    | MTL        | FIN | MTL     | FIN | HT | DTL   |      |
|                                   | EXG             | VCT        | VB | GBD<br>PCT | PT | ACT        | --  | --      | --  | -- |       |      |
| 200                               | CORRIDOR        | LVT        | VB | GBD<br>PCT | PT | EXG<br>ACT | --  | --      | --  | -- | 4     |      |
|                                   | EXG             | VCT        | VB | GBD<br>PCT | PT | ACT        | --  | --      | --  | -- |       |      |
| 201                               | CORRIDOR        | LVT        | VB | GBD<br>PCT | PT | EXG<br>ACT | --  | --      | --  | -- | 4     |      |
|                                   | EXG             | VCT        | VB | GBD        | PT | ACT        | --  | --      | --  | -- |       |      |
| 213                               | CORRIDOR        | LVT        | VB | EXG<br>GBD | PT | EXG<br>ACT | --  | --      | --  | -- |       |      |
|                                   | EXG             | VCT        | VB | GBD<br>PCT | PT | ACT        | --  | --      | --  | -- |       |      |
| 218                               | CORRIDOR        | LVT        | VB | GBD<br>PCT | PT | EXG<br>ACT | --  | --      | --  | -- | 4     |      |
|                                   | EXG             | CPT        | VB | GBD        | PT | ACT        | --  | --      | --  | -- |       |      |
| 221                               | OFFICE          | EXG<br>CPT | VB | EXG<br>GBD | -- | EXG<br>ACT | --  | --      | --  | -- | 2     |      |
|                                   | EXG             | CPT        | VB | GBD        | PT | ACT        | --  | --      | --  | -- |       |      |
| 222                               | OFFICE          | EXG<br>CPT | VB | EXG<br>GBD | -- | EXG<br>ACT | --  | --      | --  | -- | 2     |      |
|                                   | EXG             | VCT        | VB | GBD        | PT | GBD        | --  | --      | --  | -- |       |      |
| 226                               | HUMAN RESOURCES | EXG<br>CPT | VB | EXG<br>GBD | -- | EXG<br>ACT | --  | --      | --  | -- | 1,5,6 |      |
|                                   | EXG             | CPT        | VB | GBD        | PT | ACT        | --  | --      | --  | -- |       |      |
| 227                               | OFFICE          | EXG<br>CPT | VB | EXG<br>GBD | -- | EXG<br>ACT | --  | --      | --  | -- | 2     |      |
|                                   | EXG             | CPT        | VB | GBD        | PT | ACT        | --  | --      | --  | -- |       |      |
| 228                               | OFFICE          | EXG<br>CPT | VB | EXG<br>GBD | -- | EXG<br>ACT | --  | --      | --  | -- | 2     |      |
|                                   | ---             | CPT        | VB | GBD        | PT | ACT        | --  | --      | --  | -- |       |      |
| 229                               | OFFICE          | EXG<br>CPT | VB | EXG<br>GBD | -- | EXG<br>ACT | --  | --      | --  | -- |       |      |

| NO. | ROOM NAME | FLOOR      |     | BASE       |     | WALL       |     | CEILING |     |    |           | NOTE |
|-----|-----------|------------|-----|------------|-----|------------|-----|---------|-----|----|-----------|------|
|     |           | MTL        |     | MTL        |     | MTL        | FIN | MTL     | FIN | HT | DTL       |      |
| 230 | ---       |            | CPT | VB         | GBD | PT         | ACT | --      | --  | -- | --        |      |
|     | TV        | EXG<br>CPT | VB  | EXG<br>GBD | --  | EXG<br>ACT | --  | --      | --  | -- | 3         |      |
|     | ---       | VCT        | VB  | GBD        | PT  | ACT        | --  | --      | --  | -- |           |      |
| 231 | MEETING   | EXG<br>CPT | VB  | EXG<br>GBD | --  | PT<br>ACT  | ACT | --      | --  | -- | 1,2,3,5,6 |      |
|     | EXG       |            | CPT | VB         | GBD | PT         | ACT | --      | --  | -- |           |      |
| 233 | OFFICE    | EXG<br>CPT | VB  | EXG<br>GBD | --  | EXG<br>ACT | --  | --      | --  | -- | 2         |      |
|     | EXG       |            | CPT | VB         | GBD | PT         | ACT | --      | --  | -- |           |      |
| 234 | OFFICE    | EXG<br>CPT | VB  | EXG<br>GBD | --  | EXG<br>ACT | --  | --      | --  | -- | 2         |      |

ROOM FINISH SCHEDULE NOTES:

SHADED LINES INDICATE EXISTING MATERIALS & FINISHES IN EXISTING ROOMS TO REMAIN. UNLESS NOTED TO BE REMOVED OR DEMOLITION PLANS OR COVERED OVER AS NOTED IN SCHEDULE. UNSHADED LINES INDICATE MATERIALS & FINISHES OF NEW CONSTRUCTION -- SEE PLANS & RM FINISH SCHEDULE FOR EXTENT OF NEW FINISHES IN EXISTING ROOMS. PATCH FLOOR, BASE AND CEILING, WHERE DAMAGED BY CONSTRUCTION, TO MATCH EXISTING ADJACENT MATERIALS & FINISH.

- PAINT AND VB AT NEW CONSTRUCTION
- PAINT CORNER TO CORNER WHERE AFFECTED BY CONSTRUCTION.
- SEE PLAN FOR ACCENT WALL PAINT LOCATIONS
- SEE INTERIOR ELEVATIONS FOR TILING / PAINTING
- REMOVE AND REINSTALL EXG MODULAR CPT AND CUT PORTION OF EXG VB AS REQUIRED FOR WALL INSTALLATION
- REMOVE AND REINSTALL PORTION OF EXG ACT CLG AS REQUIRED FOR THE WORK

## ROOM FINISH SCHEDULE NOTES:

SHADED LINES INDICATE EXISTING MATERIALS & FINISHES IN EXISTING ROOMS TO REMAIN, UNLESS NOTED TO BE REMOVED ON DEMOLITION PLANS OR COVERED OVER AS NOTED IN SCHEDULE. UNSHADED LINES INDICATE MATERIALS & FINISHES OF NEW CONSTRUCTION - SEE PLANS & RM FINISH SCHEDULE FOR EXTENT OF NEW FINISHES IN EXISTING ROOMS. PATCH FLOOR, BASE AND CEILING, WHERE DAMAGED BY CONSTRUCTION, TO MATCH EXISTING ADJACENT MATERIALS & FINISH.

- PAINT AND VB AT NEW CONSTRUCTION.
- PAINT CORNER TO CORNER WHERE AFFECTED BY CONSTRUCTION.
- SEE PLAN FOR ACCENT WALL PAINT LOCATIONS.
- SEE INTERIOR ELEVATIONS FOR TILING / PAINTING.
- REMOVE AND REINSTALL EXG MODULAR CPT AND CUT PORTION OF EXG VB AS REQUIRED FOR WALL INSTALLATION.
- REMOVE AND REINSTALL PORTION OF EXG ACT CLG AS REQUIRED FOR THE WORK.

## FIRST FLOOR DOOR SCHEDULE

| NO.  | NOMINAL SIZE               | DOOR |      | FRAME |         | HEAD DETAIL | HOW | DR & FR LABEL | NOTES |
|------|----------------------------|------|------|-------|---------|-------------|-----|---------------|-------|
|      |                            | MTL  | TYPE | MTL   | TYPE    |             |     |               |       |
| 202  | EXG 3'-0" x 7'-0" x 1 3/4" | EXG  | WD   | --    | EXG     | HM          | --  | --            | 3.5   |
| 203  | EXG 3'-0" x 7'-0" x 1 3/4" | EXG  | WD   | --    | EXG     | HM          | --  | --            | 3.5   |
| 204  | EXG 3'-0" x 7'-0" x 1 3/4" | EXG  | WD   | --    | EXG     | HM          | --  | --            | 3.5   |
| 210  | EXG 3'-0" x 7'-0" x 1 3/4" | EXG  | WD   | --    | EXG     | HM          | --  | --            | 3.5   |
| 220  | EXG 3'-0" x 7'-0" x 1 3/4" | EXG  | WD   | --    | EXG     | HM          | --  | --            | 3.5   |
| 221  | EXG 3'-0" x 7'-0" x 1 3/4" | EXG  | WD   | --    | EXG     | HM          | --  | --            | 3.5   |
| 226  | 3'-0" x 7'-0" x 1 3/4"     | WD   | B    | HM    | 1A/A9.1 | 38/A9.1     | --  | --            | 3.4,6 |
| 231  | EXG 3'-0" x 7'-0" x 1 3/4" | EXG  | WD   | --    | EXG     | HM          | --  | --            | 3.5   |
| 231A | ???? x ????" x 1 3/4"      | WD   | D    | HM    | 1A/A9.1 | 38/A9.1     | --  | --            | 3.4,6 |
| 232  | EXG 3'-0" x 7'-0" x 1 3/4" | EXG  | WD   | --    | EXG     | HM          | --  | --            | 3.5   |

## DOOR SCHEDULE NOTES:

- EXTERIOR DOOR - PANIC HARDWARE, EXIT ONLY, NO OUTSIDE TRIM.
- PROVIDE ROUGH-IN FOR DOOR ALARM. REFER TO ELEC DWGS AND DETAIL \_\_\_\_\_
- PROVIDE ELECTRONIC CARD READER. REFER TO ELEC DWGS.
- PROVIDE CLOSER.
- PROVIDE ELECTRIC STRIKE ON EXISTING DOOR/FRAME. RUN RACEWAY DOWN WALL WITHIN DEPT TO TOP OF FRAME THEN RUN WITHIN FRAME.
- PROVIDE ELECTRIC STRIKE.
- EXISTING RELOCATED HM DOOR AND FRAME W/ CONTINUOUS HINGE AND LEVER SET.
- INSULATED HM DOOR.



HSS 8 X 4 X 3/16 W/BOTTOM  
PLATE 5/16 X (WALL WIDTH-1").  
EXTEND PLATE AND BEAM ONTO  
GROUTED JAMB 8 INCHES EA END.  
COPE PLATE 1/2 INCH EA SIDE A  
BEARING

THR & THR HOLDER  
BY HDW SUPPLIER -  
SET IN CAULK BED

SLOPE 1/4" PER FT

5" MIN. CONT. SToop SLAB OVER  
1.0C-20GA STL FORM DECK W/  
#4 @ 12" OC. EA WAY. BOT #4  
DWLS @ 16" OC. PROVIDE 6"  
MIN VOID BELOW CONC. SLAB.  
TOP OF SLAB EL VARIES

TOP ON SIDEWALK IN  
FOREGROUND

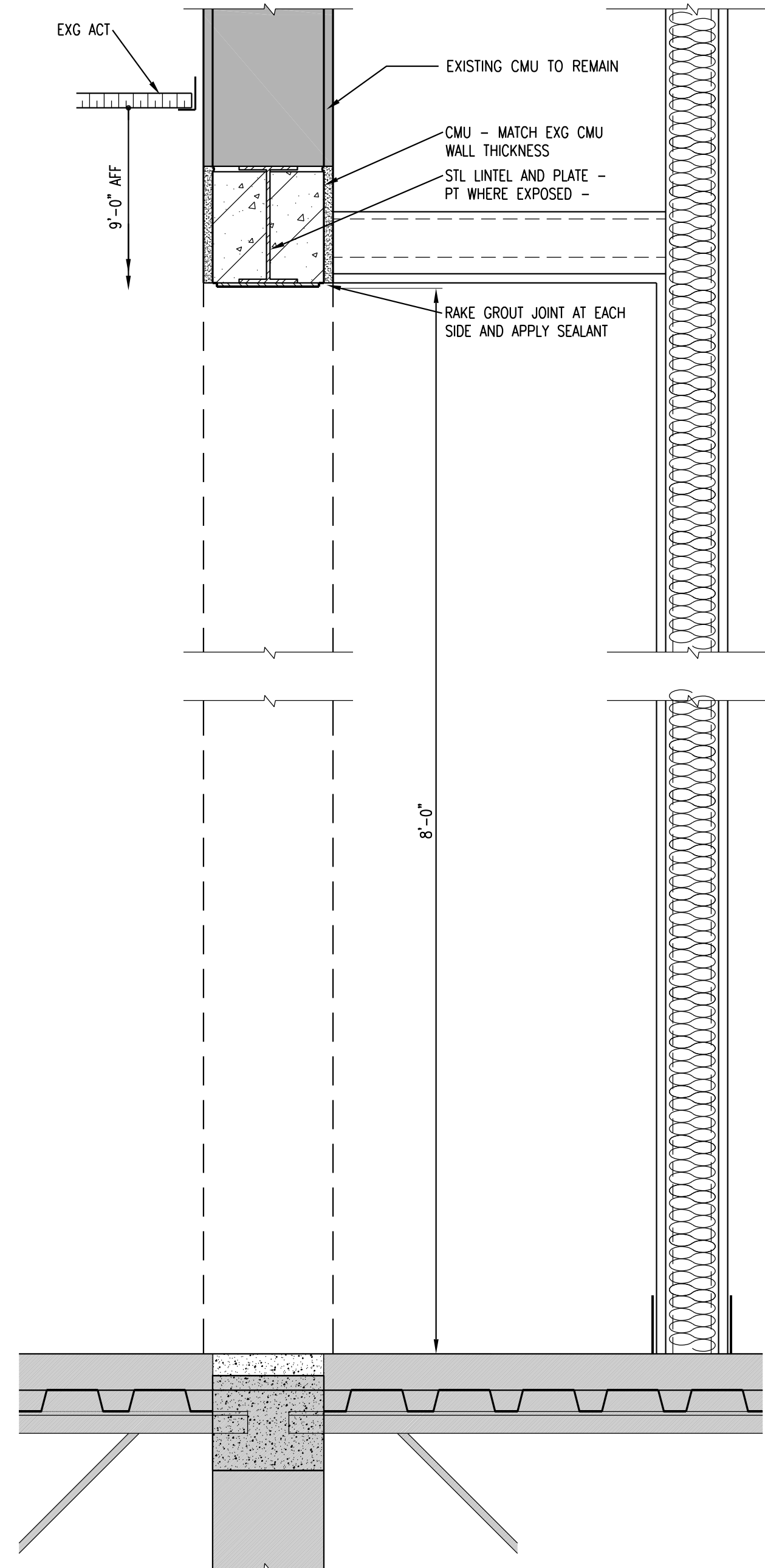
CONT. FTNG 12" DEEP  
X 1'-8" WIDE W/ (2)  
#5 CONT. PROVIDE  
CORNER BARS. MATCH  
EXISTING TOP OF  
FOOTING ELEVATION

DOWEL NEW FTNGS TO  
EXIST W/ (2) #5 X 1'-6"  
AND HELI-TI HY-200  
ADHESIVE. 6" EMBED

3 SECTION AT EXTERIOR DOOR

A8.1

1 1/2" = 1'-0"



3A SECTION AT VENDING MACHINE ALCOVE

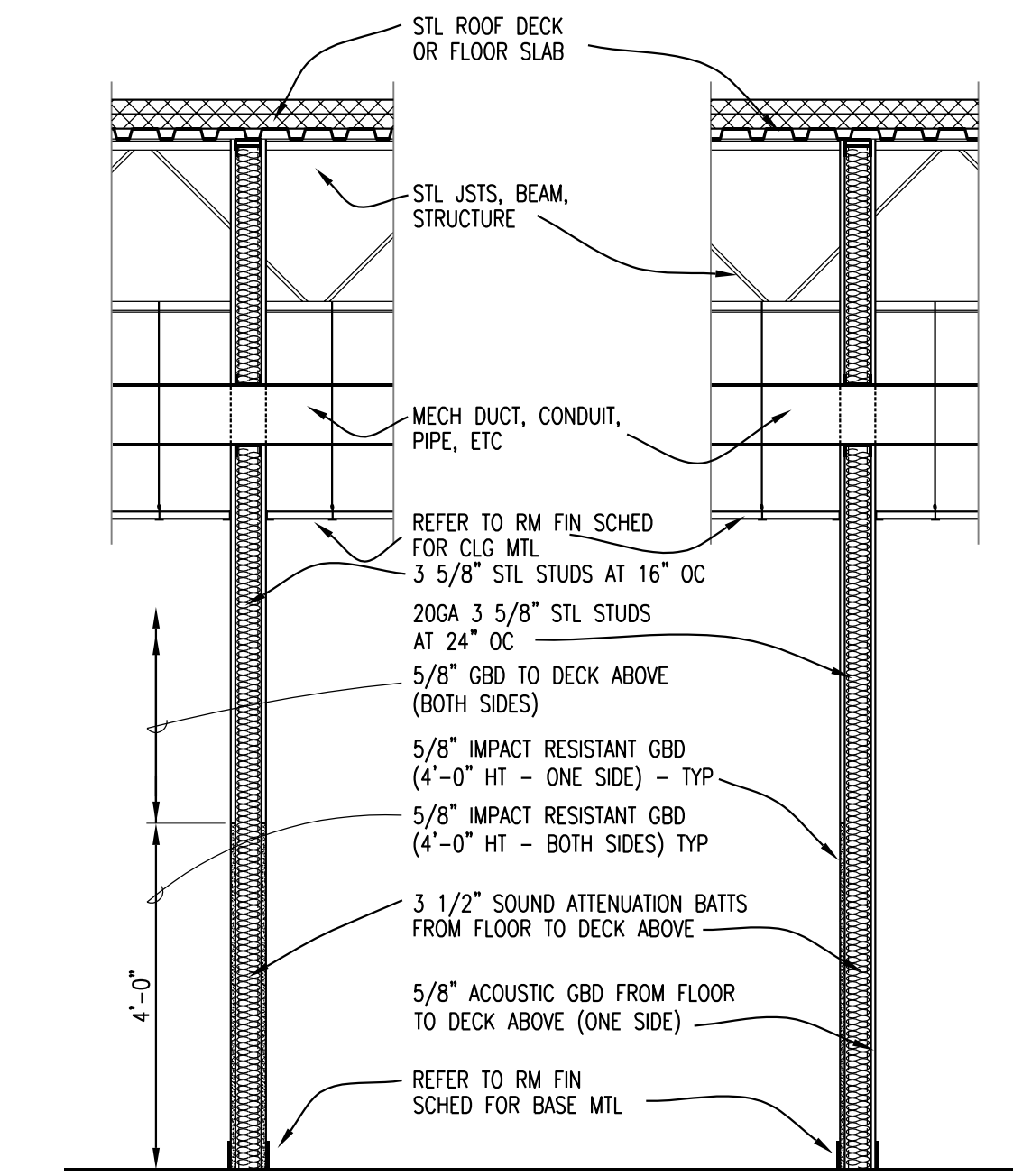
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1 1/2" = 1'-0"

1 GBD/STUD WALL AT FLOOR OR DECK

A8.1

3" = 1'-0"



GENERAL NOTES:

1. ALL STUD PARTITIONS  
EXTEND TO DECK UON

2. PROVIDE FIRE SEALANT  
AT FIRE RATED WALLS

2 TYP GBD WALL CONSTRUCTION

A8.1

1/2" = 1'-0"

AT PENETRATION

AT FLOOR

1A GBD WALL AT FLOOR AND PENETRATIONS

A8.1

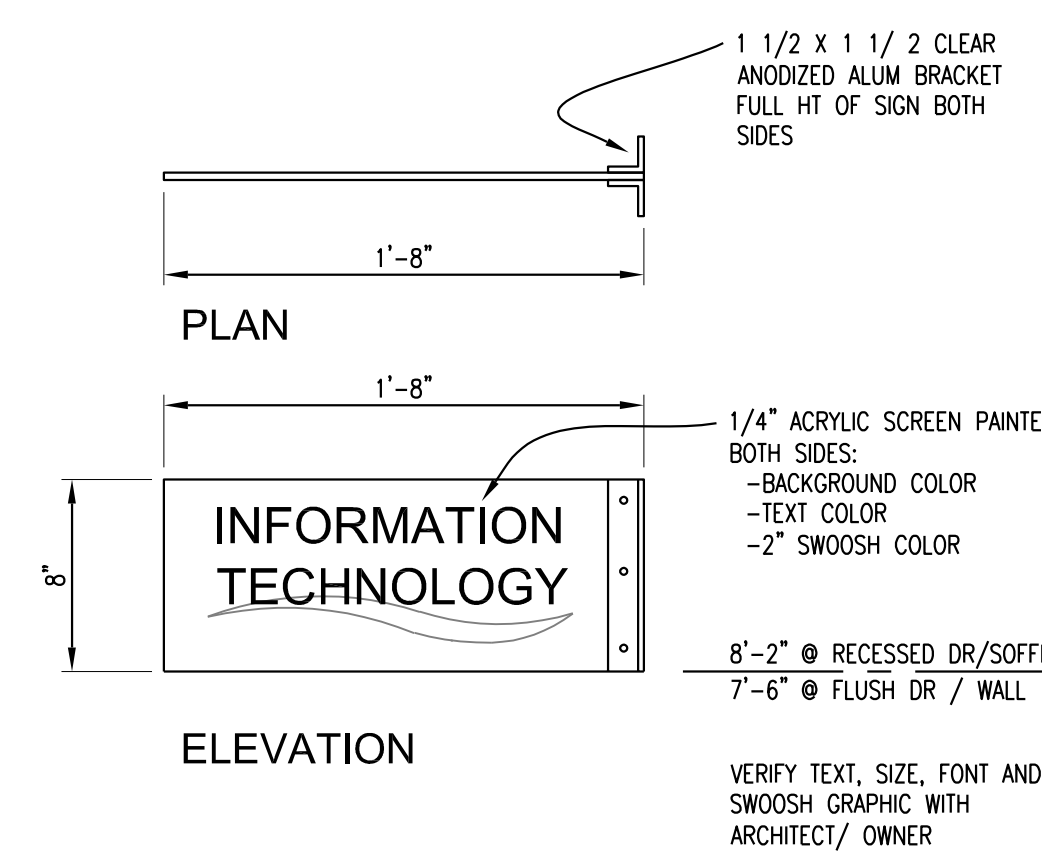
3" = 1'-0"

ELEVATION

1B TWO SIDE BLADE / PROJ MTD SIGNAGE

A8.1

1 1/2" = 1'-0"



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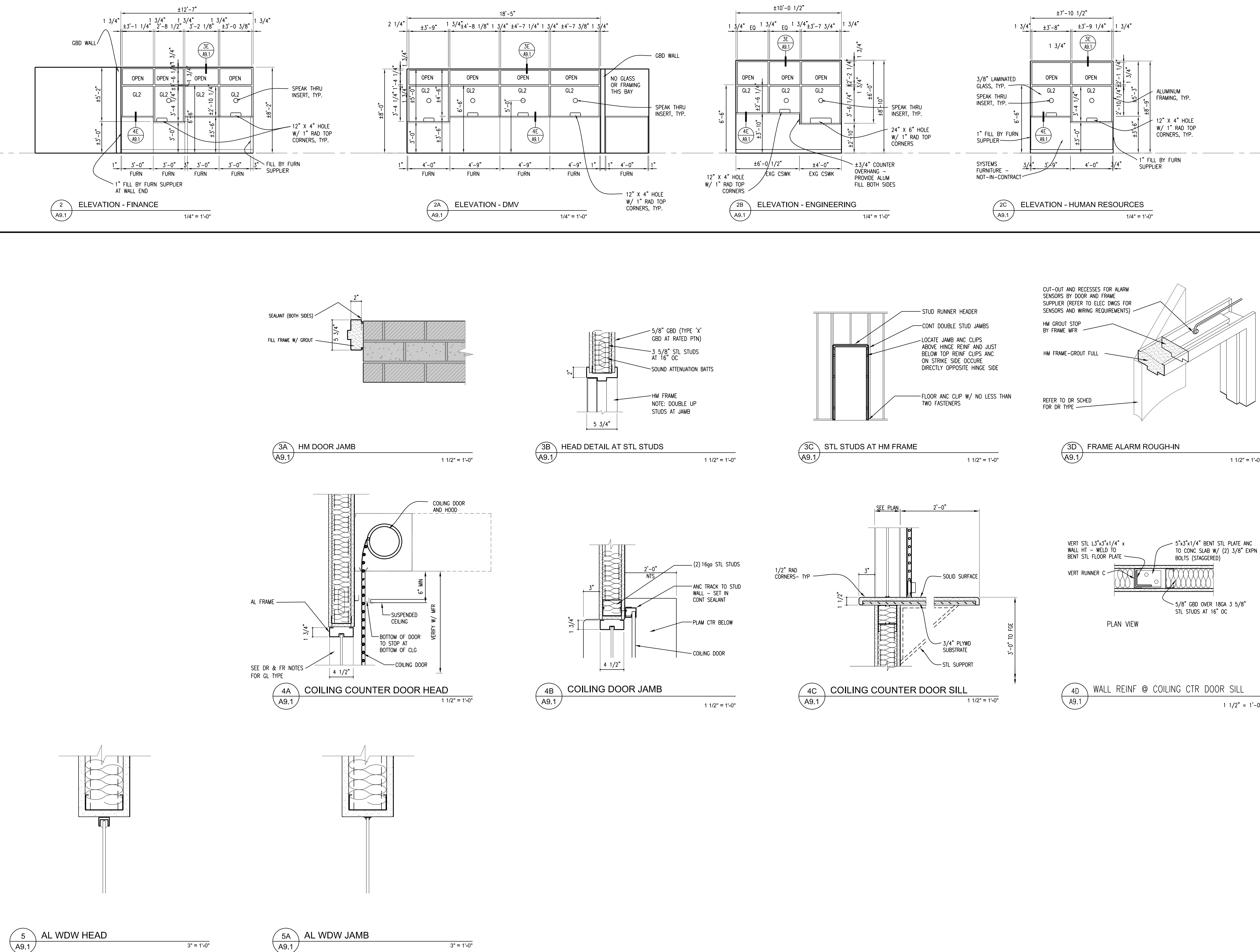
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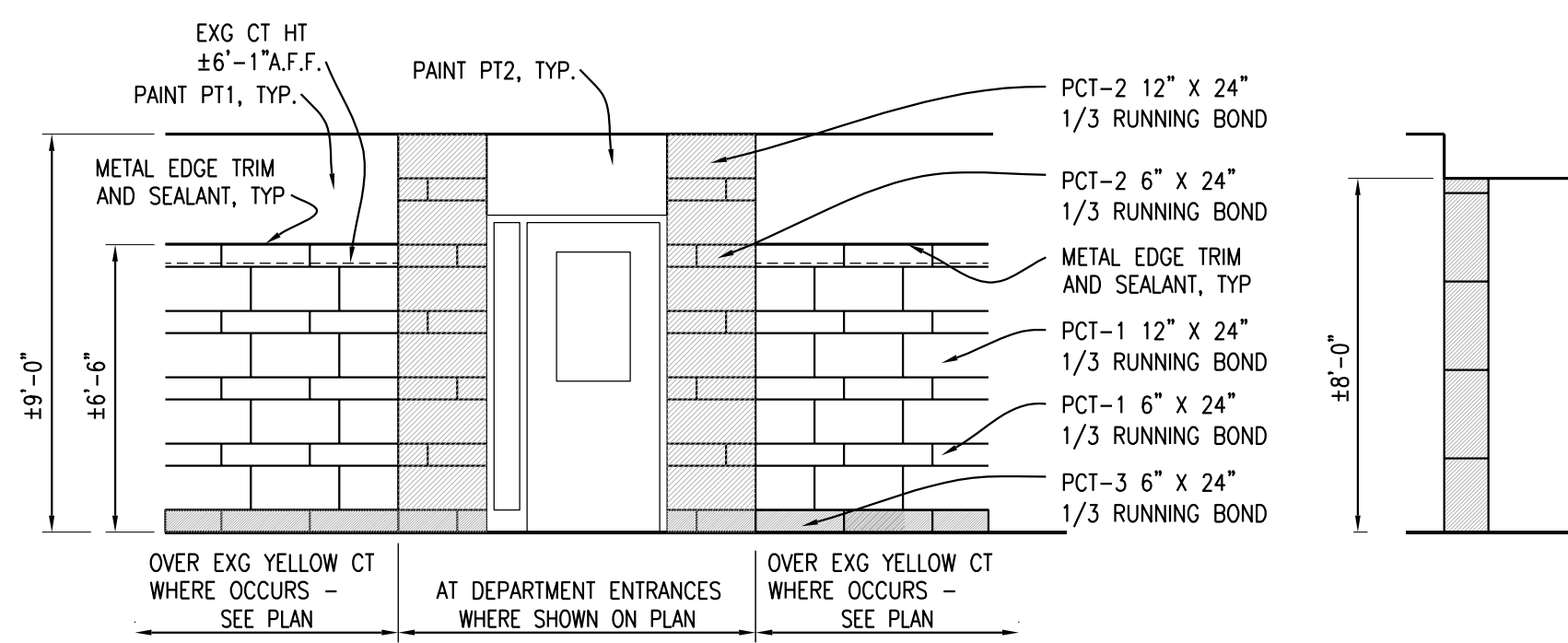
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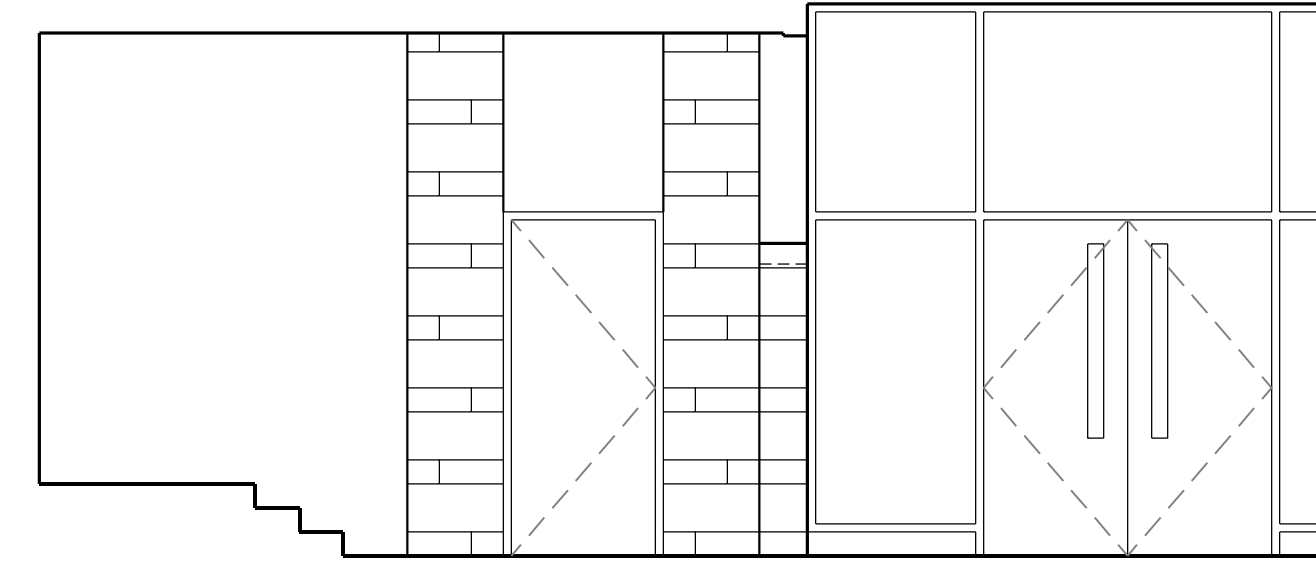




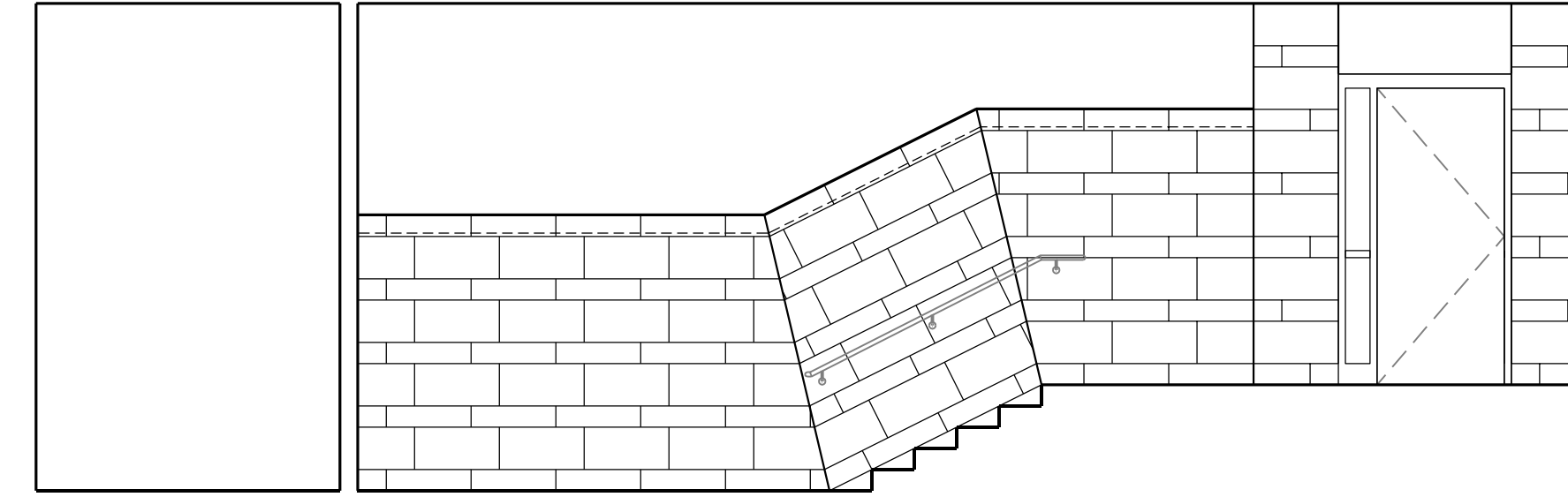




1 ELEVATION - CORRIDOR/STAIRWELL TILE PATTERN TYPICAL  
A11.1 1/4" = 1'-0"



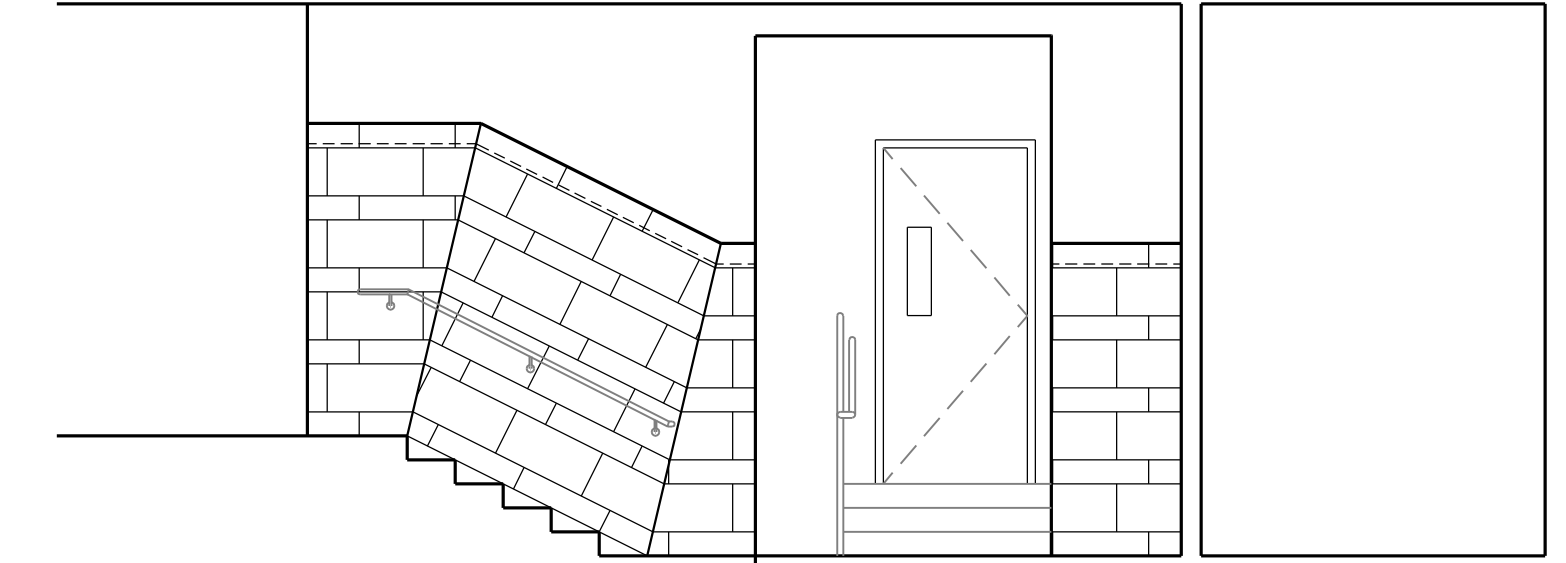
1A 102 - 119 WEST  
A11.1 1/4" = 1'-0"



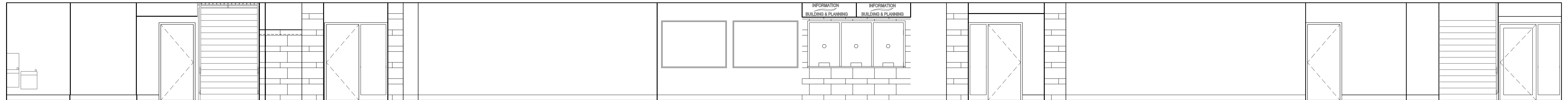
100 - 119 NORTH


1B  
A11.1

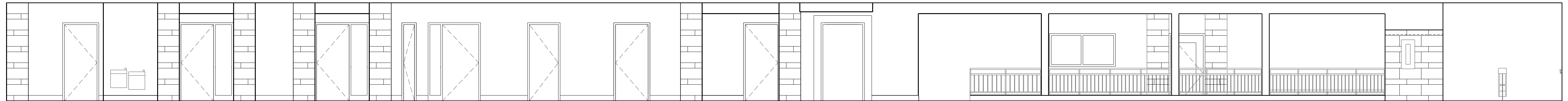
1/4" = 1'-0"



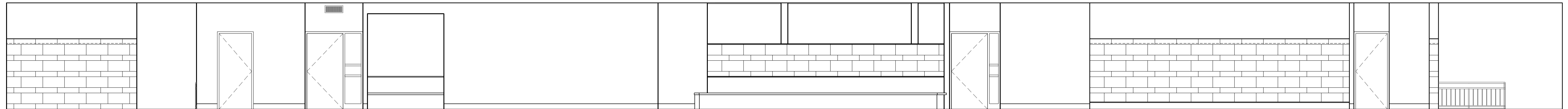
100 - 119 SOUTH




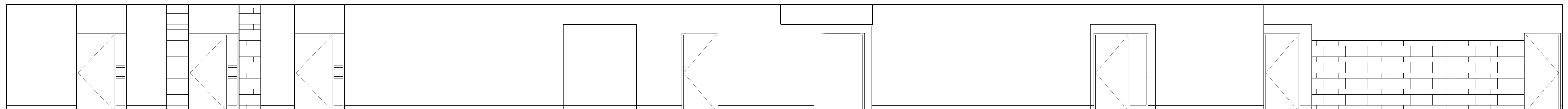




3 100-WEST  
A11.1  $\frac{1}{4}" = 1'-0"$




 200-EAST
 1/4" = 1'-0"



5 200-WEST  
A11.1 1/4" = 1'-0"

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### ANTERIOR ELEVATIONS

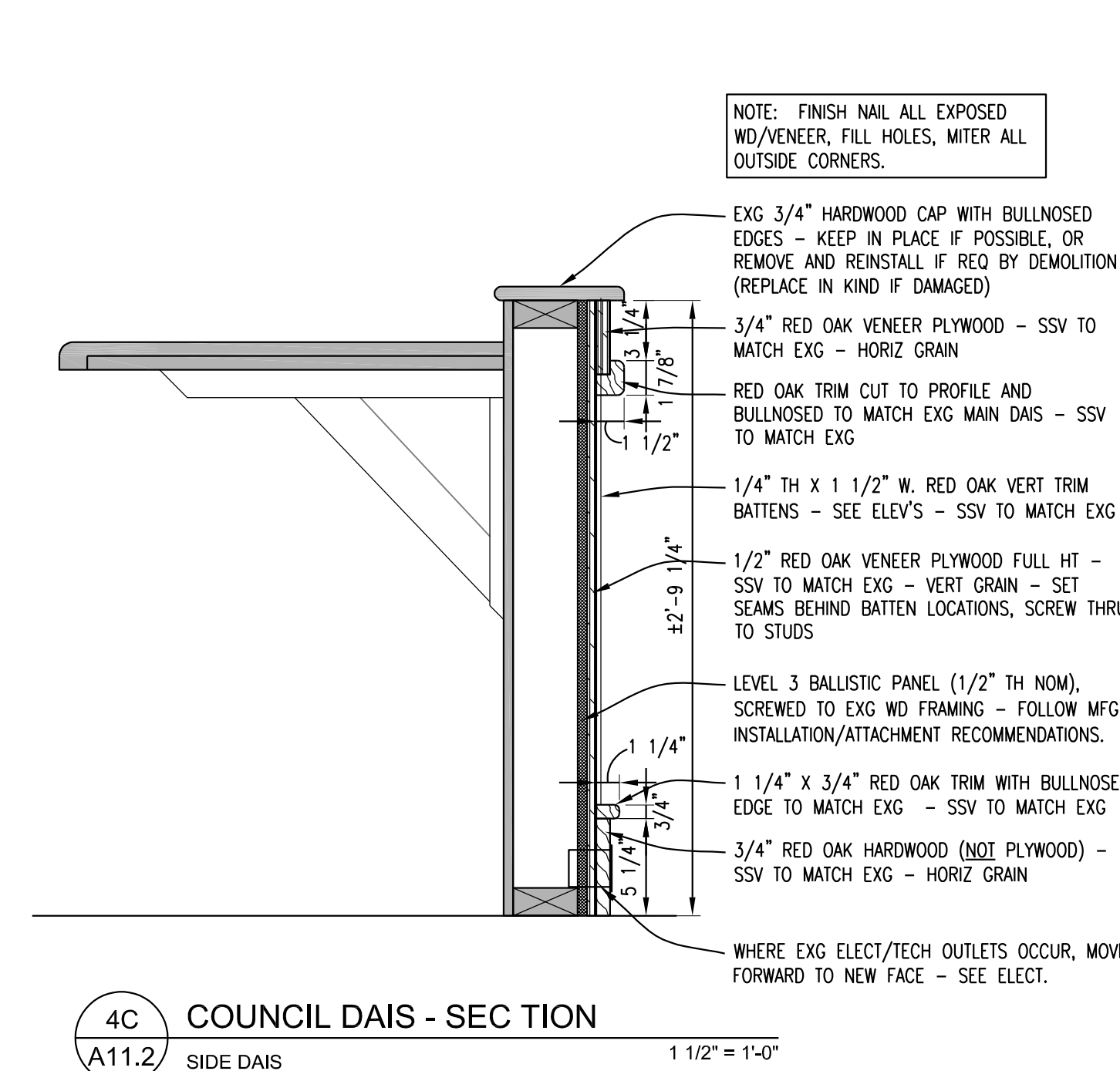
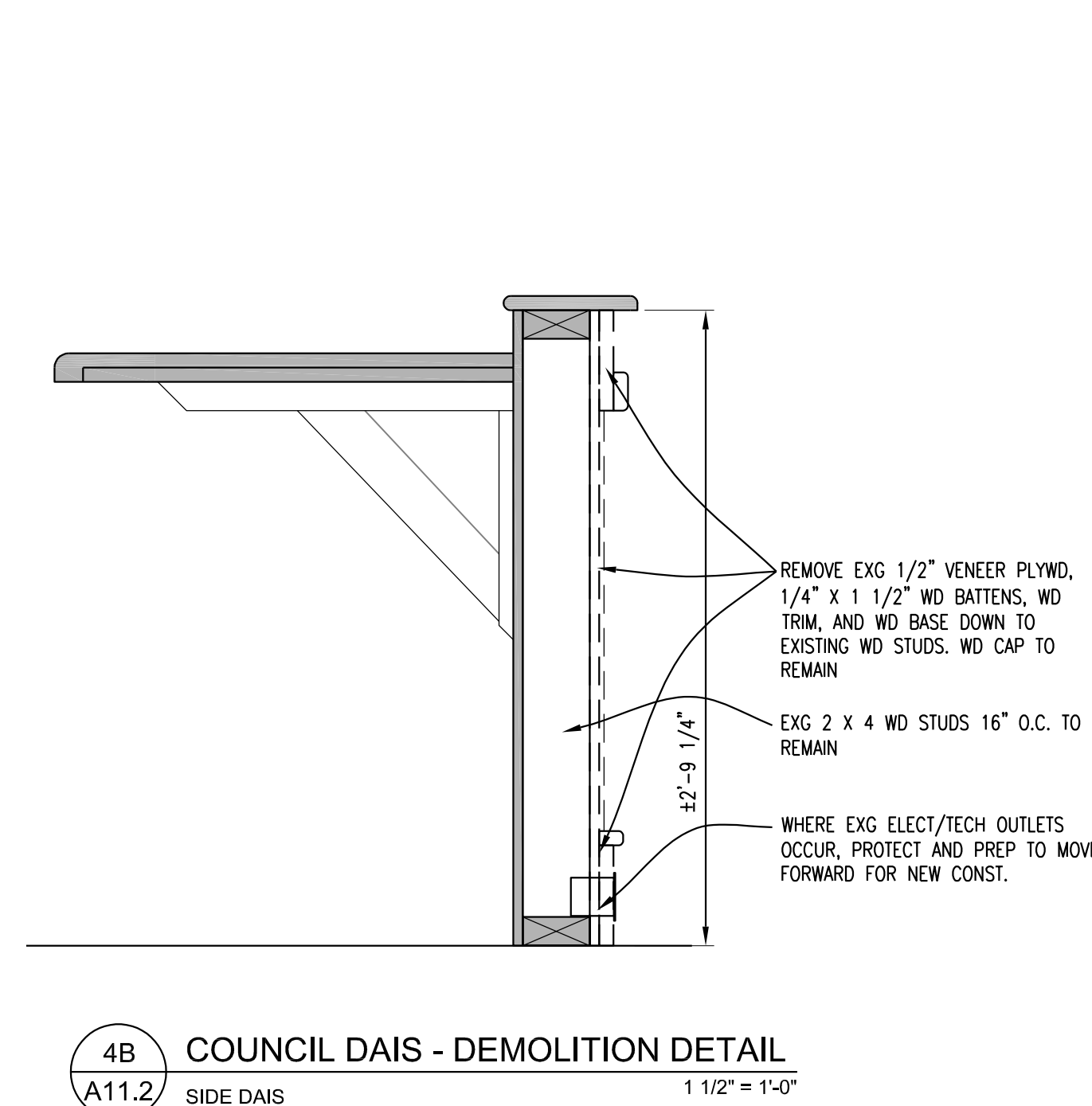
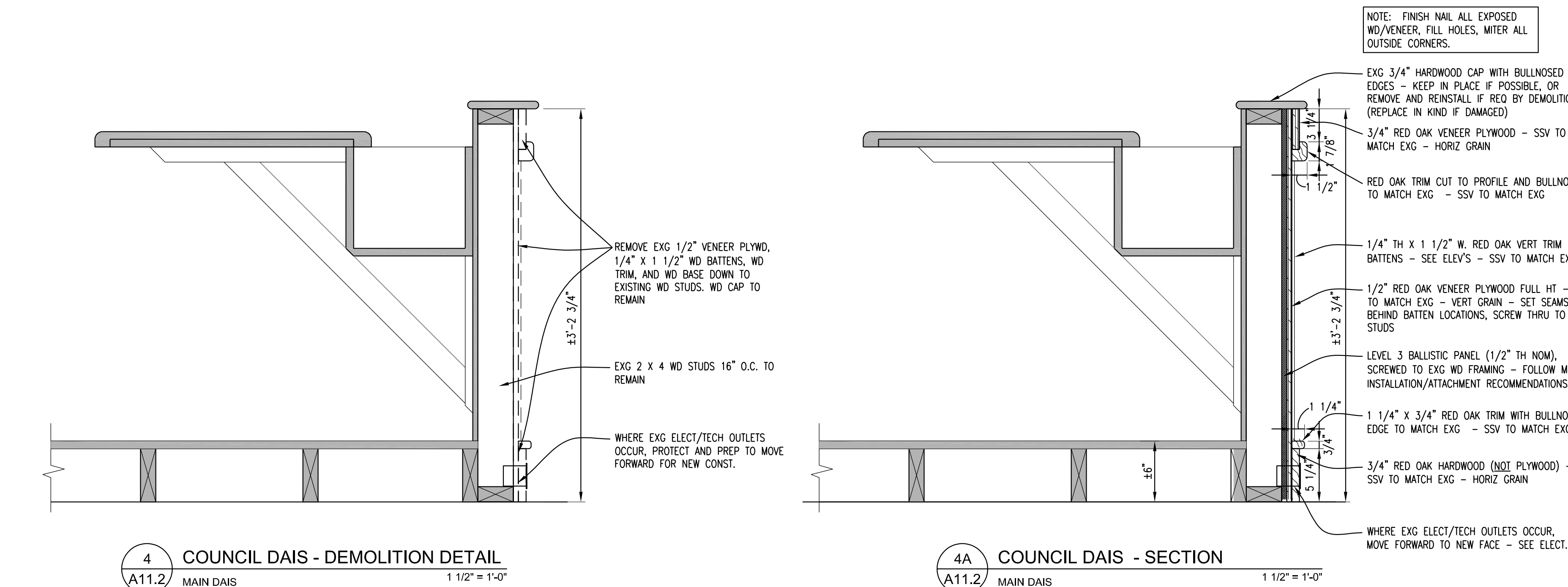
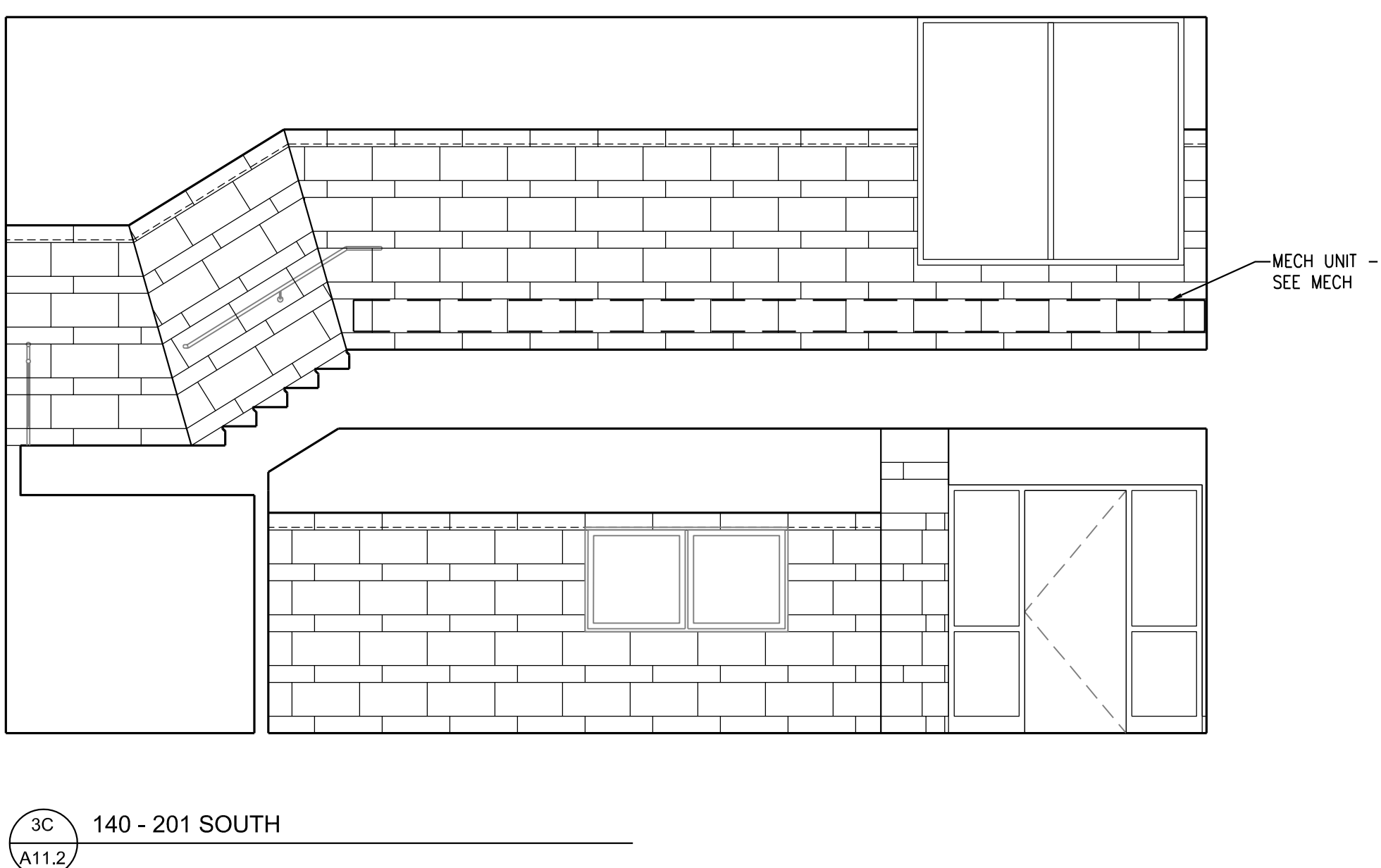
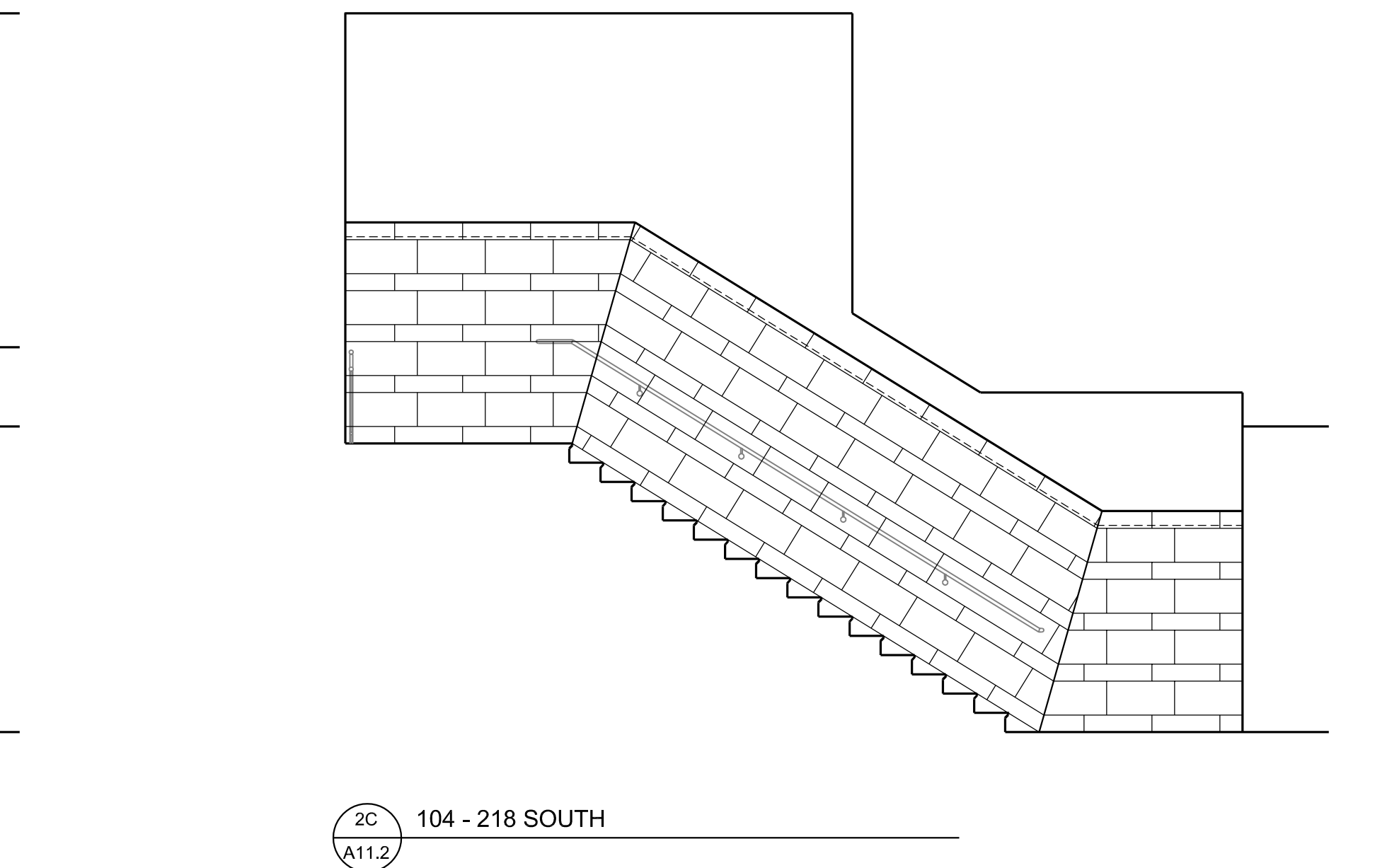
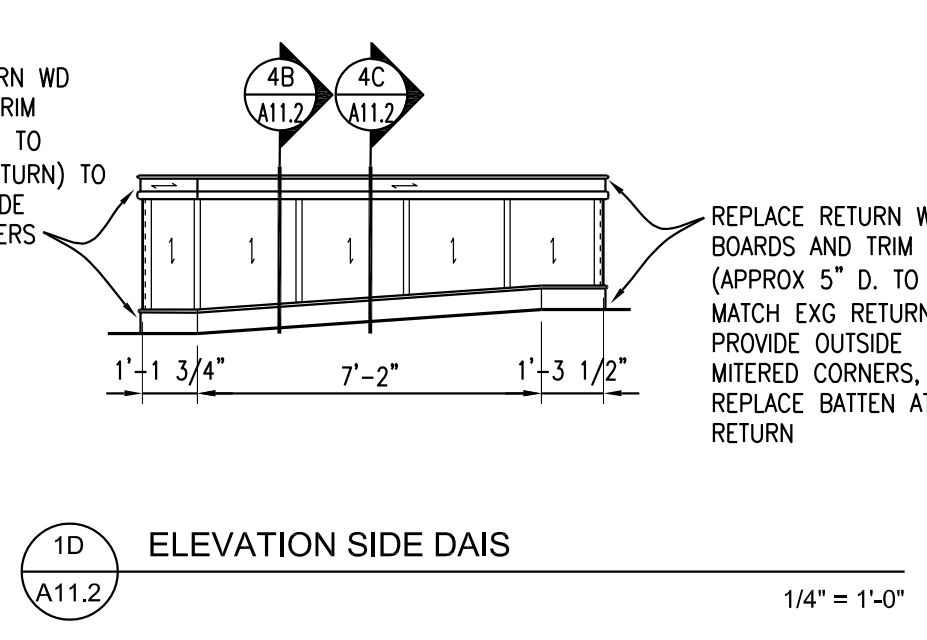
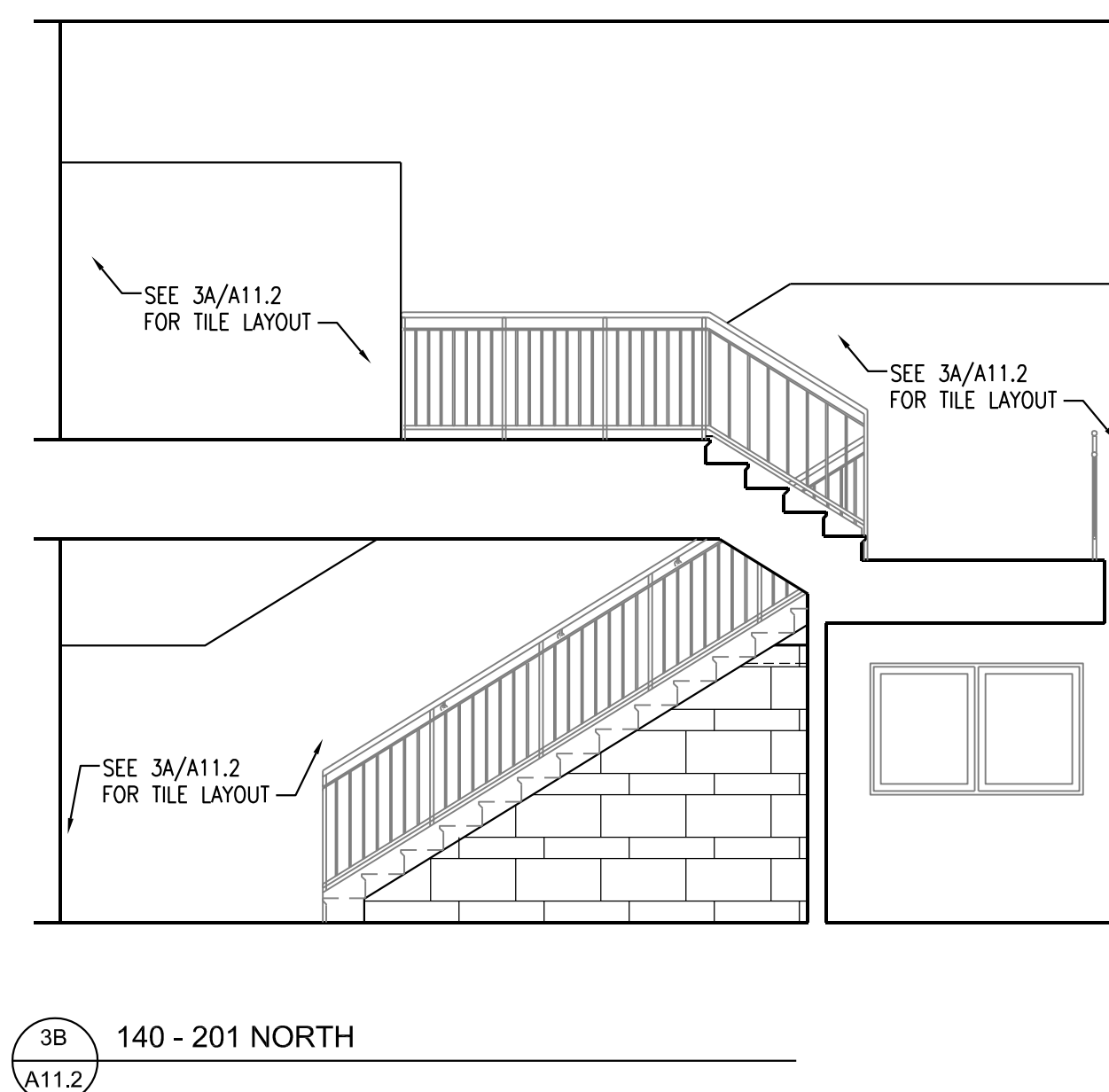
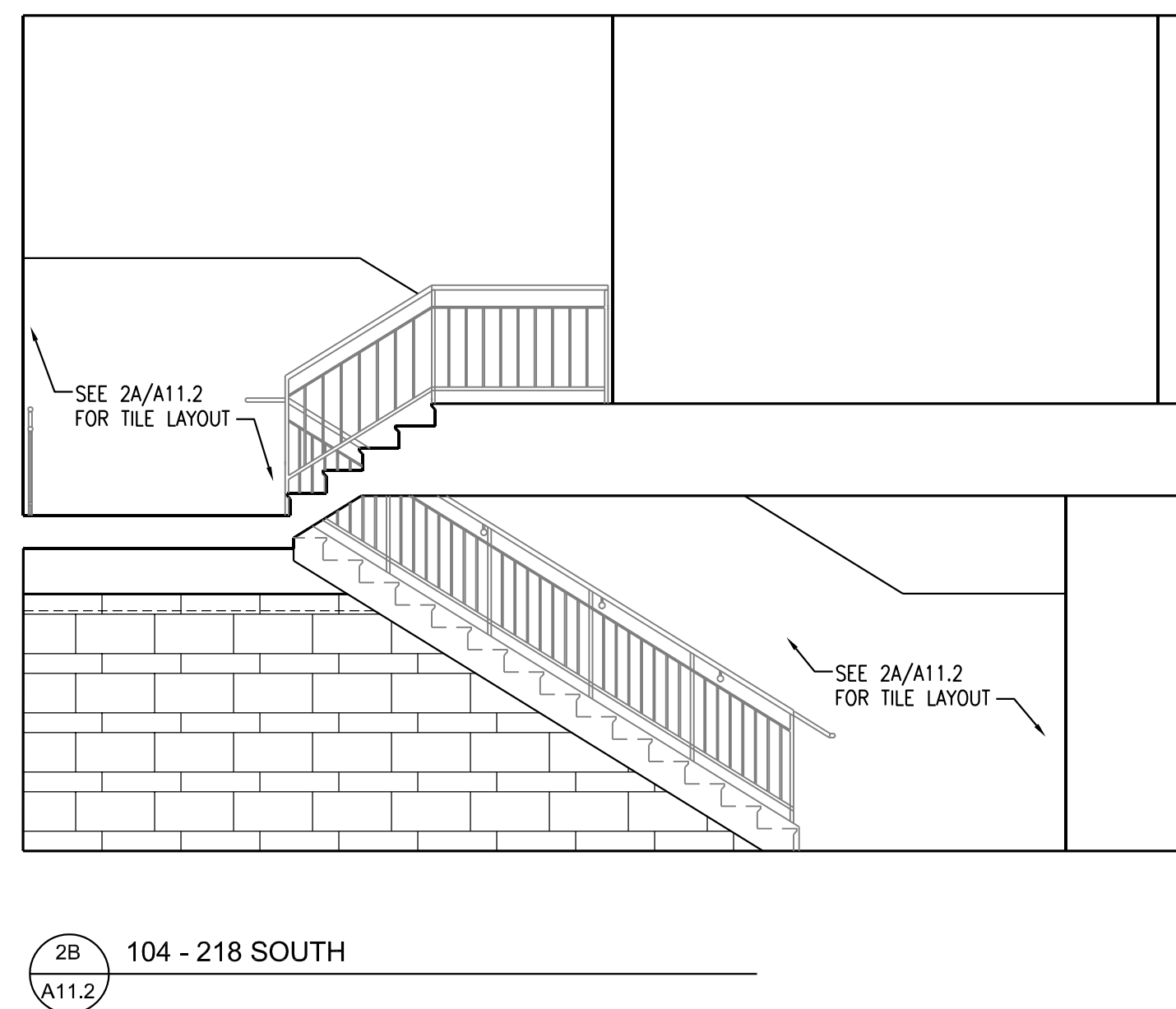
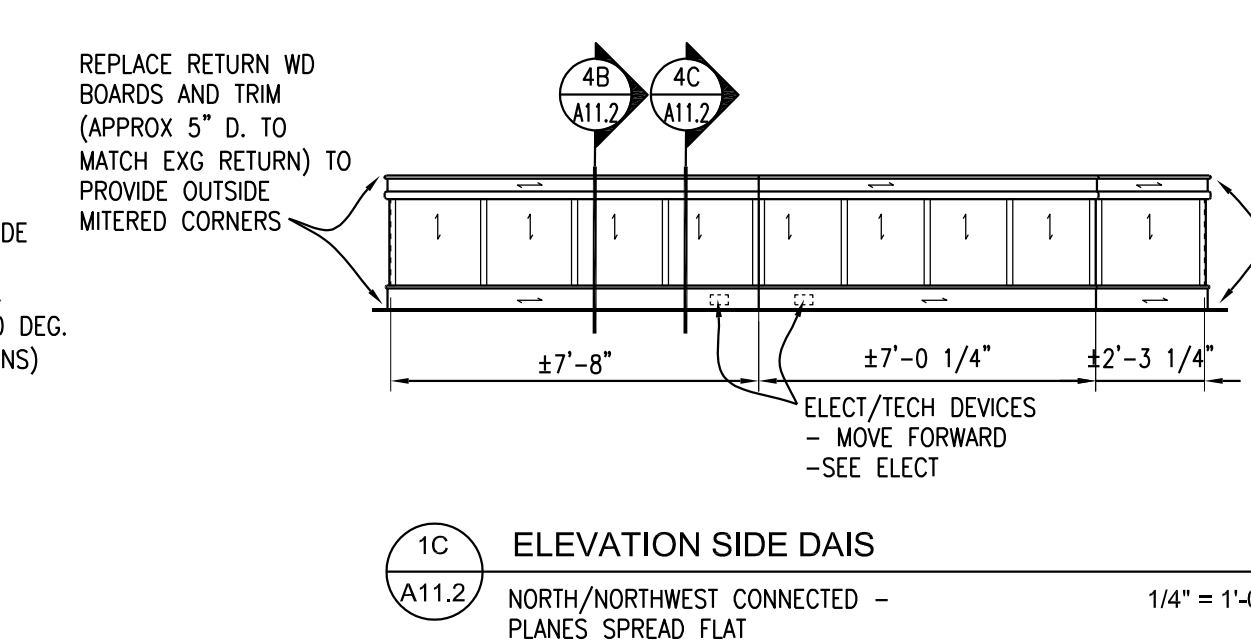
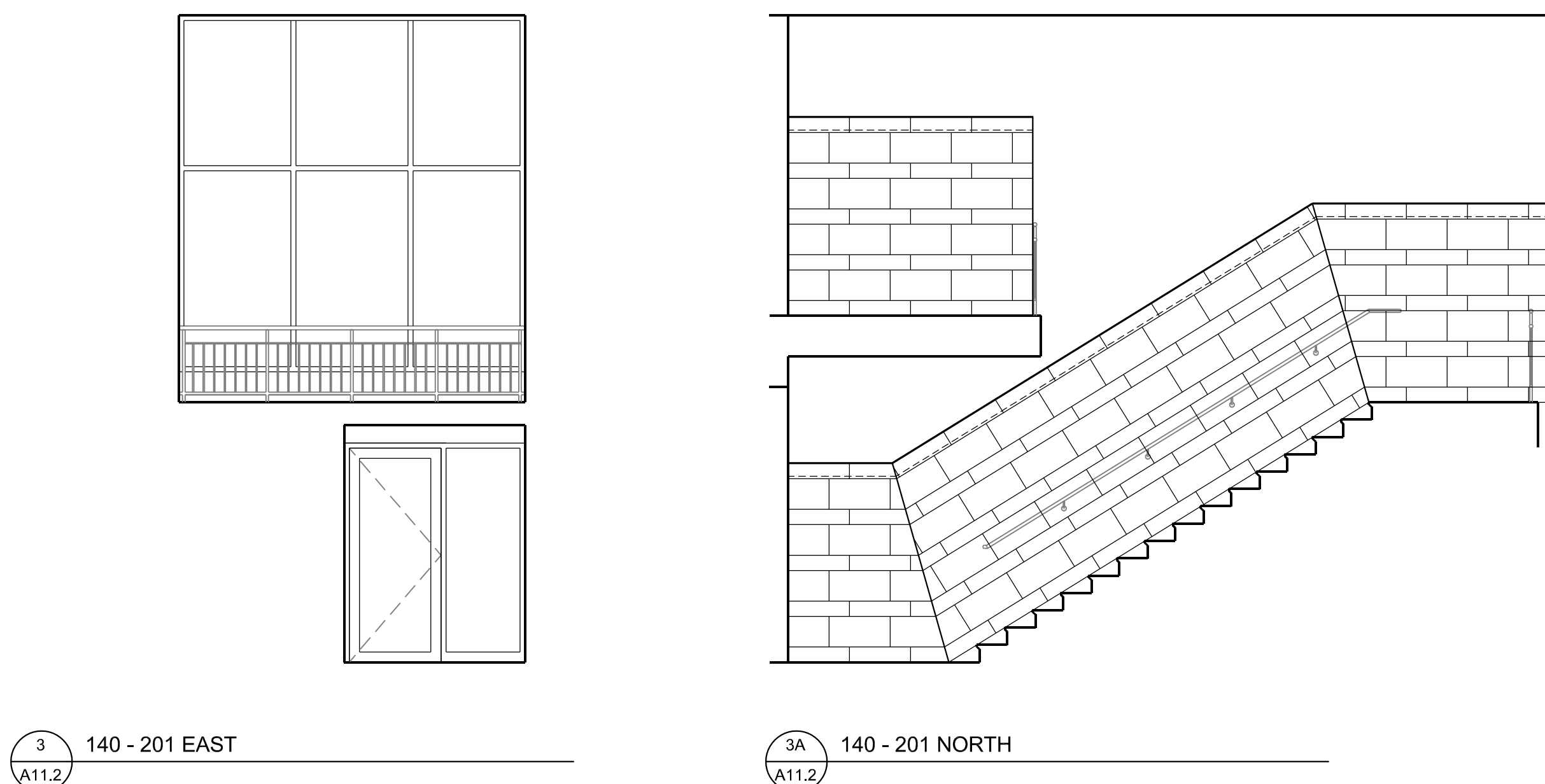
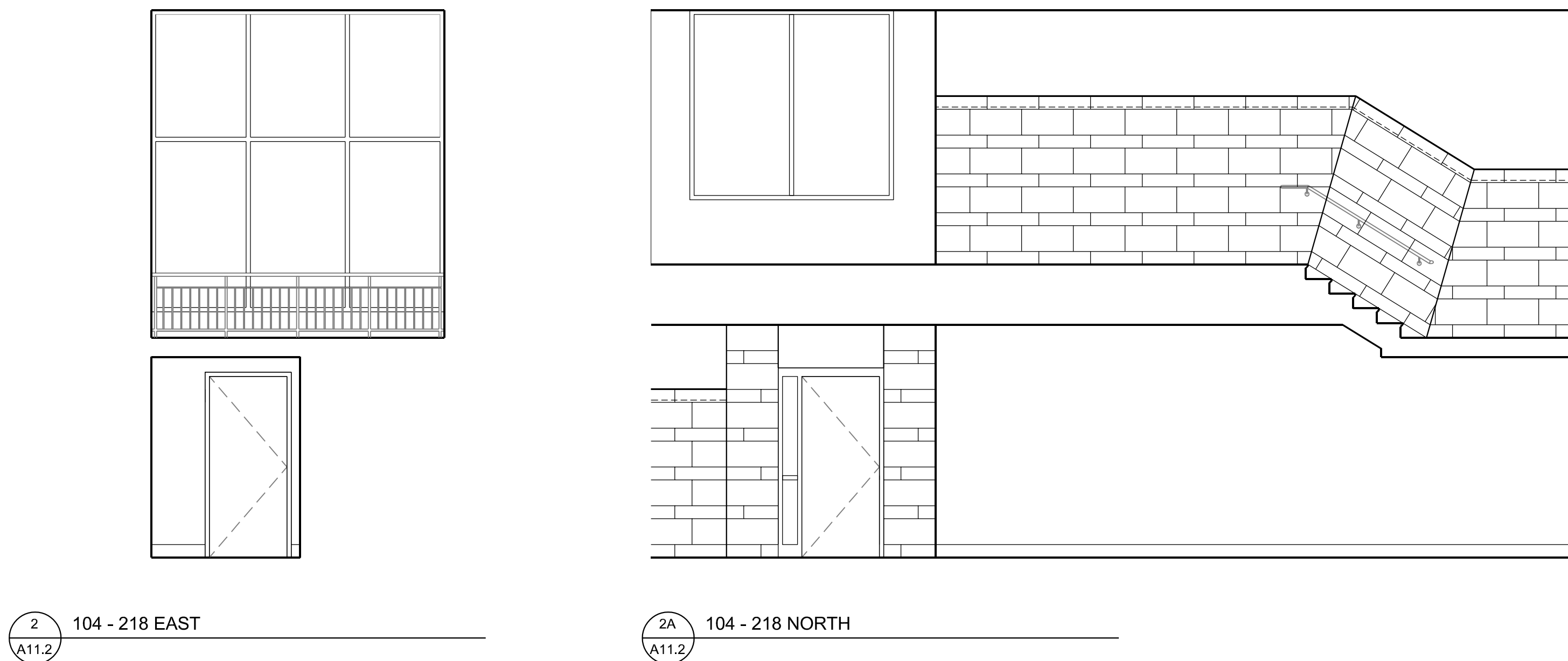
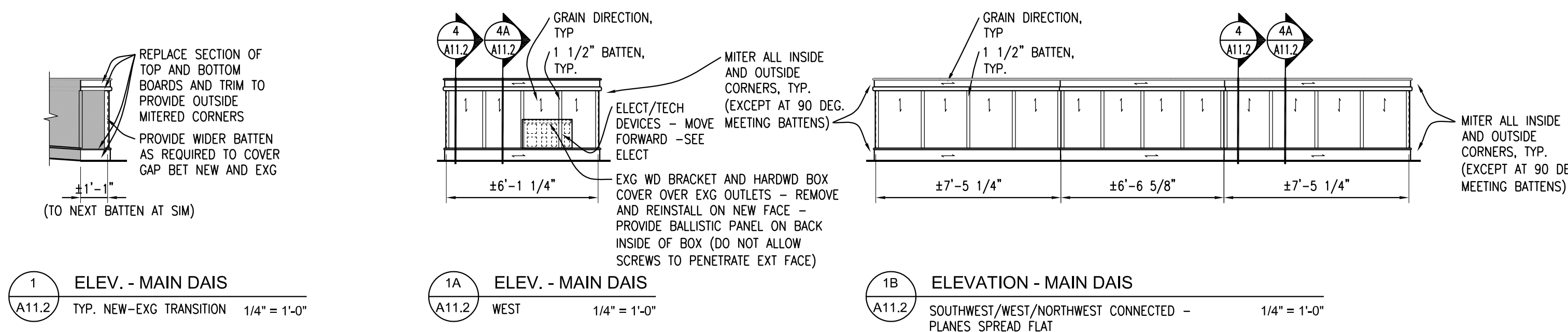
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## REFLECTED CEILING PLAN SYMBOLS

|  |            |  |
|--|------------|--|
| EXPOSED CONSTRUCTION<br>SEE ROOM FIN SCHED -<br>DETAILS & STRUC DWGS   | ○          | RECESSED<br>DOWNLIGHT<br>FIXTURE                                   |
| 2' x 2' LAY-IN ACOUSTIC<br>CEILING TILE - REFER<br>TO PLAN FOR PATTERN | ⊠          | RECESSED<br>LIGHT FIXTURE  |
| PLAS-GBD-STUCCO-EIFS<br>(AS PER SCHEDULE)<br>CJ - REFER TO DETAIL      | Ⓢ S<br>Ⓢ R | SPEAKER<br>S = SURFACE MOUNTED<br>R = RECESSED                     |
| VINYL FACED OR GYPSUMBOARD<br>CEILING TILE                             | ● S OR R   | EMERGENCY LIGHT FIXTURE<br>S = SURFACE MOUNTED<br>R = RECESSED     |
| GRILLES - DIFFUSERS<br>OR REGISTERS - REFER<br>TO MECH DWGS            | +          | SMOKE DETECTOR   |
| LINEAR DIFFUSER -<br>REFER TO MECH DWGS                                | ⊗          | EXIT LIGHT   |
| RECESSED FLUORESCENT<br>LIGHT FIXTURE                                  | ○ ● ■ ◼    | SPRINKLER HEAD -<br>REFER TO MECH DWGS                             |
| SURFACE MOUNTED<br>FLUORESCENT LIGHT<br>FIXTURE                        | ⊢          | LIGHT TRACK  |
| NIGHT LIGHT/EMERGENCY<br>FIXTURE                                       | ⊢          | PARTITIONS THAT CONTINUE<br>UP TO STRUCTURE<br>AND CLOSE OFF SPACE |
| SUSPENDED GRID W/WIRE MESH   | Ⓢ<br>F     | SMOKE ALARM<br>FIRE ALARM  |

### CEILING PLAN NOTES:

1. REFER TO ROOM FINISH SCHEDULE FOR OTHER CEILING INFORMATION  
(MATERIALS - FINISHES - HEIGHT - DETAILS)
2. IF CEILING IS SCHEDULED TO BE FIRE RATED - FIREPROOF ALL PENETRATIONS.
3. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS AND COORDINATE WITH EQUIPMENT  
AND FIXTURE LOCATIONS
4. VERIFY ACCESS PANELS REQUIRED TO MECH EQUIPMENT WITH MC.
5. REVISE EXG ACT GRIDS AND PADS AS REQUIRED FOR LIGHTS RELOCATION - COORD W/ ELECT

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ISSUED FOR  
95% REVIEW SET

ISSUE DATE  
MAY 26, 2021

SHEET NAME  
FIRST  
FLOOR REFLECTED  
CEILING PLAN AND  
DETAILS

AT&R PROJECT NO.  
20031.1

REVISION NO.

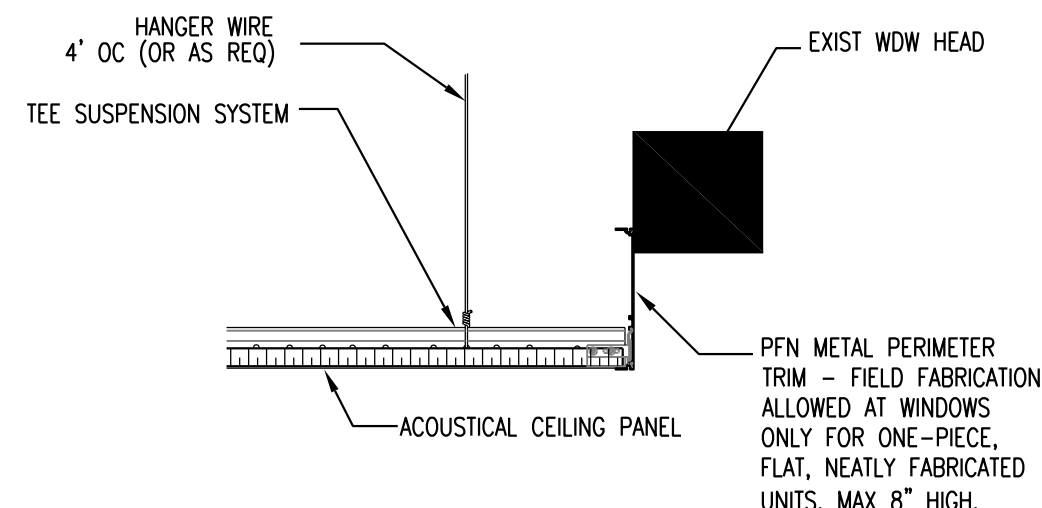
SHEET NUMBER

A13.1

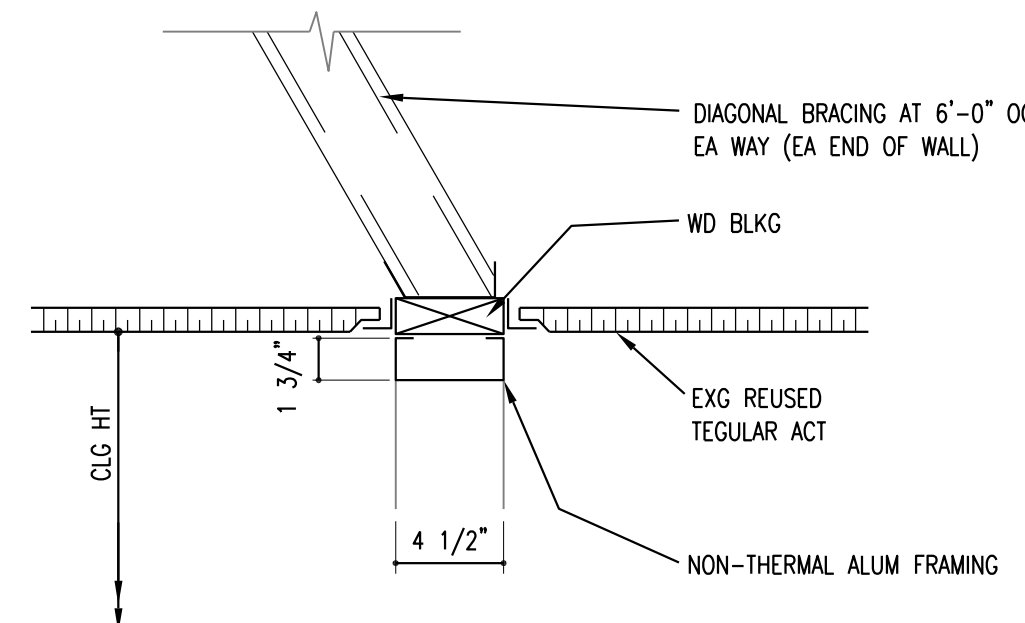


1 FIRST FLOOR  
A13.1 REFLECTED CEILING PLAN

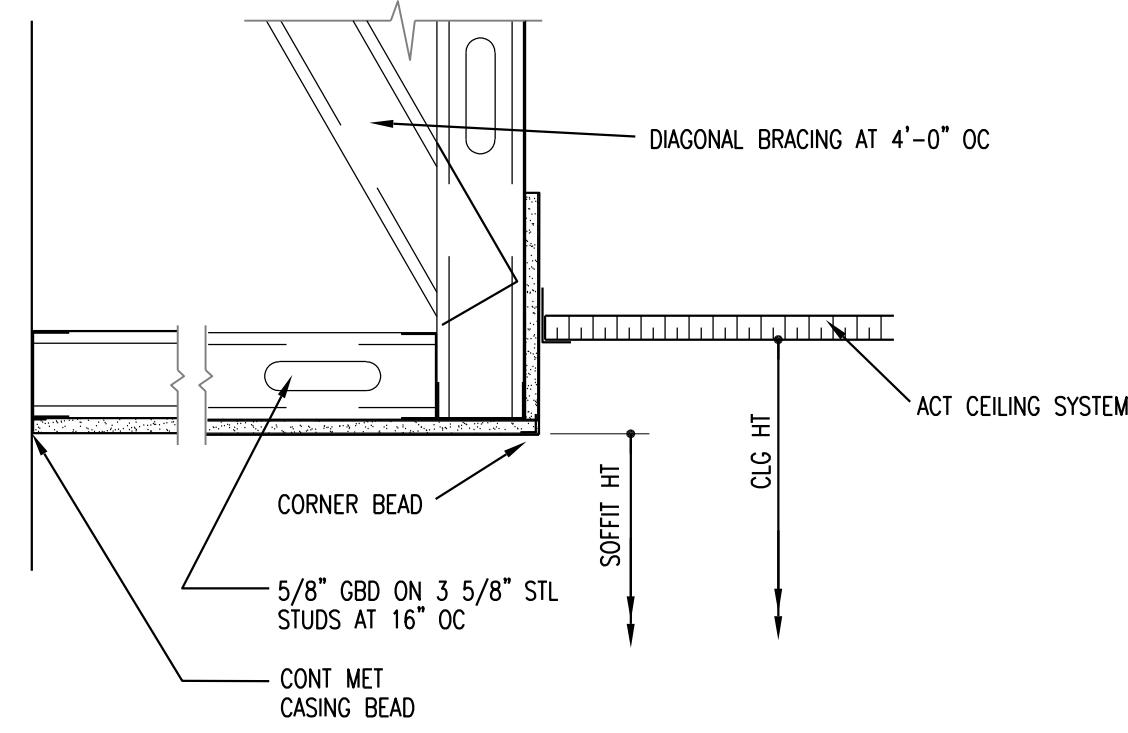
1/8" = 1'-0"



2 METAL CEILING DROP  
A13.1 1 1/2" = 1'-0"



2A AL FRAMING HEAD DETAIL AT CEILING  
A13.1 1 1/2" = 1'-0"



2B GBD SOFFIT  
A13.1 1 1/2" = 1'-0"




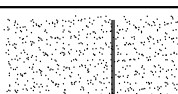


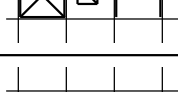



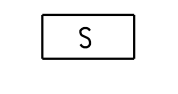

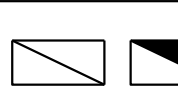




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| REFLECTED CEILING PLAN SYMBOLS  |   |   |
|---|---|---|
|   | <p>EXPOSED CONSTRUCTION<br/>SEE ROOM FIN SCHED -<br/>DETAILS &amp; STRUC DWGS</p> | <p>○</p> <p>RECESSED DOWNLIGHT<br/>FIXTURE</p>  |
|  | <p>2' x 2' LAY-IN ACOUSTIC<br/>CEILING TILE - REFER<br/>TO PLAN FOR PATTERN</p>   | <p></p> <p>RECESSED<br/>LIGHT FIXTURE</p>  |
|  | <p>PLAS-GBD-STUCCO-EFIS<br/>(AS PER SCHEDULE)<br/>CJ - REFER TO DETAIL</p>        | <p>Ⓢ S</p> <p>SPEAKER<br/>S = SURFACE MOUNTED<br/>R = RECESSED</p>  |
|  | <p>VINYL FACED OR GYPSUMBOARD<br/>CEILING TILE</p>                                | <p>Ⓢ</p> <p>EMERGENCY LIGHT FIXTURE<br/>S = SURFACE MOUNTED<br/>R = RECESSED</p>  |
|  | <p>GRILLES - DIFFUSERS<br/>OR RECOVERS - REFER<br/>TO MECH DWGS</p>               | <p>+</p> <p>SMOKE DETECTOR</p>  |
|  | <p>LINEAR DIFFUSER -<br/>REFER TO MECH DWGS</p>                                   | <p>⦿</p> <p>EXIT LIGHT</p>  |
|  | <p>RECESSED FLUORESCENT<br/>LIGHT FIXTURE</p>                                     | <p>○ ● ◼ ◀</p> <p>SPRINKLER HEAD -<br/>REFER TO MECH DWGS</p>   |
|  | <p>SURFACE MOUNTED<br/>FLUORESCENT LIGHT<br/>FIXTURE</p>                          | <p></p> <p>LIGHT TRACK</p>   |
|  | <p>NIGHT LIGHT/EMERGENCY<br/>FIXTURE</p>  | <p></p> <p>PARTITIONS THAT CONTINUE<br/>UP TO STRUCTURE,<br/>AND CLOSE OFF SPACE</p> |
|  | <p>SUSPENDED GRID W/WIRE MESH</p>   | <p>Ⓢ</p> <p>SMOKE ALARM</p>   |
|   |   | <p>Ⓢ</p> <p>FIRE ALARM</p>  |

CEILING PLAN NOTES:

1. REFER TO ROOM FINISH SCHEDULE FOR OTHER CEILING INFORMATION  
(MATERIALS - FINISHES - HEIGHT - DETAILS)
2. IF CEILING IS SCHEDULED TO BE FIRE RATED - FIREPROOF ALL PENETRATIONS.
3. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS AND COORDINATE WITH EQUIPMENT  
AND FUTURE LOCATIONS
4. VERIFY ACCESS PANELS REQUIRED TO MECH EQUIPMENT WITH MC.
5. REVISE EXC ACT GRIDS AND PADS AS REQUIRED FOR LIGHTS RELOCATION - COORD W/ ELECT

REVISIONS

**NORTHFIELD CITY HALL**  
**SAFETY / SECURITY**  
**ALTERATIONS**  
CITY OF NORTHFIELD  
801 WASHINGTON STREET  
NORTHFIELD, MN 55057

SIGNATURE / SEAL

FOR  
REFERENCE  
ONLY

NOT FOR  
CONSTRUCTION

## KEYPLAN

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A B C

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DEF ☐

ISSUED FOR  
95% REVIEW SET

ISSUE DATE  
MAY 26, 2021

SHEET NAME

SHEET NAME  
SECOND  
FLOOR REFLECTED  
CEILING PLAN

ATS&R PROJECT NO.  
20031.1

REVISION NO.

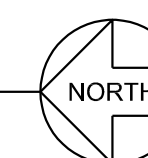
SHEET NUMBER

## A13.2



1 SECOND FLOOR  
A13.2 REFLECTED CEILING PLAN

---


$$1/8^* = 1' - 0$$




GENERAL MECHANICAL DEMOLITION NOTES

1. IF HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT PROCEED, BUT NOTIFY OWNER IMMEDIATELY.
2. WHEN PIPING AND/OR DUCTWORK IS INDICATED TO BE REMOVED, CONTRACTOR SHALL REMOVE ABANDONED DUCTWORK AND/OR PIPING IN ITS ENTIRETY. DO NOT ABANDON IN PLACE UNLESS INDICATED.
3. WHEN EQUIPMENT IS SHOWN TO BE REMOVED, THE CONTRACTOR SHALL DEMOLISH AND REMOVE ASSOCIATED EQUIPMENT INCLUDING BUT NOT LIMITED TO DUCTWORK, GRILLES, REGISTER, DIFFUSERS, TEMPERATURE SENSORS, PNEUMATIC TUBING, VALVES, FITTINGS, RELATED SENSORS, DAMPER AND ANCHORS, ETC..
4. WHEN PIPING OR INSULATED DUCTWORK IS REMOVED, CONTRACTOR SHALL REPAIR AND/OR REPLACE DAMAGED INSULATION. REPLACE INSULATION VOIDS WITH MATERIAL TO MATCH EXISTING THICKNESS AND TYPE. SEAL INSULATION JACKET AND INSULATE NEW PIPE CAPS.
5. CONTRACTORS SHALL FIELD VERIFY SIZE AND LOCATION OF ALL PIPING AND EQUIPMENT SHOWN ON DEMOLITION PLANS. SIZES AND LOCATION OF EQUIPMENT, DUCTWORK AND PIPING SHOWN PER ORIGINAL DOCUMENTS.
6. DEMOLISHED MATERIAL SHALL BE REMOVED AND DISPOSED OF IN COMPLIANCE WITH SPECIFICATIONS, FEDERAL, STATE AND LOCAL CODES.
7. CONTRACTOR SHALL GROUT ALL FLOOR OPENINGS THAT ARE NOT TO BE REUSED.
8. WHEN TEMPERATURE SENSORS ARE REMOVED, REMOVE RELATED AIR LINES/WIRING BACK TO SOURCE & CAP/CRIMP. PROVIDE COVER PLATE WHERE NEW SENSOR LOCATION IS OTHER THAN SHOWN ON PLAN. COORDINATE WITH NEW WORK DRAWINGS. FIELD-VERIFY ALL LOCATIONS.
9. TERMINATE HEATING TERMINAL UNIT PIPING REMOVED UNDER THIS PROJECT WITH BALL VALVES AND CAPS AT FLOWING MAIN. (TYPICAL)

NOTE: ALL NEW WORK MUST PROCEED CONSECUTIVELY AND IN COORDINATION WITH CONSTRUCTION SCHEDULES.

NOTE:

HATCHING DENOTES MECHANICAL DUCTWORK AND/OR EQUIPMENT TO BE REMOVED.

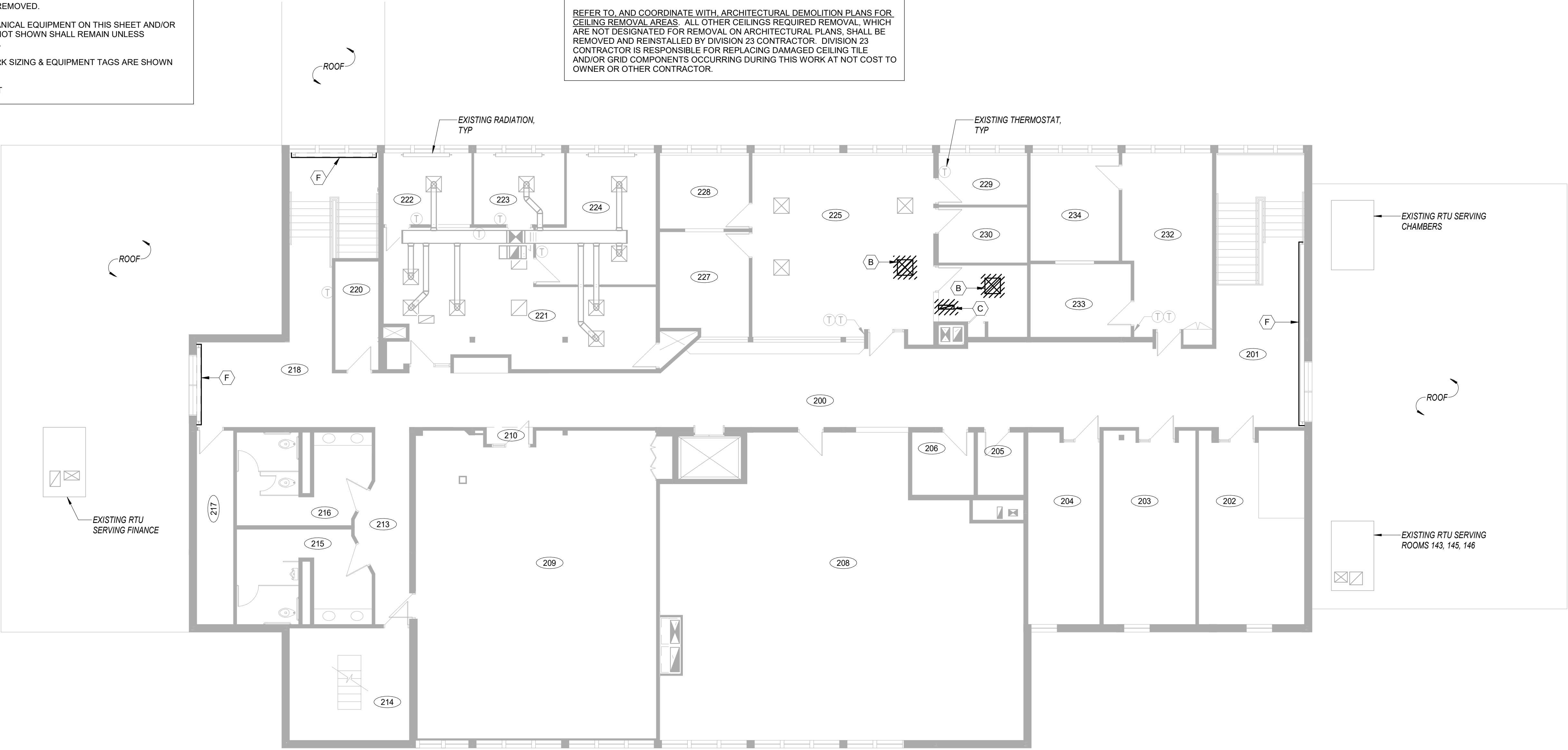
ALL DASHED MECHANICAL EQUIPMENT ON THIS SHEET AND/OR MECH EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS OTHERWISE NOTED.

EXISTING DUCTWORK SIZING & EQUIPMENT TAGS ARE SHOWN IN ITALICS.

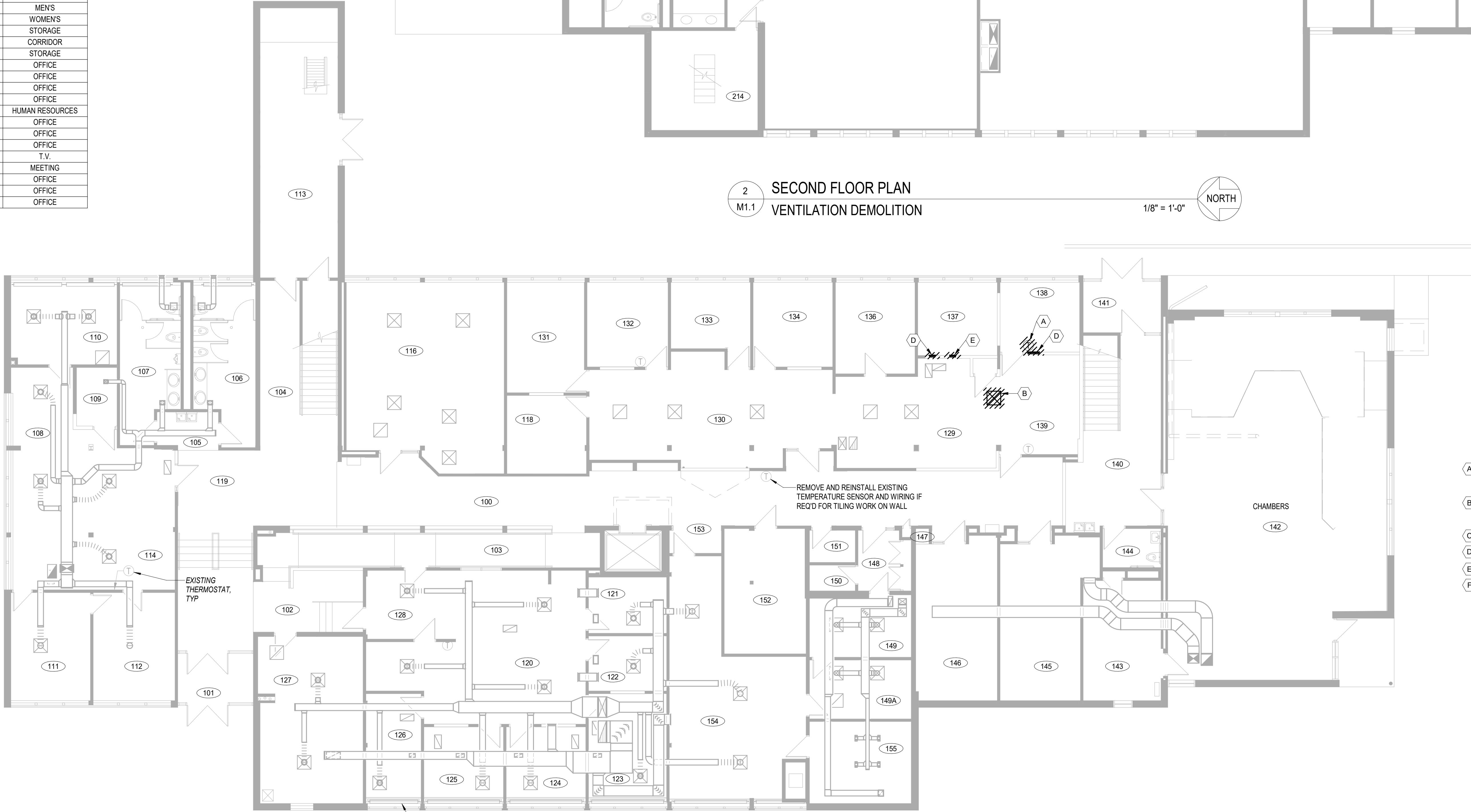
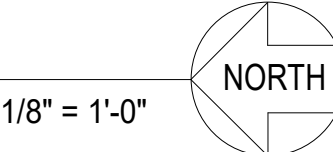
TYPICAL THIS SHEET

CEILING WORK BY MECHANICAL

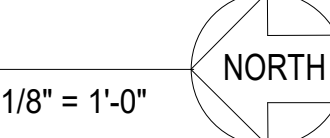
REFER TO, AND COORDINATE WITH, ARCHITECTURAL DEMOLITION PLANS FOR CEILING REMOVAL AREAS. ALL OTHER CEILINGS REQUIRED REMOVAL, WHICH ARE NOT DESIGNATED FOR REMOVAL ON ARCHITECTURAL PLANS, SHALL BE REMOVED AND REINSTALLED BY DIVISION 23 CONTRACTOR. DIVISION 23 CONTRACTOR IS RESPONSIBLE FOR REPLACING DAMAGED CEILING TILE AND/OR GRID COMPONENTS OCCURRING DURING THIS WORK AT NOT COST TO OWNER OR OTHER CONTRACTOR.



2 SECOND FLOOR PLAN  
M1.1 VENTILATION DEMOLITION



1 FIRST FLOOR PLAN  
M1.1 VENTILATION DEMOLITION



| No.  | Name                |
|------|---------------------|
| 100  | CORRIDOR            |
| 101  | VESTIBULE           |
| 102  | CORRIDOR            |
| 103  | RAMP                |
| 104  | CORRIDOR            |
| 105  | ALCOVE              |
| 106  | WOMEN               |
| 107  | MEN                 |
| 108  | FINANCE             |
| 109  | STORAGE             |
| 110  | CONFERENCE          |
| 111  | OFFICE              |
| 112  | OFFICE              |
| 113  | MECHANICAL          |
| 114  | WAITING             |
| 115  | WAITING             |
| 116  | DMV                 |
| 118  | OFFICE              |
| 119  | CORRIDOR            |
| 120  | ENGINEERING         |
| 121  | PRINT ROOM          |
| 122  | OFFICE              |
| 123  | OFFICE              |
| 124  | OFFICE              |
| 125  | OFFICE              |
| 126  | OFFICE              |
| 127  | CONFERENCE          |
| 128  | OFFICE              |
| 129  | ADMINISTRATION      |
| 130  | BUILDING & PLANNING |
| 131  | BUILDING OFFICIAL   |
| 132  | OFFICE              |
| 133  | OFFICE              |
| 134  | OFFICE              |
| 135  | OFFICE              |
| 136  | OFFICE              |
| 137  | OFFICE              |
| 138  | COMM DEV DIRECTOR   |
| 139  | MEETING             |
| 140  | CORRIDOR            |
| 141  | VESTIBULE           |
| 142  | COUNCIL CHAMBERS    |
| 143  | AUDIO - VISUAL      |
| 144  | UNISEX              |
| 145  | CONFERENCE          |
| 146  | CONFERENCE          |
| 147  | CLOSET              |
| 148  | ENTRY               |
| 149  | COPY                |
| 149A | I.T.                |
| 150  | STORAGE             |
| 151  | JANITOR             |
| 152  | STORAGE             |
| 153  | ALCOVE              |
| 154  | I.T.                |
| 155  | I.T. HEAD END       |

| No. | Name            |
|-----|-----------------|
| 200 | CORRIDOR        |
| 201 | CORRIDOR        |
| 202 | BREAK           |
| 203 | CONFERENCE      |
| 204 | OFFICE          |
| 205 | JANITOR         |
| 206 | ELEV EQUIP      |
| 208 | STORAGE         |
| 209 | TRAINING        |
| 210 | ENTRY           |
| 213 | HALLWAY         |
| 214 | MECHANICAL      |
| 215 | MENS            |
| 216 | WOMENS          |
| 217 | STORAGE         |
| 218 | CORRIDOR        |
| 220 | STORAGE         |
| 221 | OFFICE          |
| 222 | OFFICE          |
| 223 | OFFICE          |
| 224 | OFFICE          |
| 226 | HUMAN RESOURCES |
| 227 | OFFICE          |
| 228 | OFFICE          |
| 229 | OFFICE          |
| 230 | T.V.            |
| 231 | MEETING         |
| 232 | OFFICE          |
| 233 | OFFICE          |
| 234 | OFFICE          |

MECHANICAL CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION.

SPECIFIC NOTES:

- (A) REMOVE THERMOSTAT AND ASSOCIATED WIRING FROM WALL. RETAIN WIRING AND T-STAT FOR REINSTALLATION UNDER NEW WORK - REFER TO M2.1 FOR NEW WORK IN THIS AREA.
- (B) REMOVE SUPPLY DIFFUSER SHOWN HATCHED AND ASSOCIATED FLEX DUCT. RETAIN DIFFUSER FOR REINSTALLATION UNDER NEW WORK - REFER TO M2.1 FOR NEW WORK IN THIS AREA.
- (C) REMOVE RETURN GRILLE.
- (D) REMOVE WALL-MOUNTED SUPPLY GRILLE.
- (E) REMOVE WALL-MOUNTED RETURN GRILLE.
- (F) MECHANICAL CONTRACTOR SHALL REMOVE RADIATION COVER FOR TILING WORK AT WALL - RETAIN AND PROTECT COVER FOR REINSTALLATION UNDER NEW WORK - REFER TO M2.1 FOR NEW WORK IN THIS AREA.



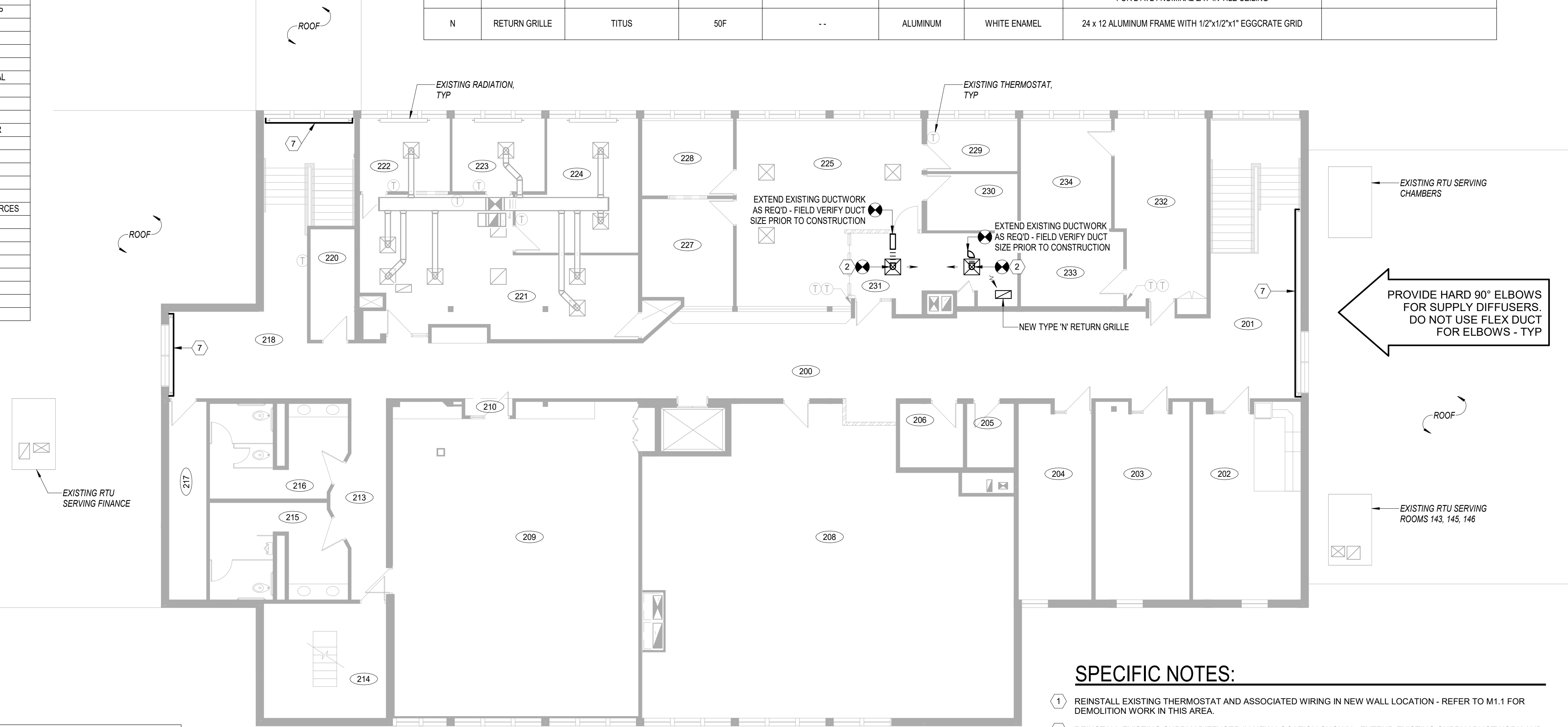
VENTILATION GENERAL NOTES

- SUPPLY AND RETURN PIPING TO COILS ARE THE SAME SIZE.
- CONTRACTOR SHALL LOCATE TEMPERATURE SENSORS AT 5'-0" AFF, A MINIMUM OF 8" FROM LIGHT SWITCH.
- REFER TO HVAC AND HYDRONIC PLANS FOR TEMPERATURE SENSOR LOCATIONS
- CONDENSATE DRAINS SHALL BE SUPPLIED FOR ALL COOLING EQUIPMENT. CONTRACTOR SHALL ENSURE PROPER INSTALLATION & DRAINAGE AS REQUIRED BY FEDERAL, STATE, & LOCAL CODES. CONDENSATE PIPING SHALL BE TYPE "L" COPPER.
- ALL SUPPLY, RETURN, AND EXHAUST DUCTWORK SHALL BE RATED FOR PRESSURE CLASS OF 2" W.G. UNLESS NOTED OTHERWISE.
- THIS CONTRACTOR SHALL BE REQUIRED TO REPLACE FILTERS ON HVAC EQUIPMENT AFTER ALL DUST PRODUCING CONSTRUCTION HAS BEEN COMPLETED AND PRIOR TO THE FINAL PUNCH.
- ALL DIMENSIONS ARE IN INCHES UNLESS OTHERWISE SPECIFIED.
- COORDINATE ROOF DRAINS AND RAIN WATER LEADERS WITH DUCTWORK/PIPING LOCATIONS.
- VERIFY EXACT WALL LOCATIONS WITH ARCHITECTURAL PLANS.
- ALL WORK SHALL MEET STATE AND LOCAL CODES.
- MAXIMUM FLEXIBLE DUCT LENGTHS SHALL BE NO GREATER THAN FIVE FEET (5'-0"). SEE DETAILS.
- ALL RETURN AIR DIFFUSER BOOTS SHALL BE LINED WITH 1/2" EXTERNAL INSULATION.
- ALL TRANSFER AIR DUCTS SHALL BE LINED WITH 1-INCH EXTERNAL INSULATION.
- REFER TO REFLECTED CEILING PLANS FOR EXACT REGISTER, GRILLE, AND DIFFUSER LOCATIONS.
- THIS CONTRACTOR (SUB-CONTRACTOR) SHALL COORDINATE INSTALLATION OF THEIR WORK WITH OTHER CONTRACTORS AND RESOLVE ALL DISPUTES PRIOR TO INSTALLATION.
- IN GENERAL - DUCTWORK SHALL RUN TIGHT TO OR BETWEEN STRUCTURE UNLESS OTHERWISE NOTED ON PLAN.
- VENTILATION CONTRACTOR SHALL ASCERTAIN LOCATION OF ALL ELECTRICAL PANELBOARDS AND SHALL KEEP PIPING AND DUCTWORK OUT OF AREA ABOVE THE PANELBOARDS AND FOR A DISTANCE OF 3'6" IN FRONT OF AND 1'6" ON EITHER SIDE. THIS INCLUDES CONTROL PANELS FOR MECHANICAL EQUIPMENT.
- SEE SPECIFICATIONS FOR TEMPERATURE SENSOR TYPES AND CONTROLS.
- WHERE 45 DEGREE BRANCH TAKE-OFFS CANNOT BE USED, PROVIDE 90 DEGREE CONICAL TAKE-OFFS.
- REFER TO TITLE SHEET M0.0 FOR FIRE, SMOKE, AND COMBINATION FIRE/SMOKE SYMBOLOLOGY.
- INSTALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE NO HIGHER THAN 3'0" ABOVE FINISHED CEILING UNLESS OTHERWISE NOTED ON PLAN. THIS INCLUDES, BUT IS NOT LIMITED TO: VAV BOXES, FAN COILS, FAN-POWERED BOXES, REHEAT COILS, AND ETC.
- ALL WORK MUST PROCEED CONSECUTIVELY AND IN COORDINATION WITH CONSTRUCTION SCHEDULES.

| FIRST FLOOR ROOM NAMES |                     |
|------------------------|---------------------|
| No.                    | Name                |
| 100                    | CORRIDOR            |
| 101                    | VESTIBULE           |
| 102                    | CORRIDOR            |
| 103                    | RAMP                |
| 104                    | CORRIDOR            |
| 105                    | ALCOVE              |
| 106                    | WOMEN               |
| 107                    | MEN                 |
| 108                    | FINANCE             |
| 109                    | STORAGE             |
| 110                    | CONFERENCE          |
| 111                    | OFFICE              |
| 112                    | OFFICE              |
| 113                    | MECHANICAL          |
| 114                    | WAITING             |
| 115                    | WAITING             |
| 116                    | DMV                 |
| 118                    | OFFICE              |
| 119                    | CORRIDOR            |
| 120                    | ENGINEERING         |
| 121                    | PRINT ROOM          |
| 122                    | OFFICE              |
| 123                    | OFFICE              |
| 124                    | OFFICE              |
| 125                    | OFFICE              |
| 126                    | OFFICE              |
| 127                    | CONFERENCE          |
| 128                    | OFFICE              |
| 129                    | ADMINISTRATION      |
| 130                    | BUILDING & PLANNING |
| 131                    | BUILDING OFFICIAL   |
| 132                    | OFFICE              |
| 133                    | OFFICE              |
| 134                    | OFFICE              |
| 135                    | OFFICE              |
| 136                    | OFFICE              |
| 137                    | OFFICE              |
| 138                    | COMM DEV DIRECTOR   |
| 139                    | MEETING             |
| 140                    | CORRIDOR            |
| 141                    | VESTIBULE           |
| 142                    | COUNCIL CHAMBERS    |
| 143                    | AUDIO - VISUAL      |
| 144                    | UNISEX              |
| 145                    | CONFERENCE          |
| 146                    | CONFERENCE          |
| 147                    | CLOSET              |
| 148                    | ENTRY               |
| 149                    | COPY                |
| 149A                   | I.T.                |
| 150                    | STORAGE             |
| 151                    | JANITOR             |
| 152                    | STORAGE             |
| 153                    | ALCOVE              |
| 154                    | I.T.                |
| 155                    | I.T. HEAD END       |

| SECOND FLOOR ROOM NAMES |                 |
|-------------------------|-----------------|
| No.                     | Name            |
| 200                     | CORRIDOR        |
| 201                     | CORRIDOR        |
| 202                     | BREAK           |
| 203                     | CONFERENCE      |
| 204                     | OFFICE          |
| 205                     | ALCOVE          |
| 206                     | ELEV EQUIP      |
| 208                     | STORAGE         |
| 209                     | TRAINING        |
| 210                     | ENTRY           |
| 213                     | HALLWAY         |
| 214                     | MECHANICAL      |
| 215                     | MENS            |
| 216                     | WOMENS          |
| 217                     | STORAGE         |
| 218                     | CORRIDOR        |
| 220                     | STORAGE         |
| 221                     | OFFICE          |
| 222                     | OFFICE          |
| 223                     | OFFICE          |
| 224                     | OFFICE          |
| 226                     | HUMAN RESOURCES |
| 227                     | OFFICE          |
| 228                     | OFFICE          |
| 229                     | OFFICE          |
| 230                     | T.V.            |
| 231                     | MEETING         |
| 232                     | OFFICE          |
| 233                     | OFFICE          |
| 234                     | OFFICE          |

| GRILLES, REGISTERS, & DIFFUSERS SCHEDULE |                 |              |           |                      |          |              |  |                                 |
|--|-----------------|--------------|-----------|----------------------|----------|--------------|--|---------------------------------|
| TYPE                                     | SYSTEM          | MANUFACTURER | MODEL NO. | DAMPER               | MATERIAL | FINNISH      | SPECIFICATION  | REMARKS                         |
| H  | SUPPLY DIFFUSER | TITUS        | TMSA      | OPPOSED BLADE DAMPER | STEEL    | WHITE ENAMEL | ADJUSTABLE STEEL SQUARE CEILING DIFFUSER FOR 24 x 24 NOMINAL LAY-IN TILE CEILING | NECK SIZES INDICATED ON DRAWING |
| N  | RETURN GRILLE   | TITUS        | 50F       | --                   | ALUMINUM | WHITE ENAMEL | 24 x 12 ALUMINUM FRAME WITH 1/2"x1/2"x1" EGGRATE GRID                            |                                 |



SPECIFIC NOTES:

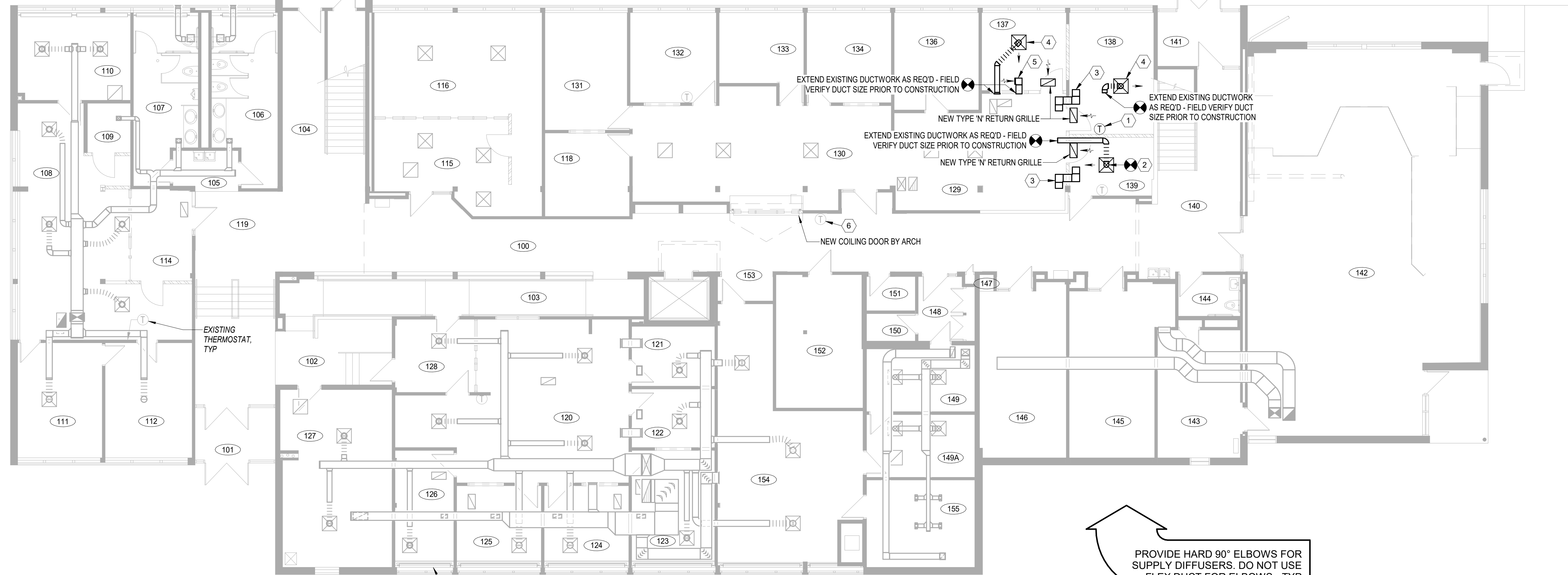
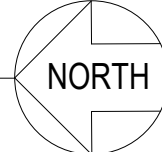
- REINSTALL EXISTING THERMOSTAT AND ASSOCIATED WIRING IN NEW WALL LOCATION - REFER TO M1.1 FOR DEMOLITION WORK IN THIS AREA.
- REINSTALL EXISTING SUPPLY DIFFUSER IN NEW LOCATION SHOWN - EXTEND EXISTING SUPPLY DUCTWORK AND PROVIDE NEW FITTING(S) AS REQ'D. NEW DUCTWORK & FITTING(S) SHALL BE SAME SIZE AS EXISTING - VERIFY EXISTING DUCT SIZE PRIOR TO CONSTRUCTION.
- NEW 12/12 TRANSFER AIR DUCT - REFER TO DETAIL 3M2.1 FOR TYPICAL INSTALLATION.
- NEW TYPE 'H' SUPPLY DIFFUSER - EXTEND EXISTING SUPPLY DUCTWORK AND PROVIDE NEW FITTING(S) AS REQ'D. NEW DUCTWORK & FITTING(S) SHALL BE SAME SIZE AS EXISTING - VERIFY EXISTING DUCT SIZE PRIOR TO CONSTRUCTION.
- EXTEND EXISTING RETURN AIR DUCT AND PROVIDE MITERED ELBOW AS SHOWN - DUCT END TO REMAIN OPEN. NEW DUCTWORK & FITTING(S) SHALL BE SAME SIZE AS EXISTING - VERIFY EXISTING DUCT SIZE PRIOR TO CONSTRUCTION.
- REMOVE AND REINSTALL EXISTING TEMPERATURE SENSOR AND WIRING IF REQ'D FOR TILING WORK ON WALL.
- REINSTALL RADIATION COVER - REFER TO M1.1 FOR DEMOLITION WORK IN THIS AREA.

CEILING WORK BY MECHANICAL

REFER TO, AND COORDINATE WITH, ARCHITECTURAL DEMOLITION PLANS FOR CEILING REMOVAL AREAS. ALL OTHER CEILINGS REQUIRED REMOVAL, WHICH ARE NOT DESIGNATED FOR REMOVAL ON ARCHITECTURAL PLANS, SHALL BE REMOVED AND REINSTALLED BY DIVISION 23 CONTRACTOR. DIVISION 23 CONTRACTOR IS RESPONSIBLE FOR REPLACING DAMAGED CEILING TILE AND/OR GRID COMPONENTS OCCURRING DURING THIS WORK AT NOT COST TO OWNER OR OTHER CONTRACTOR.

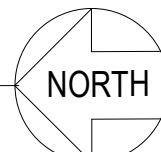
SECOND FLOOR PLAN VENTILATION

1/8" = 1'-0"

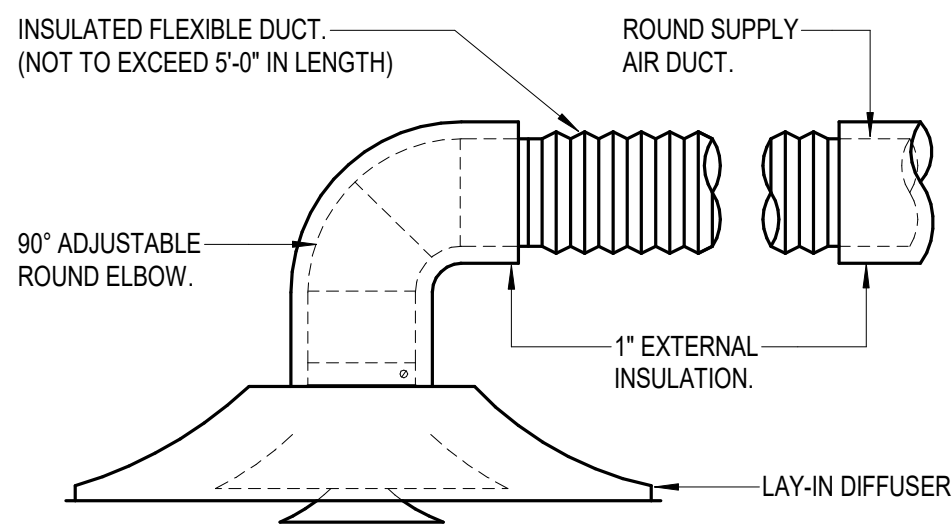


FIRST FLOOR PLAN VENTILATION

1/8" = 1'-0"

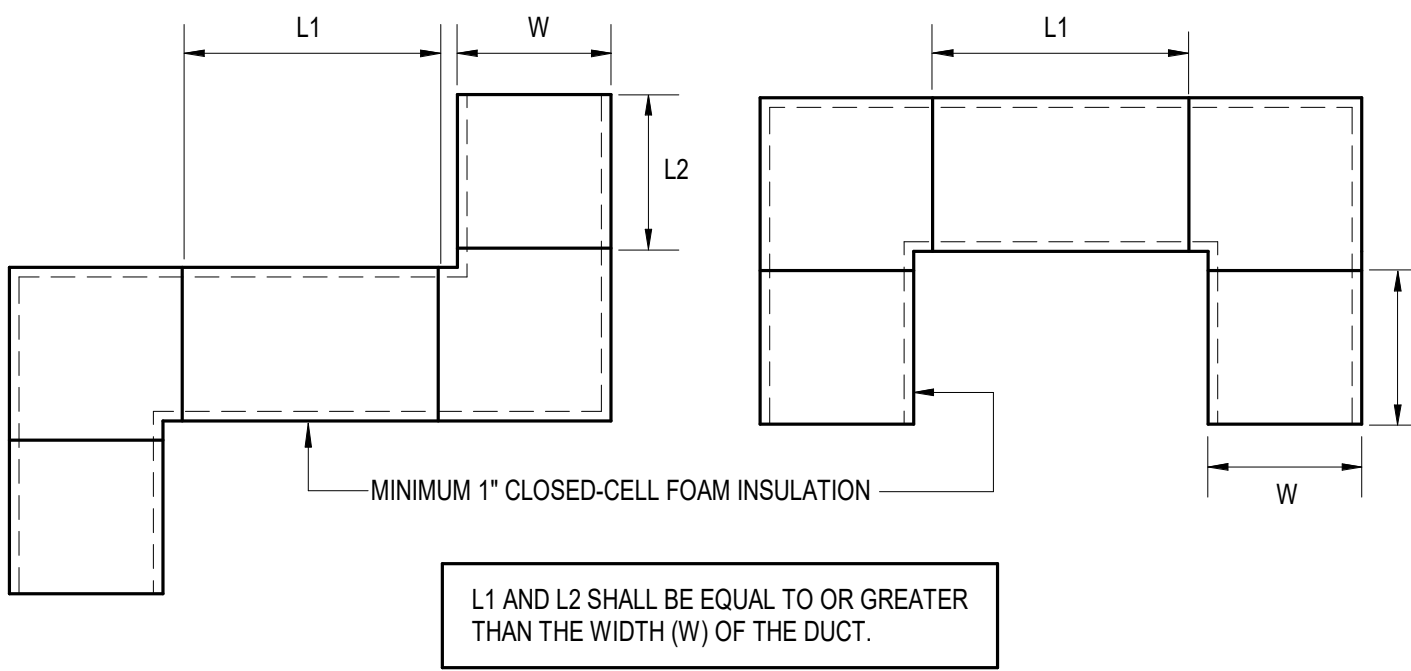


NOTE: FLEX DUCT SHALL NOT BE USED IN ELBOWS.



TYPICAL SQUARE DIFFUSER INSTALLATION DETAIL

NO SCALE



L1 AND L2 SHALL BE EQUAL TO OR GREATER THAN THE WIDTH (W) OF THE DUCT.

TRANSFER DUCT DETAIL

NO SCALE

ATSR

ARCHITECTURE PLANNING INTERIOR DESIGN  
ENGINEERING TECHNOLOGY LANDSCAPE ARCHITECTURE

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WEB: www.atshr.com

Armstrong, Torseth, Skold & Rydeen, Inc. 2020  
CONSULTANTS

REVISIONS  
REV NO DESCRIPTION DATE

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SAFETY / SECURITY  
ALTERATIONS  
CITY OF NORTHFIELD  
801 WASHINGTON STREET  
NORTHFIELD, MN 55057

SIGNATURE / SEAL

FOR  
REFERENCE  
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NOT FOR  
CONSTRUCTION

KEYPLAN

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ISSUE DATE

MAY 26, 2021

SHEET NAME

MECHANICAL PLANS

ATSR PROJECT NO.

20031.1

REVISION NO.

SHEET NUMBER

M2.1



Northfield City Hall  
Safety /Security Alterations  
City of Northfield  
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SHEET INDEX

E0.0 ELECTRICAL TITLE SHEET & SYMBOLS SCHEDULE  
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E2.1 FIRST AND SECOND FLOOR POWER PLANS  
E4.1 FIRST AND SECOND FLOOR SYSTEMS PLANS

REVISIONS

ELECTRICAL SYMBOLS

1. THESE SYMBOLS COMPRISE A STANDARD LIST, NOT ALL SYMBOLS MAY APPEAR ON THIS PROJECT.  
2. ALL MOUNTING HEIGHTS ARE TO CENTER OF DEVICE ABOVE FINISHED FLOOR, MOUNTING HEIGHTS SHOWN ARE TYPICAL, UNLESS NOTED OTHERWISE ON THE DRAWINGS OR IN THE SPECIFICATIONS.  
3. UNLESS SPECIFICALLY NOTED OTHERWISE, ALL TECHNOLOGY BOXES SHALL BE 4" SO DEEP WITH ONE GANG MUD RING.  
4. ITEMS CALLED OUT ON SPECIFIC DETAILS TAKE PRECEDENCE OVER THIS SHEET.  
5. PROVIDE "RUGGED-USE" RECEPTACLES IN ALL BOILER ROOMS, MECHANICAL ROOMS, CORRIDORS AND MAINTENANCE AREAS.

| SYMBOL | SYMBOL DESCRIPTION  | MTG HT  | SYMBOL | SYMBOL DESCRIPTION                      | MTG HT           | SYMBOL | SYMBOL DESCRIPTION                        | MTG HT  | SYMBOL | SYMBOL DESCRIPTION                            | MTG HT   | SYMBOL | SYMBOL DESCRIPTION  | MTG HT |
|--------|---|---------|--------|---|------------------|--------|---|---------|--------|---|----------|--------|---|--------|
|        | HOME RUN - HASH MARKS INDICATE QUANTITY OF #12 CONDUCTORS. LETTERS INDICATE PANEL NAME. NUMBERS INDICATE CIRCUIT NUMBERS. |         |        | DOUBLE POLE SWITCH                      | 46"              |        | DROP CORD OUTLET                          |         |        | WALL MOUNTED LIGHT FIXTURE                    | SEE SPEC |        | FIRE ALARM MANUAL STATION   | 46"    |
|        | SURFACE MOUNTED CONDUIT   |         |        | THREE WAY SWITCH                        | 46"              |        | PUSH BUTTON                               | 46"     |        | SURFACE MOUNTED LIGHT FIXTURE                 |          |        | EXTERIOR FIRE ALARM HORN  |        |
|        | CONDUIT CONCEALED IN WALL OR CEILING  |         |        | FOUR WAY SWITCH                         | 46"              |        | PUSH BUTTON STATION                       |         |        | RECESSED LIGHT FIXTURE                        |          |        | FIRE ALARM SMOKE DETECTOR   |        |
|        | CONDUIT CONCEALED IN FLOOR  |         |        | SINGLE POLE KEYED SWITCH                | 46"              |        | TIME SWITCH                               |         |        | CEILING MOUNTED EXIT LIGHT                    |          |        | FIRE ALARM DUCT SMOKE DETECTOR. PROVIDE REMOTE TEST STATION FOR EACH DETECTOR, SEE SECTION 28 31 10 OF THE SPECS. |        |
|        | CONDUIT UP  |         |        | DIMMER                                  | 46"              |        | WALL MOUNTED CLOCK                        | 98"     |        | WALL MOUNTED EXIT LIGHT                       | 98"      |        | MAGNETIC DOOR HOLDER  |        |
|        | CONDUIT DOWN  |         |        | POWER OR DISTRIBUTION CABINET           | SEE SPEC         |        | PHOTOCELL                                 |         |        | EMERGENCY LIGHT - WALL PACK                   | 98"      |        | FIRE ALARM BELL/STROBE  |        |
|        | SURFACE RACEWAY   | SEE DWG |        | POWER OR LIGHTING PANEL BOARD           |                  |        | TIME CLOCK                                |         |        | SINGLE POLE SWITCH                            | 46"      |        | FIRE ALARM BELL/STROBE  |        |
|        | VERTICAL SURFACE METAL RACEWAY  | SEE DWG |        | METER SOCKET                            | SEE SPEC         |        | BUZZER                                    | SEE DWG |        | RANGE RECEPTACLE                              | 18"      |        | FIRE/SMOKE DAMPER   |        |
|        | POWER POLE  |         |        | MOTOR - NUMBER REFERS TO MOTOR SCHEDULE | SEE MTR SCHEDULE |        | SOUND FIELD SPEAKER                       | SEE DWG |        | SPECIAL PURPOSE RECEPTACLE (SEE DWG FOR TYPE) | 18"      |        | SMOKE DAMPER  |        |
|        | 1X4 FLUORESCENT LIGHT FIXTURE   |         |        | DISCONNECT SWITCH                       | SEE SPEC         |        | FIRE ALARM HEAT DETECTOR                  |         |        | FLOOR BOX WITH DUPLEX RECEPTACLE              |          |        | MOTION SENSOR   |        |
|        | 2X4 FLUORESCENT LIGHT FIXTURE   |         |        | MOTOR STARTER                           | SEE SPEC         |        | FIRE ALARM SPEAKER/STROBE                 | 82"     |        | FLOOR BOX OR POKE-THROUGH AS NOTED            |          |        |   |        |
|        | 2X2 FLUORESCENT LIGHT FIXTURE   |         |        | COMBINATION STARTER/DISCONNECT          | SEE SPEC         |        | FIRE ALARM STROBE                         | 82"     |        | JUNCTION BOX                                  |          |        |   |        |
|        | OUTDOOR STANDARD  |         |        | RELAY                                   | SEE DWG          |        | CEILING MOUNTED FIRE ALARM SPEAKER/STROBE |         |        |   |          |        |   |        |
|        | EXTERIOR WALL MOUNTED LIGHT FIXTURE   |         |        | SINGLE RECEPTACLE                       | 18"              |        | CEILING MOUNTED FIRE ALARM STROBE         |         |        |   |          |        |   |        |
|        |   |         |        | DUPLEX RECEPTACLE (SEE NOTE #5)         | 18"              |        |   |         |        |   |          |        |   |        |

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ALTERATIONS  
CITY OF NORTHFIELD  
801 WASHINGTON STREET  
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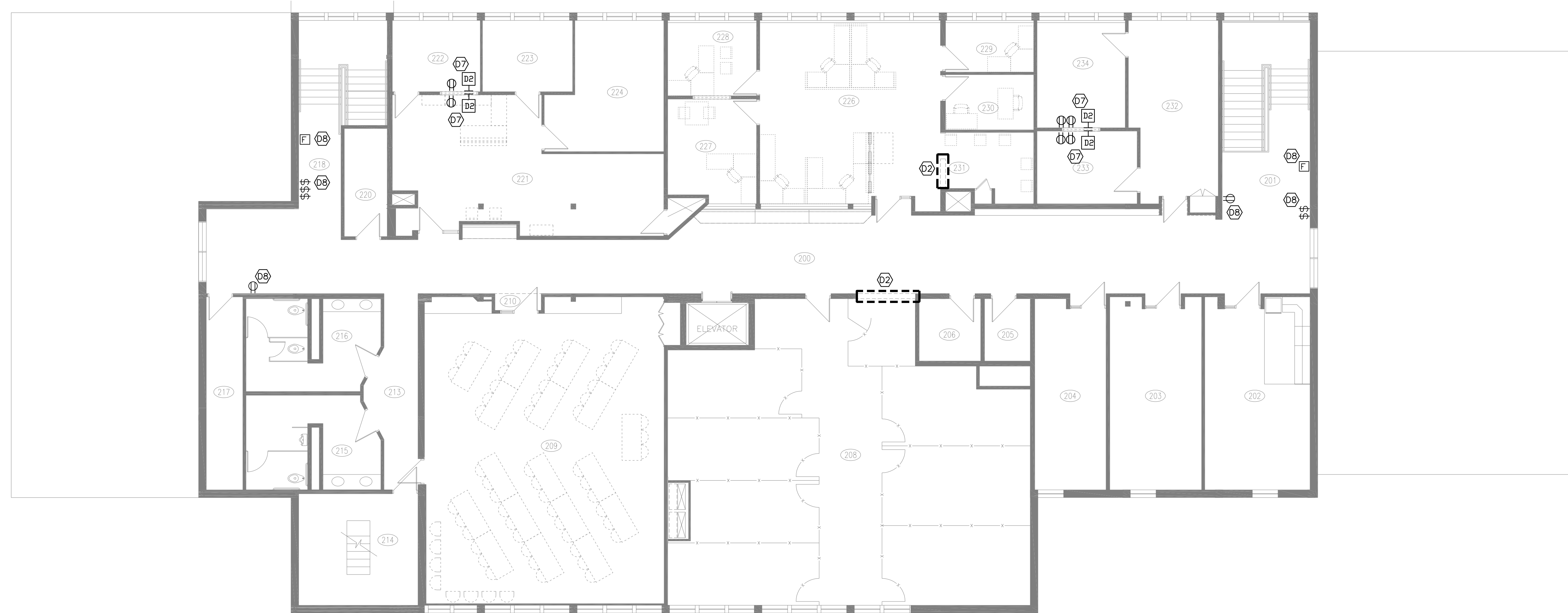
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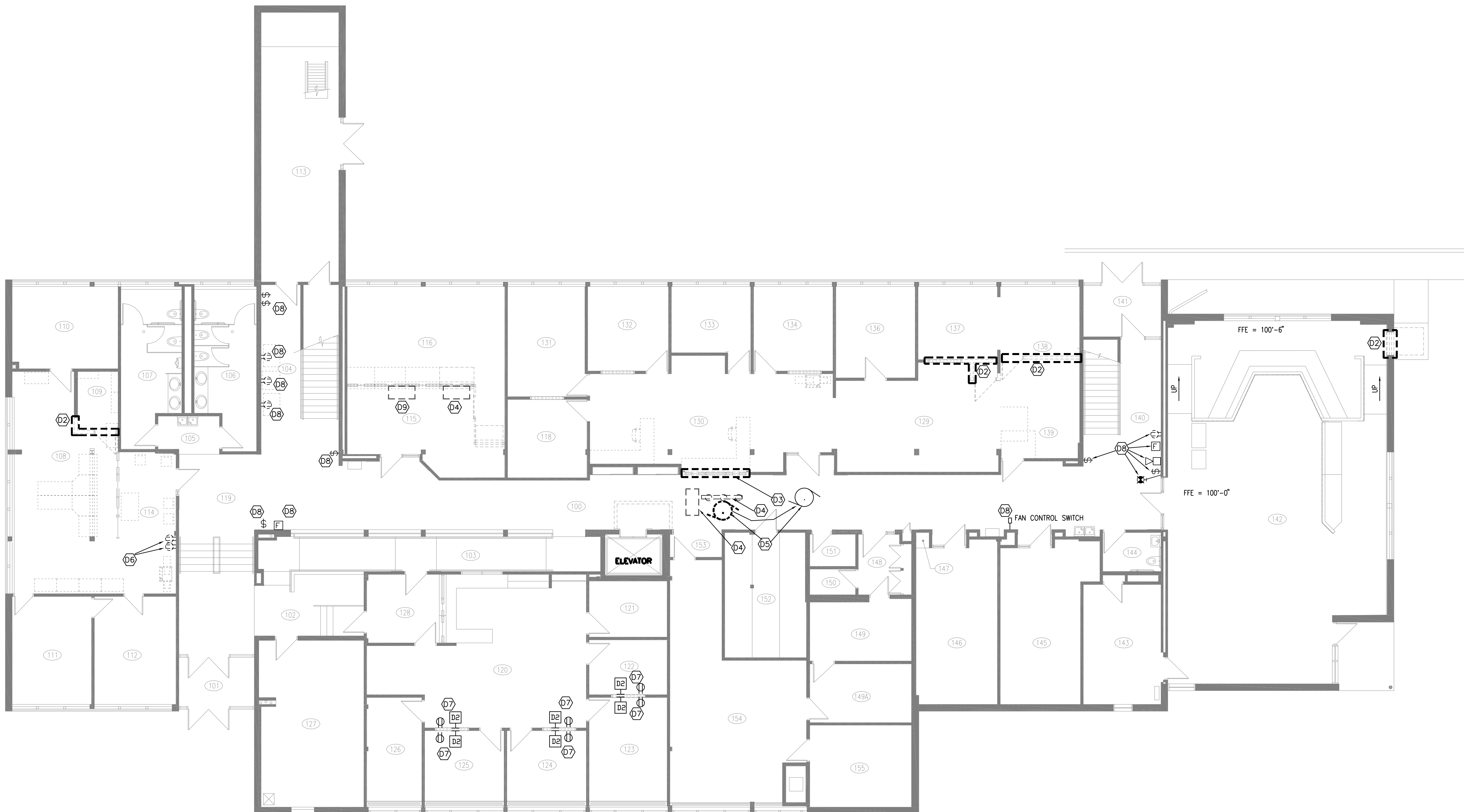
SHEET NUMBER

E0.1





2 SECOND FLOOR DEMOLITION PLAN  
ED1.1 SCALE: 1/8"=1'-0"

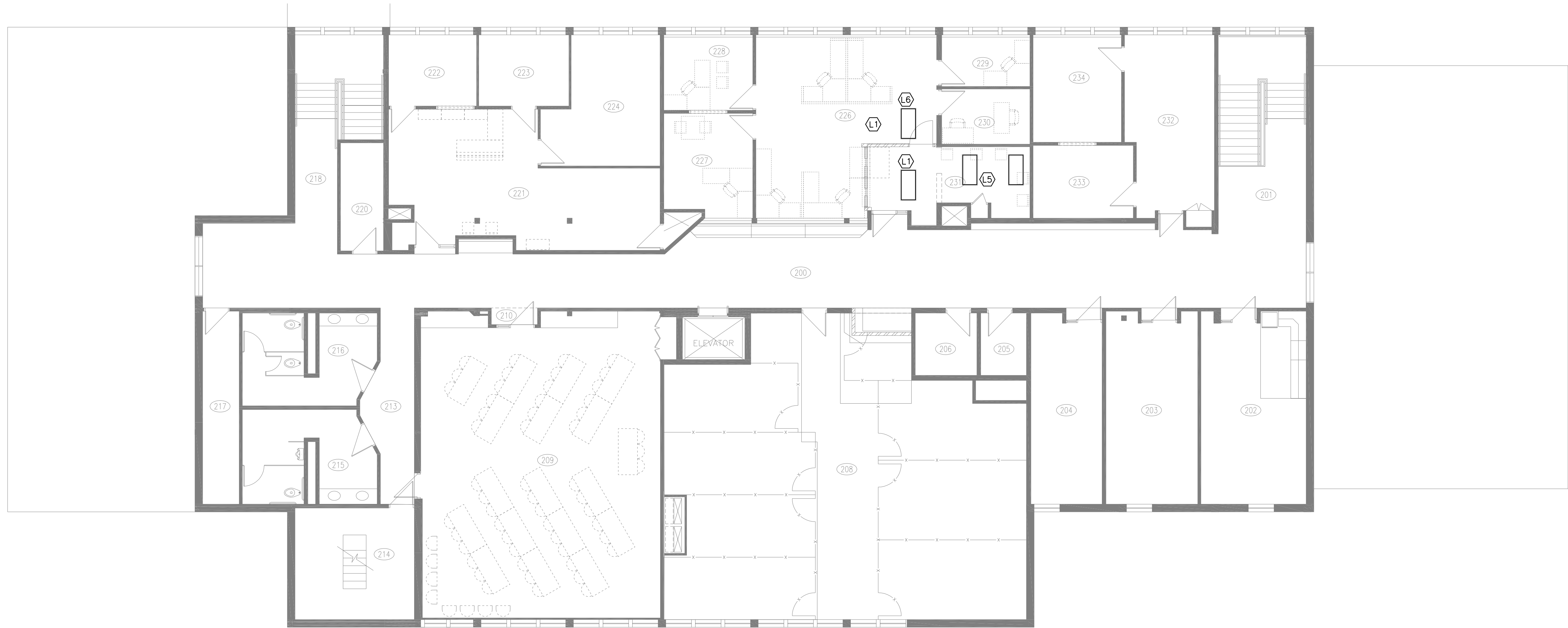


1 FIRST FLOOR DEMOLITION PLAN  
ED1.1 SCALE: 1/8"=1'-0"

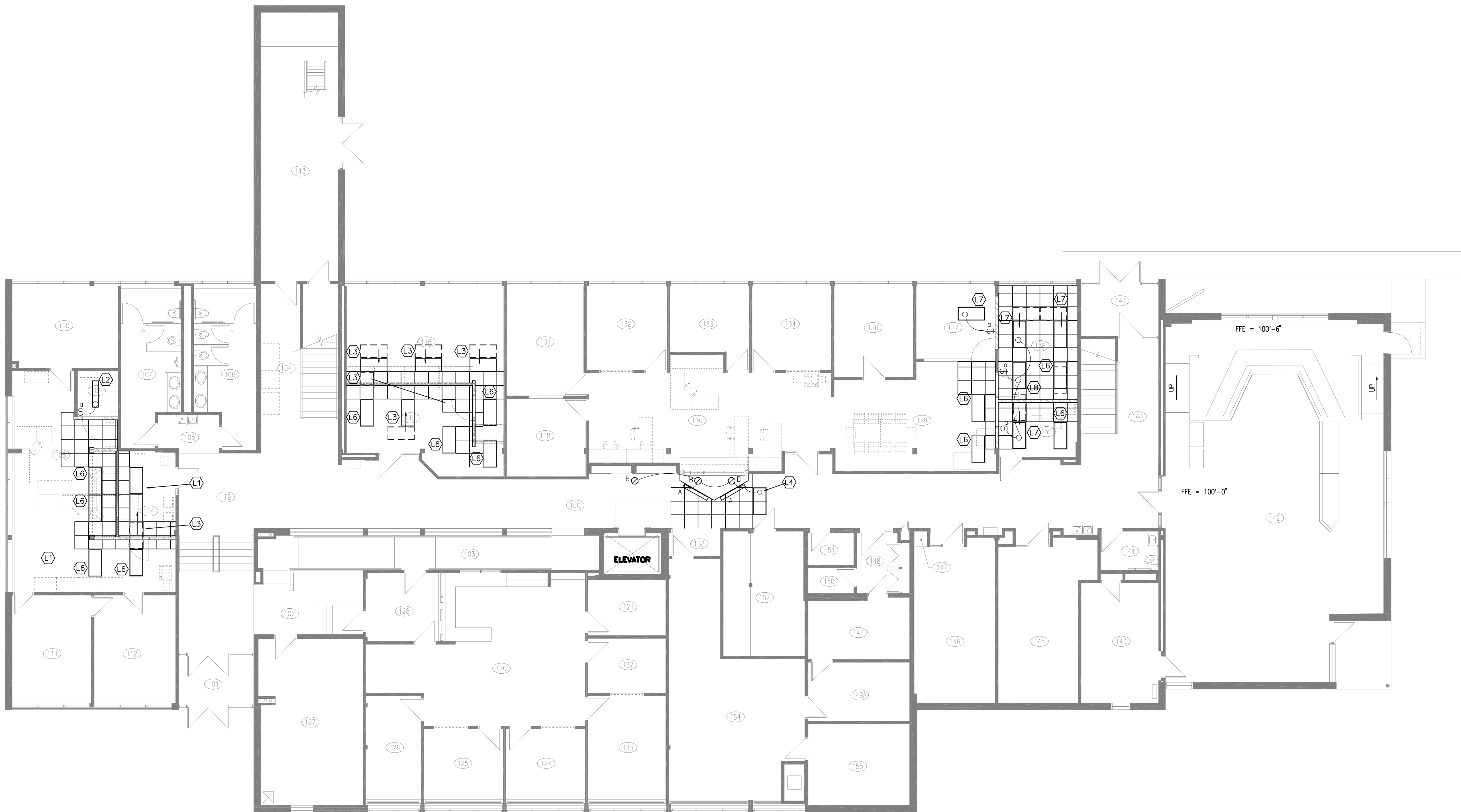
#### DEMOLITION NOTES

- D1 EXISTING CEILING TO BE REMOVED. DISCONNECT AND REMOVE ALL ELECTRICAL DEVICES AND RELATED WIRING. MAINTAIN EXISTING REMAINING CIRCUITS. REFER TO NOTE #D6. LIGHT FIXTURES TO BE REUSED - SEE LIGHTING PLAN
- D2 EXISTING WALL TO BE REMOVED. DISCONNECT AND REMOVE ALL ELECTRICAL DEVICES AND RELATED WIRING. MAINTAIN CIRCUITS TO ALL EXISTING REMAINING DEVICES.
- D3 LOCATION OF NEW FIRE SHUTTER. REROUTE ELECTRICAL CONDUITS AND WIRING, AND DATA CABLING AS REQUIRED FOR THIS INSTALLATION.
- D4 DISCONNECT AND REMOVE EXISTING LIGHT FIXTURE. MAINTAIN REMAINING CIRCUITS. INSTALL CONDUIT AND WIRES AS REQUIRED. TURN FIXTURE OVER TO OWNER.
- D5 RELOCATE EXISTING CEILING FAN. (VERIFY EXACT LOCATION WITH OWNER) EXTEND CONDUIT AND WIRING AS REQUIRED TO NEW LOCATION. RECONNECT TO FAN CONTROL. MAINTAIN REMAINING CIRCUITS.
- D6 DISCONNECT AND REMOVE EXISTING RECEPTACLE (TO BE COVERED BY NEW WALL)- PULL ALL WIRES OUT, AND REMOVE. MAINTAIN ALL CIRCUITS TO REMAINING DEVICES.
- D7 WINDOW TO BE INSTALLED IN EXISTING WALL. THESE DEVICES TO REMAIN IN SERVICE. REROUTE CONDUIT AND WIRES AS REQUIRED, TO MAINTAIN CIRCUITS TO AND FROM THESE DEVICES.
- D8 TILE TO BE REPLACED IN THIS LOCATION. REMOVE AND REINSTALL DEVICE. EXTEND BOX AND WIRING AS REQUIRED, AND RECONNECT.
- D9 DISCONNECT AND REMOVE EXISTING LIGHT FIXTURE. MAINTAIN REMAINING CIRCUITS. INSTALL CONDUIT AND WIRES AS REQUIRED. FIXTURE TO BE REINSTALLED IN ROOM 138 - SEE LIGHTING PLAN NOTE #L8





2 SECOND FLOOR LIGHTING PLAN  
SCALE: 1/8"=1'-0"

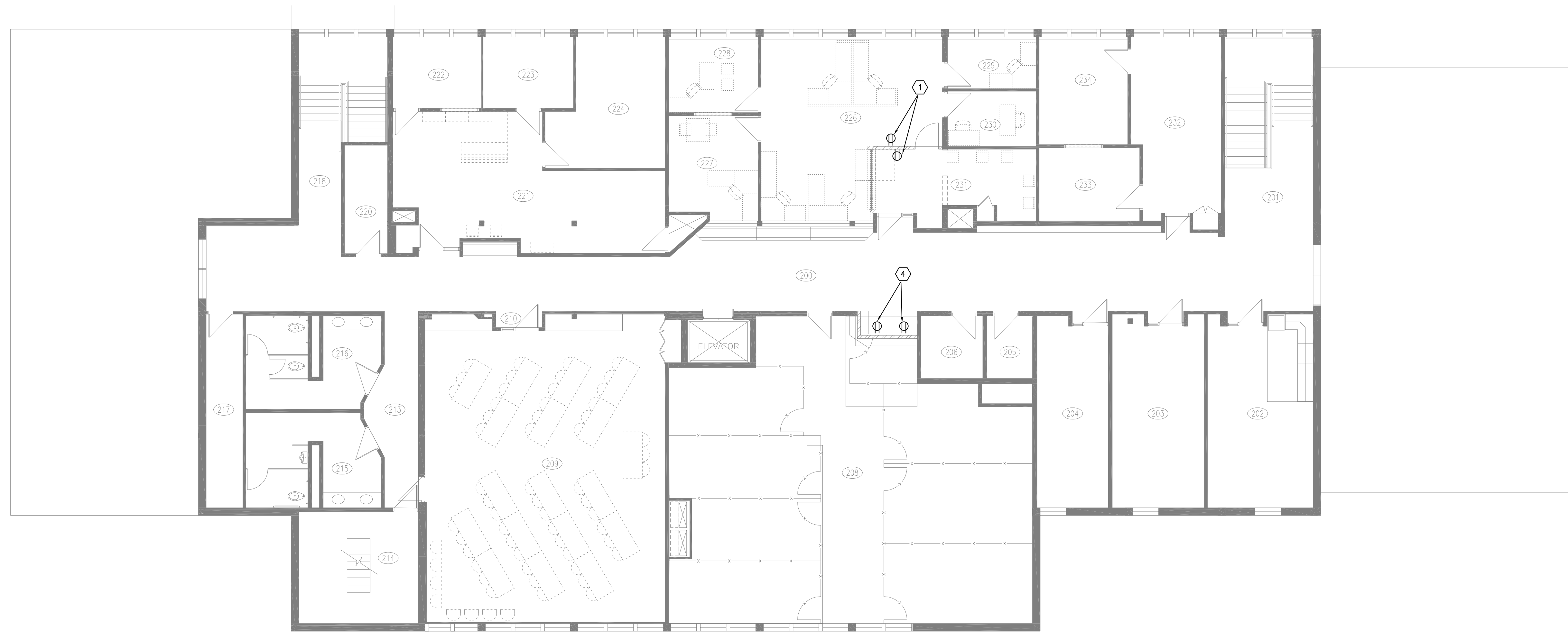


1 FIRST FLOOR LIGHTING PLAN  
SCALE: 1/8"=1'-0"

# LIGHTING NOTES

1. EXISTING LIGHT FIXTURE(S) IN THIS ROOM TO REMAIN CONNECTED TO EXISTING LIGHT SWITCH.
2. CONNECT EXISTING LIGHT FIXTURES IN THIS ROOM SO FIXTURES ARE CONTROLLED BY NEW LIGHT SWITCH (a). RUN NEW CONDUIT AND WIRES AS REQUIRED.
3. MOVE EXISTING LIGHT FIXTURE TO INDICATED LOCATION. EXTEND CIRCUIT TO NEW LOCATION. MAINTAIN EXISTING CIRCUITS.
4. TIE INTO EXISTING SWITCHED CORRIDOR LIGHTING CIRCUIT AT EXISTING LIGHT FIXTURE.
5. REMOVE EXISTING LIGHT FIXTURE TO ALLOW FOR INSTALLATION OF NEW CEILING GRID. REINSTALL AND RECONNECT AT SAME LOCATION. CONNECT (2) EXISTING LIGHT FIXTURES IN THIS ROOM SO FIXTURES ARE CONTROLLED BY LIGHT SWITCH IN ROOM 226. RUN NEW CONDUIT AND WIRES AS REQUIRED.
6. REMOVE EXISTING LIGHT FIXTURE TO ALLOW FOR INSTALLATION OF NEW CEILING GRID. REINSTALL AND RECONNECT AT SAME LOCATION.
7. REMOVE EXISTING LIGHT FIXTURE TO ALLOW FOR INSTALLATION OF NEW CEILING GRID. REINSTALL AND RECONNECT AT LOCATION SHOWN. CONNECT EXISTING LIGHT FIXTURES IN THIS ROOM SO FIXTURES ARE CONTROLLED BY NEW LIGHT SWITCH (a). RUN NEW CONDUIT AND WIRES AS REQUIRED.
8. NEW LOCATION OF FIXTURE FROM DEMOLITION PLAN NOTE #09. CONNECT SO FIXTURE IS CONTROLLED BY NEW LIGHT SWITCH (a). RUN NEW CONDUIT AND WIRES AS REQUIRED.





2 SECOND FLOOR POWER PLAN  
SCALE: 1/8"=1'-0"

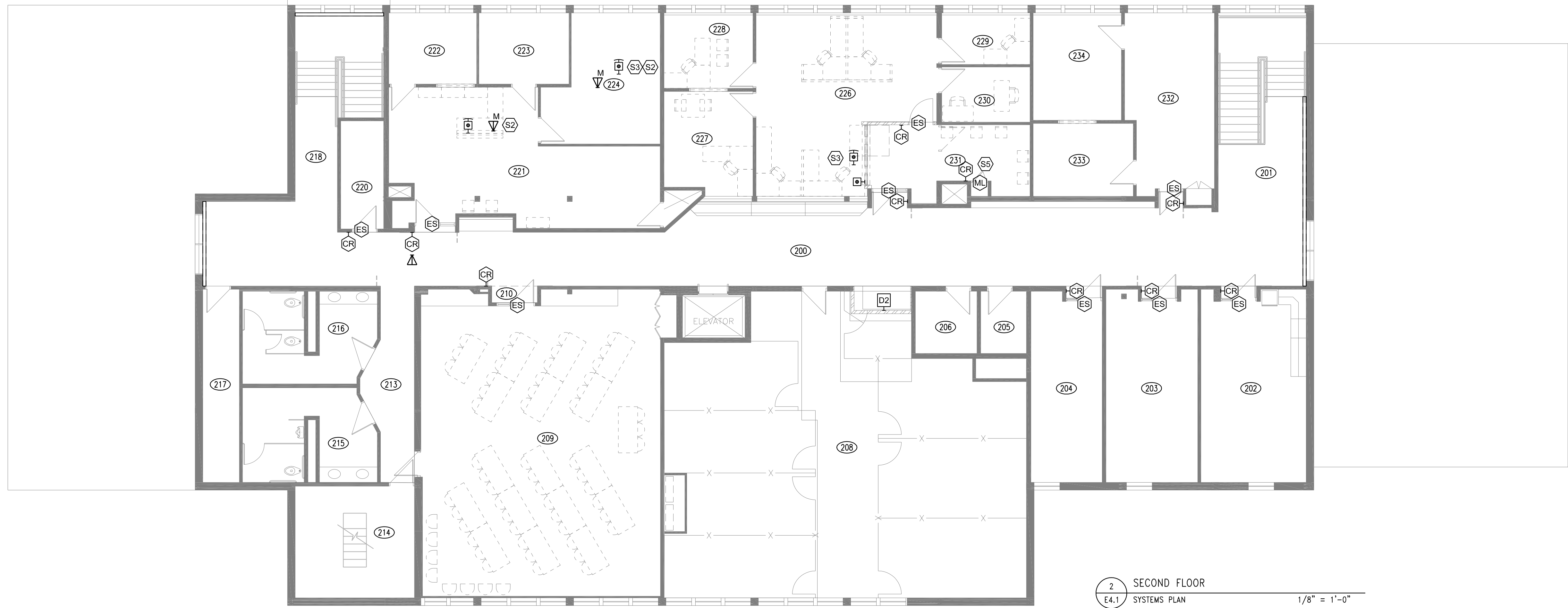


1 FIRST FLOOR POWER PLAN  
SCALE: 1/8"=1'-0"

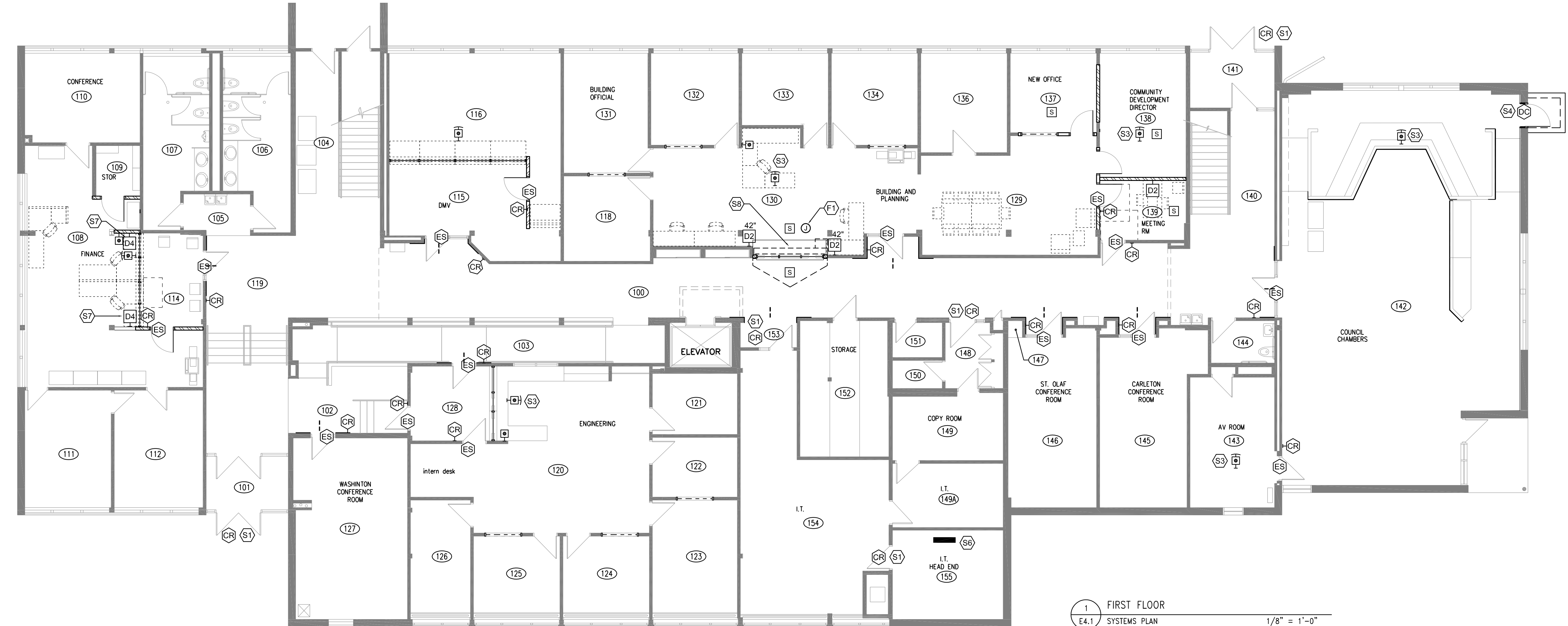
POWER NOTES

- 1 RUN 1/2" C-2#12 TO NEAREST 120 VOLT PANEL AND CONNECT TO 20A/1P BREAKER.
- 2 ALTERNATE BID ONLY - REINSTALL EXISTING DEVICE ON EXTENDED FACE OF EXISTING DESK. EXTEND WIRING TO NEW LOCATION AND RECONNECT.
- 3 ALTERNATE BID ONLY - REINSTALL EXISTING DEVICE CABINET ON EXTENDED FACE OF EXISTING DESK. EXTEND WIRING TO NEW LOCATION AND RECONNECT.
- 4 VENDING MACHINE RECEPTACLE. RUN 1/2" C-2#12 & #12 GND TO NEAREST PANEL. ADD 20A/1P BREAKER AND CONNECT. (2 TOTAL RECEPTACLES ON 2 CIRCUITS).
- 5 MOTORIZED ROLLING GRILL. PROVIDE MANUAL STARTER AT MOTOR. RUN 1/2" C-2#12 TO NEAREST 120 VOLT PANEL AND PROVIDE AND IN STALL A 20A/1P BREAKER. INSTALL CONTROLLER PROVIDED WITH ROLLING GRILL. VERIFY EXACT LOCATION.





2 SECOND FLOOR  
E4.1 SYSTEMS PLAN 1/8" = 1'-0"



1 FIRST FLOOR  
E4.1 SYSTEMS PLAN 1/8" = 1'-0"

| SECURITY AND FIRE ALARM SYSTEMS SYMBOLS SCHEDULE  |  |                             |
|---|--|-----------------------------|
| NOTES TO AUDIO VIDEO SYMBOLS SCHEDULE:<br>1. ALL MOUNTING HEIGHTS ARE TO CENTER OF DEVICE ABOVE FINISHED FLOOR (A.F.F.), MOUNTING HEIGHTS SHOWN ARE TYPICAL AND ARE TO BE OBSERVED UNLESS NOTED OTHERWISE ON THE FLOOR PLANS. MOUNTING HEIGHT ON FLOOR PLANS HAVE PRIORITY.<br>2. ALL CABLE SHALL BE PLENUM RATED UNLESS OTHERWISE NOTED. |  |                             |
| SYMBOL  | DESCRIPTION  | MOUNTING HEIGHT OR AS NOTED |
|   | SECURITY CARD READER, SURFACE WALL MOUNTED.  | 34"                         |
|   | ELECTRIC STRIKE DOOR LOCKING HARDWARE, PROVIDED BY DIVISION 8, 24 VOLT POWER, WIRED AND CONTROLLED BY DIVISION 28 SECURITY CONTRACTOR.   | DOOR FRAME                  |
|   | MAGNETIC LOCK DOOR LOCKING HARDWARE, PROVIDED BY DIVISION 8, 24 VOLT POWER, WIRED AND CONTROLLED BY DIVISION 28 SECURITY CONTRACTOR.   | DOOR FRAME                  |
|   | FLUSH MAGNETIC DOOR POSITION CONTACT SET, PROVIDED BY DIVISION 28.   | DOOR FRAME                  |
|   | DOOR RELEASE PUSHBUTTON (MOMENTARY CONTACT), MOUNTED ON SYSTEMS FURNITURE. FIELD VERIFY EXACT LOCATION WITH OWNER. SWITCH MOMENTARILY UNLOCKS DOOR BETWEEN STAFF SIDE AND PUBLIC SIDE OF DEPARTMENT. | ON SYSTEMS FURNITURE        |
|   | LOCKDOWN PUSHBUTTON (MAINTAINED CONTACT), WALL MOUNTED. FIELD VERIFY EXACT LOCATION WITH OWNER.  | ON SYSTEMS FURNITURE        |
|   | AUDIO VIDEO DOOR INTERCOM MASTER STATION. MOUNTED ON SYSTEMS FURNITURE.  | ON SYSTEMS FURNITURE        |
|   | AUDIO VIDEO DOOR INTERCOM DOOR STATION. FLUSH WALL MOUNTED.  | 54"                         |
|   | SMOKE DETECTOR. TIE INTO EXISTING FIRE ALARM SYSTEM. PROVIDE PROGRAMMING AS REQUIRED.  | CEILING                     |

**CEILING WORK NOTE**

REFER TO, AND COORDINATE WITH, ARCHITECTURAL DEMOLITION PLANS FOR CEILING REMOVAL AREAS. ALL OTHER CEILINGS REQUIRING REMOVAL, WHICH ARE NOT DESIGNATED FOR REMOVAL ON ARCHITECTURAL PLANS, SHALL BE REMOVED AND REINSTALLED BY DIVISIONS 27 AND 28 CONTRACTORS AS THEIR WORK REQUIRES. DIVISIONS 27 AND 28 CONTRACTORS ARE RESPONSIBLE FOR REPLACING DAMAGED CEILING TILES AND/OR GRID COMPONENTS DAMAGED DURING THEIR WORK AT NO COST TO OWNER OR OTHER CONTRACTOR.

**GENERAL NOTES**

A. FIELD VERIFY EXACT LOCATION OF DOOR RELEASE PUSHBUTTON AND LOCKDOWN PUSHBUTTON WITH OWNER.

B. EACH LOCKDOWN PUSHBUTTON SHALL BE IDENTIFIED SPECIFICALLY BY LOCATION BY THE SECURITY SYSTEM.

C. NEW SECURITY DEVICES AND DATA OUTLETS INSTALLED ON EXISTING GYPSUM BOARD WALLS SHALL BE FLUSH MOUNTED AND THE CABLE SHALL BE INSTALLED CONCEALED IN THE WALL. NO SURFACE RACEWAY SHALL BE USED ON EXISTING GYPSUM BOARD WALLS.

D. THE ELECTRICAL CONTRACTOR SHALL DISCONNECT ELECTRICAL AND DATA AT SYSTEMS FURNITURE WHEN IT IS REMOVED BY THE OWNER'S SYSTEMS FURNITURE CONTRACTOR AND CONNECT POWER AND DATA TO NEW SYSTEMS FURNITURE.

E. INSTALL CARD READERS WHERE SHOWN TO PREVENT CONFLICT WITH TILING IN CORRIDORS.

**SPECIFIC SYSTEMS NOTES**

(S1) EXISTING CARD READER CONTROLLED DOOR. SHOWN FOR REFERENCE ONLY. MIGRATE CARD READER TO NEW CONTROLLER SYSTEM.

(S2) DOOR RELEASE FUNCTION BUILT INTO DOOR INTERCOM MASTER STATION. PROVIDE DOOR INTERCOM SOFTWARE ON ASSOCIATED OWNER'S COMPUTER.

(S3) FIELD VERIFY EXACT LOCATION OF LOCKDOWN PUSHBUTTON WITH OWNER.

(S4) PROVIDE NEW FLUSH MOUNTED DOOR POSITION SWITCH ON NEW EXTERIOR DOOR. CONNECT TO CARD ACCESS SECURITY SYSTEM.

(S5) THIS IS A DATA CLOSET WITH A CABINET DOOR. PROVIDE CARD READER WITH MAGNETIC LOCK TO SECURE DOOR.

(S6) PROVIDE NEW SECURITY CONTROL PANELS. FIELD VERIFY EXACT LOCATION WITH OWNER.

(S7) REMOVE AND REINSTALL EXISTING D4 DATA OUTLETS FROM EXISTING COLUMN INTO NEW WALL. REUSE EXISTING DATA CABLING.

(S8) THE EXISTING VOICE AND DATA CABLING FROM THIS OFFICE AREA ARE ROUTED THROUGH TWO CONDUIT SLEEVES DIRECTLY ABOVE WHERE THE NEW ROLLING SHUTTER IS BEING INSTALLED. THE DIVISION 27 CONTRACTOR SHALL REROUTE THESE CABLES AS REQUIRED TO GET THEM OUT OF THE WAY OF THE NEW SHUTTER. THIS WILL REQUIRE REMOVING THE CABLE FROM THE EXISTING OUTLETS AND PULLING THEM BACK TO THE CORRIDOR. PROVIDING NEW CONDUIT SLEEVES AND REINSTALLING THE CABLES TO THE OUTLETS. PROVIDE NEW CONDUIT SLEEVES AS REQUIRED. ALL PENETRATIONS OF THE CORRIDOR WALL SHALL BE FIRE STOPPED.

**SPECIFIC FIRE ALARM NOTES**

(F1) MAKE CONNECTIONS AS REQUIRED TO FIRE ALARM SHUTTER. PROVIDE 120 VOLT CIRCUIT FROM NEAREST PANEL AND CONNECT. PROVIDE ADDRESSABLE FIRE ALARM CONTROL MODULE AND MAKE CONNECTIONS AS REQUIRED TO FIRE ALARM SYSTEM. PROVIDE PROGRAMMING AS REQUIRED.

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