

# City of Northfield

*City Hall  
801 Washington Street  
Northfield, MN 55057  
northfieldmn.gov*



## Meeting Agenda

**Wednesday, June 3, 2026**

**6:00 PM**

**Council Chambers**

**Heritage Preservation Commission**

## 6:00 PM - REGULAR AGENDA CALL TO ORDER AND ROLL CALL

### APPROVAL OF AGENDA

### APPROVAL OF MINUTES

1. [26-297](#) May 6, 2026 HPC Meeting Minutes

**Attachments:** [1 - May 6, 2026 HPC Meeting Minutes](#)

### OPEN PUBLIC COMMENT

*Persons may take one opportunity to address the Board/Commission for two (2) minutes (not including interpreter's time) on any topic, even if on the agenda, with the condition that they may not speak on the same item later in the meeting. No notification of the Chair is required. However, speakers are asked to complete a sign up card. Persons wanting a response to a question must submit the question in writing to the recording secretary. Questions must include name and information on how to contact. You may use the back side of the comment cards available in the meeting room. Persons cannot gift their 2 minute speaking time to other members of the public.*

### BOARD MEMBER AND COMMISSIONER REPORTS

#### REGULAR AGENDA

*Persons that wish to speak on a regular agenda item must provide name and address by completing & submitting a sign up card. Persons may also contact the staff liaison via the City's website no later than 12:00 noon on the day of the meeting. The Chair will call up individuals to speak, based on preregistration and cards submitted, after the staff report on an item. Please be respectful of the public's and the Commission's time. Members of the public wishing to speak must adhere to the following guidelines:*

- *Speak only once for no more than two minutes (not including interpreter's time) on the topic unless the speaker is addressed by the Commission;*
- *Identify your relationship to the topic;*
- *Have a spokesperson or two for your group to present your comments;*
- *Persons wanting a response to a question must submit the question in writing to the recording secretary, including name and how you would like to be contacted.*

2. [HPC Res. 2026-005](#) Certificate of Appropriateness for Window and Door Replacement at 411-413 Division St. S. - the Hamre Building.

**Attachments:** [1 - HPC Resolution](#)  
[2 - Exhibit A Scope of Work](#)  
[3 - Exhibit B Findings of Fact](#)  
[4 - Historic Survey File](#)  
[5 - Existing Conditions Photos](#)

3. [HPC Res. 2026-006](#) Certificate of Appropriateness for New Construction at 212 Division Street South - The Archer House Redevelopment.

**Attachments:**

- [1 - HPC Resolution](#)
- [2 - Exhibit A Scope of Work](#)
- [3 - Exhibit B Findings of Fact](#)
- [4 - Renderings](#)
- [5 - Archer House Redevelopment Narrative](#)
- [6 - Archer Floor Plans](#)
- [7 - Final Consultant and Subcommittee Memo](#)
- [8 - Hyperlink to May Presentation](#)

## STAFF UPDATES

4. [26-298](#) Staff Updates.

**Attachments:**

- [1 - Upcoming Council Agenda Items](#)
- [2 - 2026 Board and Commission Schedule](#)
- [3 - Hyperlink to Northfield Construction & Development Projects](#)
- [4 - Hyperlink to Maryland Department of Planning Webinars](#)
- [5 - Hyperlink to the Zoning Code Update Website](#)
- [6 - Hyperlink to NAPC Forum Conference Information](#)

## ADJOURNMENT



Legislation Text

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**File #: 26-297, Version: 1**

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**Heritage Preservation Commission Meeting Date:** June 3, 2026

**To:** Members of the Heritage Preservation Commission

**From:** Matt Bailey, Meeting Associate

May 6, 2026 HPC Meeting Minutes

**Action Requested:**

Please review the May 6, 2026 HPC Meeting Minutes and approve or approve with amendments.

**Summary Report:**

N/A

**City Plans & Policies Relevance:**

N/A

**Alternative Options:**

N/A

**Financial Impacts:**

N/A

**Tentative Timelines:**

N/A



# City of Northfield

City Hall  
801 Washington Street  
Northfield, MN 55057  
northfieldmn.gov

## Meeting Minutes - Draft Heritage Preservation Commission

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Wednesday, May 6, 2026

6:00 PM

Council Chambers

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### 6:00 PM - REGULAR AGENDA

#### CALL TO ORDER AND ROLL CALL

**Present:** 5 - Chair Baird Jarman, Commissioner Clifford Clark, Commissioner Sarah Beimers, Commissioner Amy Machacek Shonka and Commissioner Aaron Street

**Absent:** 2 - Commissioner Robert Stangler and Commissioner Larry Tolle

*Also present: Scott Wopata, Community Development Director; Mathias Hughey, Associate Planner; Matt Bailey, Meeting Associate; Astrid White, Youth Representative*

1. [BC 26-003](#) Introductions and Election of Heritage Preservation Commission Officers of Chair and Vice-Chair.

*Commissioner Clark nominated Chair Jarman to continue on as Chair for 2026-2027. Jarman declined. Jarman nominated Commissioner Beimers as Chair. Beimers accepted and was appointed Chair by acclamation.*

*Clark nominated Commissioner Street as Vice Chair for 2026-2027. Street accepted and was appointed Vice Chair by acclamation.*

#### APPROVAL OF AGENDA

**A motion was made by Commissioner Street, seconded by Commissioner Jarman, to approve the agenda. The motion carried by the following vote:**

**Yes:** 5 - Chair Jarman, Commissioner Clark, Commissioner Beimers, Commissioner Machacek Shonka and Commissioner Street

#### APPROVAL OF MINUTES

2. [26-233](#) April 1, 2026 HPC Meeting Minutes

**A motion was made by Commissioner Jarman, seconded by Commissioner Clark, to approve the April 1, 2026 HPC Meeting Minutes. The motion carried by the following vote:**

**Yes:** 5 - Chair Jarman, Commissioner Clark, Commissioner Beimers, Commissioner Machacek Shonka and Commissioner Street

3. [26-234](#) April 23, 2026 Special Meeting Minutes

**A motion was made by Commissioner Jarman, seconded by Commissioner Shonka, to approve the April 23, 2026 HPC Special Meeting Minutes. The motion carried by the following vote:**

**Yes:** 5 - Chair Jarman, Commissioner Clark, Commissioner Beimers, Commissioner Machacek Shonka and Commissioner Street

## PRESENTATIONS

4. [26-235](#) Presentation on the Library Landscape Renewal Plans

*Associate Planner Mathias Hughey introduced Natalie Draper, Director of the Northfield Public Library, who delivered a presentation on proposed Library Landscape Renewal Plans. Draper responded to questions and comments from the HPC regarding the stability of the building foundation and retaining walls, plantings, the proposed "interactive wall," and flooding concerns.*

5. [26-236](#) Presentation from Rebound Real Estate Providing an Update on the Archer Redevelopment Project - 212 Division St. S.

*Associate Planner Mathias Hughey introduced Matt Ganter, Development Manager at Rebound Partners, and Scott Quiring, Partner at Amcon Construction, who delivered an update on the Archer Redevelopment Project - 212 Division Street South. Community Development Director Scott Wopata provided additional context on the redevelopment process. Ganter and Quiring responded to questions and comments from the HPC concerning communication between Rebound Partners, City staff, and the HPC; building materials; ground floor facade features; and features on the sides of the building.*

## OPEN PUBLIC COMMENT

*No public comment was received.*

## BOARD MEMBER AND COMMISSIONER REPORTS

*No Board Member and Commissioner reports were submitted.*

## REGULAR AGENDA

6. [26-237](#) Continued Discussion on Balcony Regulations in the Historic-Overlay District for the Zoning Code Update.

*Associate Planner Mathias Hughey provided an update on the drafting of Balcony Regulations in the Historic-Overlay District for the Zoning Code Update. The HPC discussed possible regulations, and Hughey responded to questions and comments from the HPC regarding balcony safety, the precise definition of balcony in regulations, the difference between public and private balconies, and the wording and intent of HPC's recommendations on the regulations.*

**A motion was made by Commissioner Jarman, seconded by Vice Chair Street, to extend the meeting by fifteen minutes. The motion carried by the following vote:**

**Yes:** 5 - Chair Jarman, Commissioner Clark, Commissioner Beimers, Commissioner Machacek Shonka and Commissioner Street

## STAFF UPDATES

7. [26-238](#) Annual Board and Commission Onboarding and Refresher.

*Associate Planner Mathias Hughey provided updates from City staff. Hughey responded to questions and comments from the HPC regarding the location of the HPC agenda packets online and the size of the packets.*

## **ADJOURNMENT**

**Chair Beimers adjourned the meeting at 7:45 p.m.**



Legislation Text

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**File #:** HPC Res. 2026-005, **Version:** 1

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**Heritage Preservation Commission Meeting Date:** June 3, 2026

**To:** Members of the Heritage Preservation Commission

**From:** Mathias Hughey, Associate City Planner

Certificate of Appropriateness for Window and Door Replacement at 411-413 Division St. S. - the Hamre Building.

**Action Requested:**

The Heritage Preservation Commission (HPC) is asked to approve a Certificate of Appropriateness (COA) to replace the upper story windows and the apartment entry door and clearstory window on the front façade at 411 -413 Division St. S. - the Hamre Building.

**Summary Report:**

The applicant, REO Properties, seeks approval to replace the existing single-hung upper story windows with a modern window insert featuring bronze-colored coated aluminum exterior finish. They are also seeking to replace the exterior door and clearstory window that provide access to the upper story apartments. A detailed description of the work is attached.

The Hamre Building is a contributing building in the historic district. The current upper story windows have had raw aluminum screen and storm windows installed on the exterior to improve their function. This treatment is undesirable and negatively impacts the character of the building. The existing condition of the upper story windows varies, it is not clear if they are original, but in several instances, the lower sash does not match the upper and can be reasonably considered to be later replacements. City records include a 1995 enforcement order to correct broken windows in the apartments.

City records also include two building permits from the 1980's, one is for replacing and reframing an unspecified door to the apartments, and the other is for replacing the rear door and windows. A 1965 photo included in the historic survey file shows a different apartment access door on the front façade.

The Downtown Design Guidelines recommend replacement windows and doors to be simple in design and match, as closely as possible, originals when possible. Painted wood or "baked enamel" finishes on metal are the preferred materials.

Staff Recommendation

Staff recommends approval of the COA for the proposed work at 411-413 Division St. S. - the Hamre Building.

**City Plans & Policies Relevance:**

Approval of the project is consistent with the City's plans. The Comprehensive Plan identifies the following strategies that would be advanced by this project:

**Access:**

Strategy 2: Develop in a compact, sustainable, and fiscally responsible pattern

Strategy 6: Design for resiliency and sustainability

Sustainable economic future:

Strategy 1: Strengthen Northfield's Downtown Core

Resilient Infrastructure:

Strategy 5: Reduce solid waste through diversion, recycling, and reuse

**Alternative Options:**

The HPC could approve the COA with conditions, or deny the COA. Both options require modifying the resolution to provide justification and findings.

**Financial Impacts:**

NA

**Tentative Timelines:**

NA

CITY OF NORTHFIELD, MINNESOTA  
HERITAGE PRESERVATION COMMISSION RESOLUTION HPC #2026-005

A RESOLUTION BY THE HERITAGE PRESERVATION COMMISSION OF THE CITY OF  
NORTHFIELD, MINNESOTA, APPROVING A CERTIFICATE OF APPROPRIATENESS  
FOR 411-413 DIVISION ST. S.

WHEREAS, the applicant, REO Properties, LLC (the “Applicant”), is seeking a Certificate of Appropriateness (“COA”) from the City of Northfield Heritage Preservation Commission (“HPC” or “Commission”) for replacing upper-story windows and the apartment access door and clearstory window on the front as more particularly described in Exhibit A, which is attached hereto and incorporated herein by reference (the “Work”), for certain property owned by REO Properties, LLC located at 411-413 Division St. S. in the City of Northfield (the “Property”); and

WHEREAS, the Property is located within a designated historic district, the Northfield Commercial Historic District, a locally designated district and a district on the National Register of Historic Places; and

WHEREAS, according to Northfield City Code (the “City Code”), Chapter 34, Section 8.5.8 (A), unless otherwise exempted in Section 7.8.3 or unless otherwise provided in Section 8.5.8, a COA is required for construction, exterior alteration or rehabilitation, moving or demolition of a building or structure on a city-owned or privately owned heritage preservation site; and

WHEREAS, according to City Code, Chapter 34, Section 8.5.8 (A), unless otherwise provided in City Code, no zoning certificate or building permit shall be issued before a COA has received approval; and

WHEREAS, according to City Code, Chapter 34, Section 8.5.8 (A)(1), the proposed Work is classified as Major Work requiring the Type 3 review procedure as established in Section 8.4.6, Type 3 Review Procedure (Heritage Preservation Commission Decision); and

WHEREAS, according to City Code, Chapter 34, Section 8.5.8 (D), for proposed new construction, as well as alteration, remodeling, rehabilitation, relocation or addition to an existing building, structure or historic object, the HPC, based upon the above review procedure, shall consider the following in evaluating an application for a COA, and shall make written findings regarding approval or denial of the same by resolution (Criterion (a) below must be met and criteria (b) through (g) shall be considered, if applicable to an application):

- (a) For all applications, the proposed action fully complies with all applicable requirements of this LDC;

- (b) That the proposed action is in harmony with the intent purpose of the H-O district for sites located in the H-O district;
- (c) That the proposed action would complement other structures within the H-O district for sites located in the H-O district;
- (d) That the proposed action is consistent with the Downtown Preservation Design Guidelines for sites located in the H-O district, and consistent with the Secretary of the Interior’s Standards for Treatment of Historic Properties for sites located within or outside the H-O district;
- (e) Consideration should be given to the amount and quality of original material and design remaining in the building or structure when applying criteria, guidelines and standards;
- (f) For new construction, the building or addition should be compatible with:
  - (i) scale, texture, materials, and other visual qualities of the surrounding buildings and neighborhoods;
  - (ii) the height, width, depth, massing and setback of the surrounding buildings; and
  - (iii) the amount of solid wall to window and door openings, and the replacement of window and door openings, should be proportional to that of the surrounding buildings and neighborhood; and
- (g) Consideration shall be given to clear cases of economic hardship or to deprivation of reasonable use of the owner's property.; and

WHEREAS, according to City Code, Chapter 34, Section 8.5.8 (D), the Applicant bears the burden of proof of meeting the foregoing criteria; and

WHEREAS, according to City Code, Chapter 34, Section 8.5.8 (E), this decision of the HPC shall be final unless timely appealed to the City Council by filing a written notice of appeal with the City Clerk no later than ten (10) days after the date of the HPC’s decision; and

WHEREAS, the Commission held a duly noticed public meeting on March 4, 2026, to consider testimony from the Applicant and the public regarding the COA, and has considered such testimony and reviewed the requested COA on the Property according to the above criteria.

NOW THEREFORE BE IT RESOLVED BY THE HERITAGE PRESERVATION COMMISSION OF THE CITY OF NORTHFIELD, MINNESOTA, that the Commission has duly considered the required criteria contained in City Code as applicable to the above-requested COA regarding the Property, and hereby adopts the findings of fact contained in the staff report regarding the same, which is attached hereto and incorporated herein by reference as Exhibit B, along with the above recitals hereto.

BE IT FURTHER RESOLVED that the requested COA is hereby approved based upon the above-referenced adopted findings.

PASSED by the Heritage Preservation Commission of the City of Northfield, this 3rd day of June 2026.

\_\_\_\_\_  
Chair

\_\_\_\_\_  
Member

VOTE:     \_\_\_\_ CLARK     \_\_\_\_ MACHACEK SHONKA     \_\_\_\_ JARMAN  
          \_\_\_\_ TOLLE     \_\_\_\_ STANGLER     \_\_\_\_ BEIMERS     \_\_\_\_ STREET

## **EXHIBIT A**

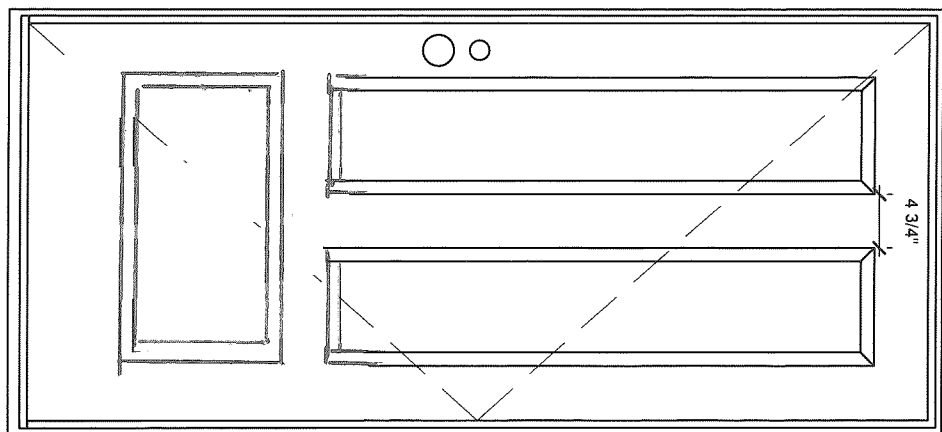
### **SCOPE OF WORK**

Nine upper-story windows on the west façade will be replaced with the specified Marvin Ultimate Series wood/aluminum clad single-hung window inserts, and the existing storm windows will be removed. Existing exterior trim profiles and architectural detailing will remain intact.

The apartment access door on the west façade and associated clearstory window will be replaced with new Marvin Ultimate Series wood/aluminum clad windows and door systems (for the clearstory windows). The proposed French door will feature a single panel with no grids on the glass.

Replacement windows and door systems will feature a dark bronze aluminum-clad exterior finish.

03



82" FS

82 1/2" RO

37 7/16" FS

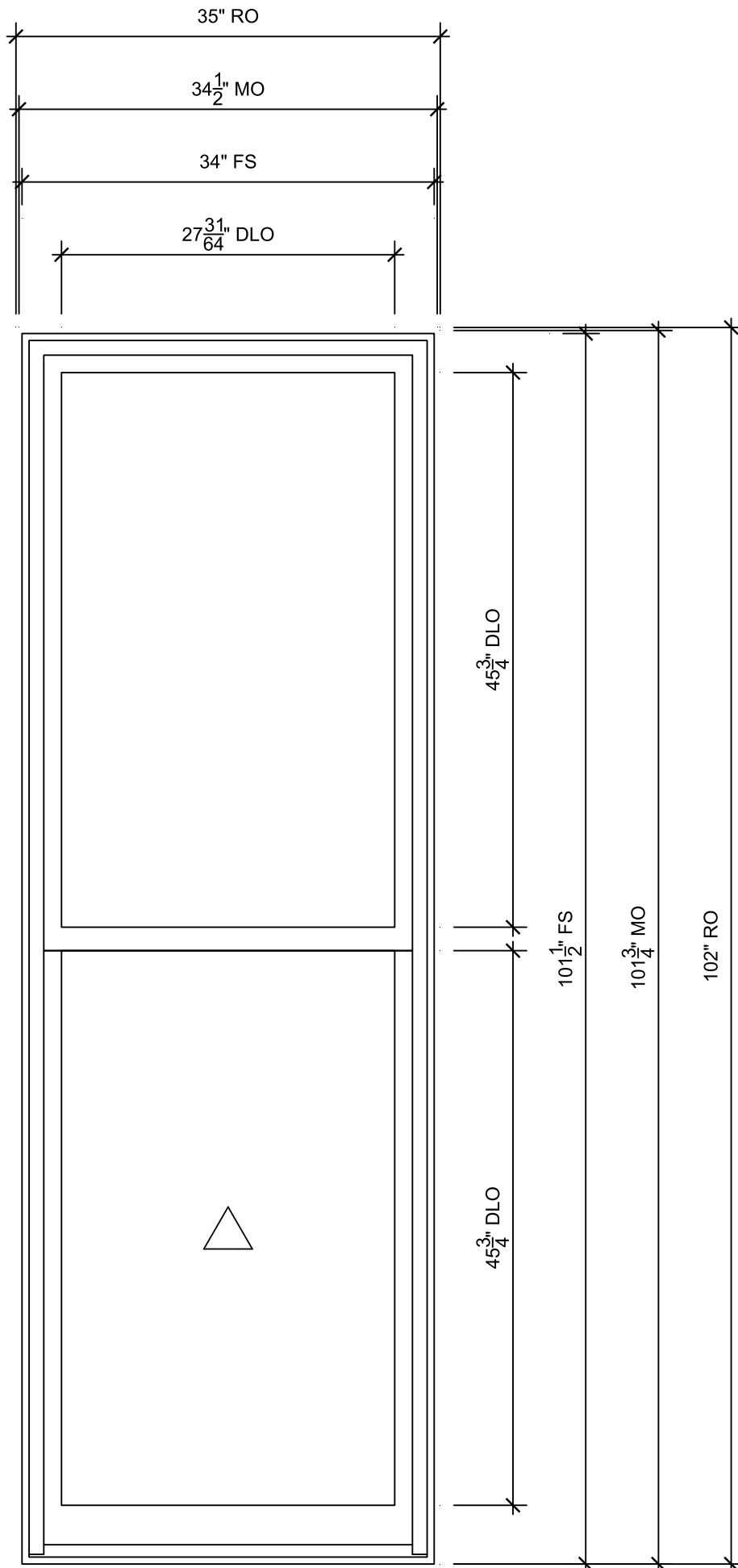
38 7/16" RO

4 3/4"

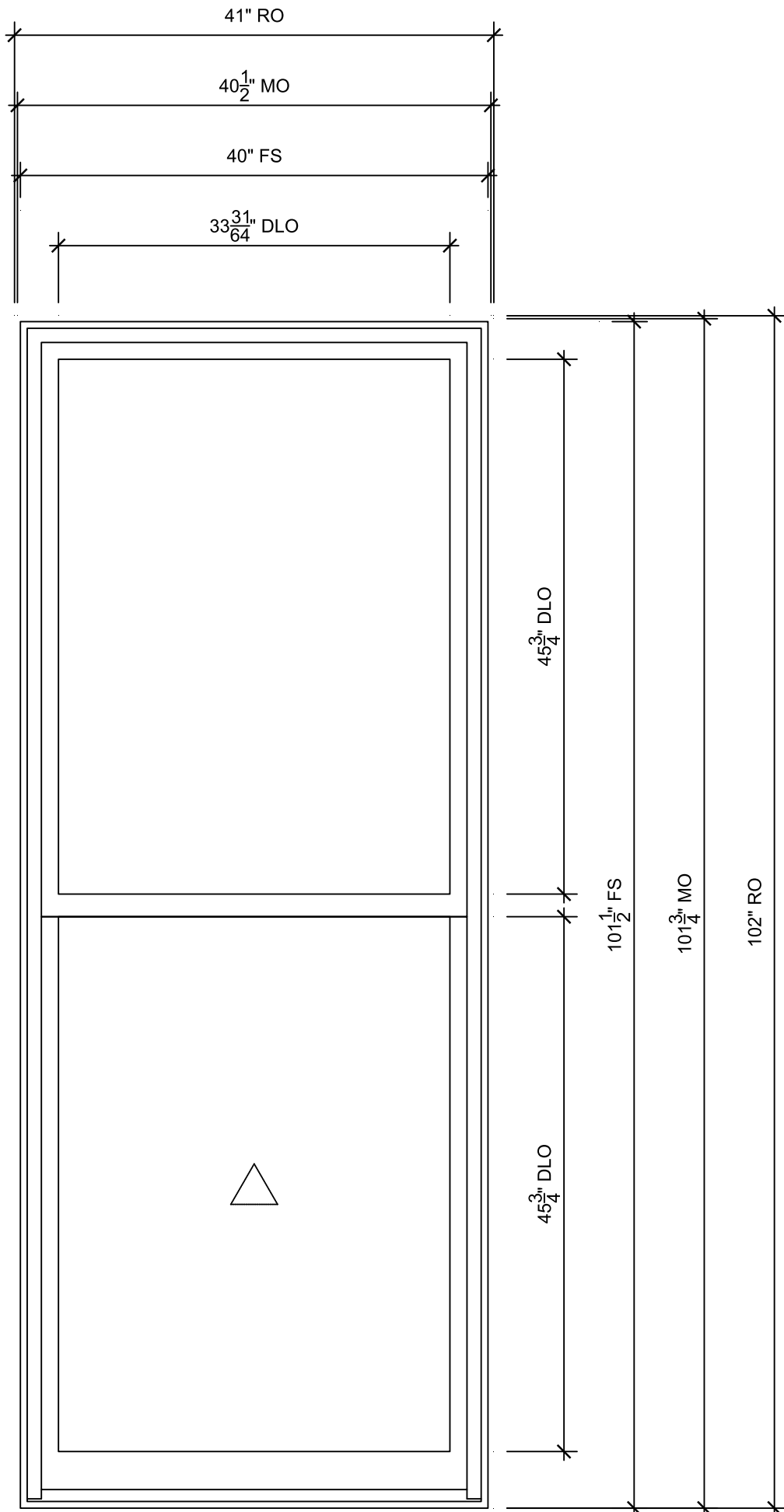
**MARVIN**   
 ARCHITECTURAL DIVISION

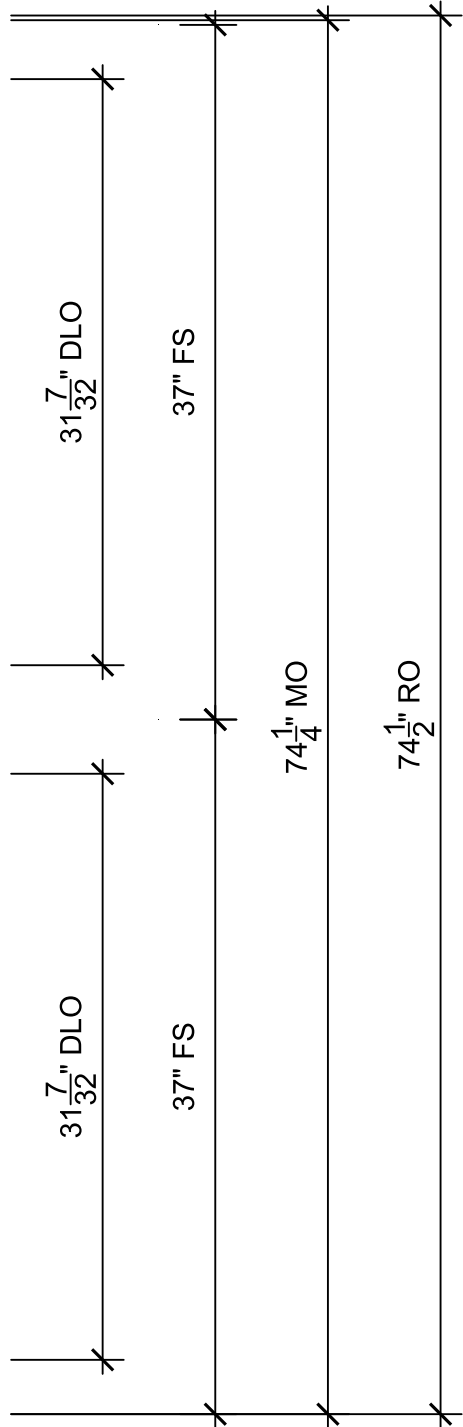
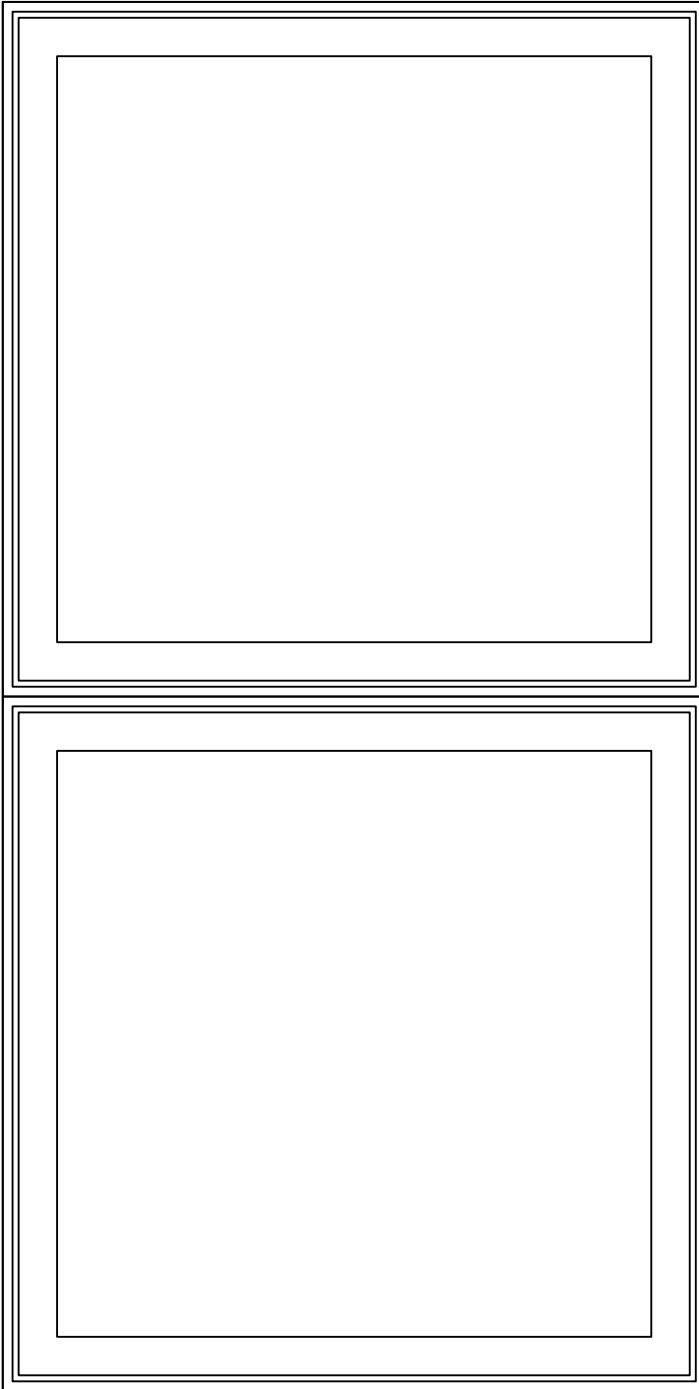
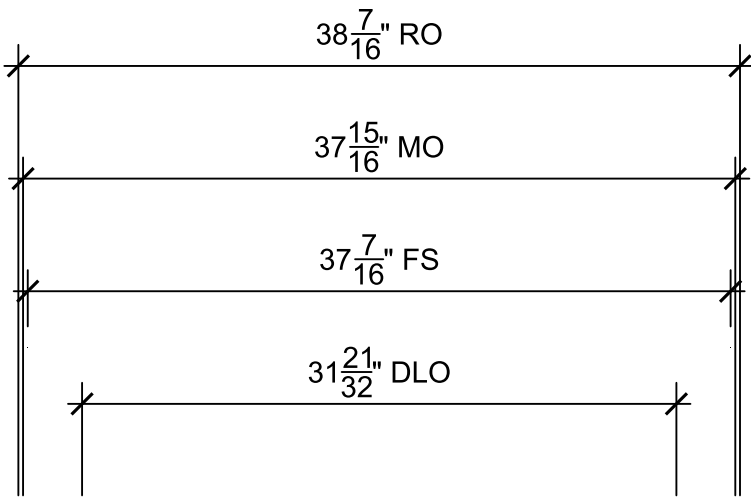
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# Detailed Project Description

## 411 & 413 Division Street South – Window and Door Replacement Project

### Project Overview

Located within the Downtown Historic District, this project consists of the selective replacement of deteriorated exterior windows and entry components on the front (west-facing) elevation of the existing historic commercial structure located at 411 & 413 Division Street South. The intent of the project is to preserve and maintain the historic character of the building while improving long-term durability, energy efficiency, occupant comfort, and operational functionality. The proposed work has been carefully designed to maintain the existing architectural rhythm, proportions, and appearance of the historic façade.

### Scope of Work

The proposed improvements include:

- Removal and replacement of nine (9) existing second-story windows facing Division Street.
- Removal and replacement of the existing street-level entry door and associated clerestory window assembly.
- Installation of new Marvin Ultimate Series wood/aluminum clad windows and door systems.

The replacement windows are proposed as insert-style installations in order to preserve the existing historic wood trim and surrounding building materials to the greatest extent practicable. Existing exterior trim profiles and architectural detailing will remain intact and undisturbed during installation.

### Proposed Materials and Design

The proposed window systems consist primarily of Marvin Ultimate Single Hung G2 units sized to match the proportions and configuration of the existing historic openings. The replacement units feature:

- Dark bronze aluminum-clad exterior finish
- Painted black pine interior finish
- Traditional single-hung operation
- Simulated historic sightlines and proportions

- Low-E insulated glazing with argon fill for improved thermal performance
- Black perimeter spacer bars and hardware to minimize visual impact

Aluminum clad solid core wood door in ebony finish

The first-floor entry system will consist of a Marvin ~~Ultimate Outswing French~~ Door assembly with accompanying clerestory glazing above. The entry door has been selected to ~~complement the historic storefront character~~ while improving durability, accessibility, and weather performance. match the existing door

## Historic Preservation Considerations

A primary objective of this project is to retain and reinforce the historic architectural character of the building and the surrounding Downtown Historic District. The proposed replacement systems were selected specifically for their compatibility with historic commercial architecture and their prior acceptance by the City of Northfield Heritage Preservation Commission on similar downtown projects.

The project does not propose:

- Alteration of the building footprint
- Modification of existing masonry openings
- Removal of significant architectural ornamentation
- Changes to the overall storefront composition
- Changes to building massing or scale

All work will occur within the existing openings and will preserve the established façade rhythm and visual appearance along Division Street.

## Construction and Installation

Construction activities will be limited to exterior window and door replacement work. NCC Builders will obtain required building and sidewalk closure permits and will provide temporary pedestrian protection and barricades during construction activities. Existing windows and doors will be removed and responsibly disposed of by the contractor.

The project is intended to extend the useful life of the building while maintaining its contribution to the historic downtown streetscape and preserving the architectural integrity of the structure for future occupancy and use.

## EXHIBIT B

### FINDINGS OF FACT

The Northfield city ordinances outline in Chapter 34 – Land Development Code (LDC), Section 8.5.8 the Heritage Preservation Commission’s Certificate of Appropriateness process and approval criteria. The HPC shall consider the following in evaluating an application for a certificate of appropriateness for a zoning certificate and/or building permit. Criterion (A) below must be met and criteria (B) through (G) shall be considered:

Criteria A. For all applications, the proposed action fully complies with all applicable requirements of the LDC;

Findings: The proposed work complies with the LDC. Further details on the applicable sections of the Northfield LDC are included below.

Criteria B, That the proposed action is in harmony with the purpose of the H-O district for sites located in the H-O district;

Findings: The proposed action is in harmony with the intent of the H-O district. Within the LDC Section 2.5.3, Historic Overlay District (H-O) purpose is defined “(a) Safeguard the heritage of the city by preserving sites and structures which reflect elements of the city's cultural, social, economic, political, visual or architectural history; (b) Protect and enhance the city's appeal to residents, visitors and tourists and serve as a support and stimulus to business and industry; (c) Foster civic pride in the beauty and notable accomplishments of the past; and, (d) Promote the preservation and continued use of historic sites and structures for the education and general welfare of the people of the city.”

- a) The applicant is proposing maintenance and investment to preserve the building and correct the undesirable current condition of raw aluminum storm/screen windows installed over the windows.
- b) Rehabilitating the deteriorated windows and entry will enhance the building’s appeal to residents and visitors and supports the businesses located in the building.
- c) The proposed window replacement addresses the negative visual impact of the existing storm/screen windows and deteriorating primary windows which will highlight the beauty of the building and foster more pride in the building’s history.
- d) The proposed window and entryway replacement promotes the continued use of the historic building.

Criteria C, That the proposed action would complement other structures within the H-O district for sites located in the H-O district;

Findings: The changes will complement other structures within the H-O district. The window replacements will remove the exterior raw aluminum storm/screen windows that detract from the character of the district and will make the building more compatible with others in the district.

Criteria D, That the proposed action is consistent with the Downtown Preservation Design Guidelines for sites located in the H-O district, and consistent with the Secretary of the Interior's Standards for Treatment of Historic Properties for sites located within or outside the H-O district;

Findings: The work on the building is consistent with the Downtown Preservation Design Guidelines and the SOI Standards. While window repair is preferred when windows are original or date from the period of significance, replacement is appropriate in certain circumstances. Portions of some of the windows may be original, but records are incomplete. An order to correct from 1995 includes broken windows in the apartments and building permit applications from the 1980's include replacing and reframing the door (unspecified) to the apartments and the rear door and windows to the apartments.

Photos in the historic survey file show different apartment access entries in the late 1800's and 1960's, indicating the existing door is not original, and therefore replacement is appropriate.

The upper and lower sashes on several of the windows do not match, and are in various stages of disrepair, raw aluminum storm/screen windows have been installed on the exterior of the windows to correct for the poor condition of the existing windows. To ensure the windows match across the façade, and so the storms can be removed, replacement can be considered appropriate.

Proposed exterior finishes of painted wood or coated aluminum are consistent with the guidelines.

Criteria E, Consideration should be given to the amount and quality of original material and design remaining in the building or structure when applying criteria, guidelines, and standards;

Findings: The original materials will be retained where practicable. The applicant proposes installing window inserts to retain interior and exterior trim profiles. Several of the windows or portions thereof on the upper story are likely not original, while the status of others is unknown. The status of the front door is not original with historic photos and building permits from the 1980's supporting this conclusion.

Criteria F, For new construction, the building or addition should be compatible with: (i) scale, texture, materials, and other visual qualities of the surrounding buildings and neighborhoods; (ii) the height, width, depth, massing, and setback of the surrounding buildings; and (iii) the amount of solid wall to window and door openings, and the replacement of window and door openings, should be proportional to that of the surrounding buildings and neighborhood;

Findings: Not applicable.

Criteria G, Consideration shall be given to clear cases of economic hardship or to deprivation of reasonable use of the owner's property.

Findings: Not applicable.



**MINNESOTA HISTORY / ARCHITECTURE INVENTORY FORM**  
**NORTHFIELD COMMERCIAL HISTORIC DISTRICT**  
**Rice County, Minnesota**

<b>PROPERTY LOCATION</b>	
<b>Property Name:</b> Hamre Building	<b>Inventory No.:</b> RC-NFC- 286
<b>Address:</b> 411-13 Division Street, Northfield, MN	<b>PIN:</b> 2206225035 and 2206225036
<b>QTR/QTR/T/R/S:</b> NW NW Section 6 T111N R19W	
<b>USGS Quad:</b> Northfield, Minnesota	<b>Plat:</b> Original Town <b>Block:</b> 33 <b>Lot:</b> 8
<b>UTM Z 15</b> 487294E, 4922511N NAD 83	

<b>PROPERTY INFORMATION</b>	
<b>Construction Date:</b> 1886	<b>Style:</b> Queen Anne/Eastlake
<b>Historic Use:</b> commercial	<b>Current Use:</b> commercial
<b>Property Type:</b> commercial	<b>Historic Context:</b> "Commerce, 1856-1945"
<b>Architect/Builder</b>	<b>Survey Name:</b> Northfield Historic District Survey Revision Project, 2016
<b>Previous NRHP Status:</b> Contributing to Northfield Commercial Historic District	<b>NRHP Recommendation:</b> Contributing to Northfield Commercial Historic District
<b>Form Prepared by:</b> Landscape Research LLC	<b>Survey Date:</b> 3/2016



2016, looking east



ca. 1965

### Description

The flat-roofed Hamre Building faces west on Division Street. It is comprised of two buildings joined by a party wall. It has a prominent nine-bay, red brick façade crowned with a tall parapet, deep corbel course, and stamped metal cornice. Each bay is framed by brick pilasters trimmed with rusticated, buff-colored limestone. A stone stringcourse unites the sills and lintels across the façade. The central bay is framed by a projecting pilaster surmounted by a finial-topped, crested date plaque at the cornice; the plaque is embellished with a stamped dog's tooth pattern and the date 1886. At the ground level, fluted cast-iron columns stamped with "St. Paul Foundry" frame a single stone step and paneled single-leaf door with a glazed transom. The flanking storefronts have a recessed entry and large, wood-framed display windows.

### History

This building was among the first large masonry blocks on the east side of Division between 4th and 5th Streets, predating the Central Block (1893) by nine years. It has housed a variety of retail tenants at the ground floor and offices at the second level. Montgomery Ward was a 1940s tenant.

**MINNESOTA HISTORY / ARCHITECTURE INVENTORY FORM  
NORTHFIELD COMMERCIAL HISTORIC DISTRICT  
Rice County, Minnesota**

**Significance and Historic Context(s)**

This building is associated with the second period of Northfield’s commercial development, from ca. 1880 to 1900, when 29 of the 65 historic district buildings were constructed. It is associated with the Northfield historic context, “Commerce, 1856-1945” (Northfield Preservation Plan, 1992).

**Evaluation**

This property was listed on the NRHP in 1979 as contributing to the Northfield Commercial Historic District. The exterior continues to retain historic significance and integrity and the building continues to be contributing to the district.

**References**

- Edwins, Steve, ed. *Northfield Downtown Guidebook*. Northfield Heritage Preservation Commission, 1982, 18.
- “Northfield Historic District,” National Register of Historic Places Nomination, 1979.
- Northfield News. *All About Northfield, Minn: Directory of Name and Business Firms, Information in Regard to the City*. Northfield: Northfield News, 1889.
- Northfield Historical Society. Photograph and research files. Northfield, Minnesota.
- Sanborn Map & Publishing Company, New York. Northfield plates, 1886-1943.
- Zellie, Carole. “Northfield Heritage Preservation Plan.” Prepared for the Northfield Heritage Preservation Commission, Northfield, Minn. by Landscape Research, 1992.

**Additional Photographs**

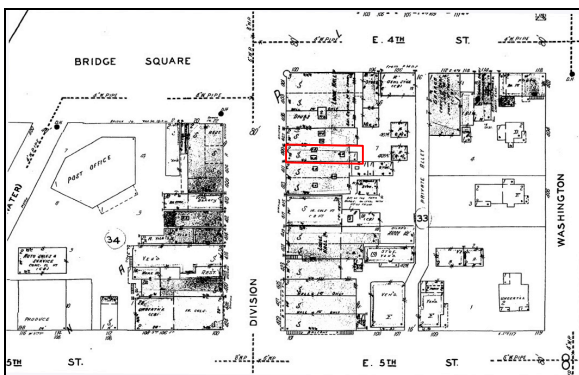


**Hamre Building (1886) at left, ca. 1890; Skinner Block (1860s), at right.**



**Central entry with cast-iron columns, 2016.**

**Sanborn and USGS Maps**



**Sanborn Map and Publishing Co., 1930, updated 1943.**



**USGS: Northfield 1984.**

Historic photographs: Northfield Historical Society



















**Mike Morehouse**  
Building Official

Office: 507-645-3021  
Cell: 507-384-7536  
mike.morehouse@northfieldmn.gov

801 Washington Street | Northfield, MN 55057  
www.northfieldmn.gov



Warehouse  
City Official  
507-645-3021  
507-384-7536  
warehouse@northfieldmn.gov  
Washington Street | Northfield, MN 55057  
northfieldmn.gov













Legislation Text

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**File #:** HPC Res. 2026-006, **Version:** 1

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**Heritage Preservation Commission Meeting Date:** June 3, 2026

**To:** Members of the Heritage Preservation Commission

**From:** Mathias Hughey, Associate City Planner

Certificate of Appropriateness for New Construction at 212 Division Street South - The Archer House Redevelopment.

**Action Requested:**

The Heritage Preservation Commission (HPC) is asked to review and approve the Certificate of Appropriateness for new construction at 212 Division Street South - The Archer House Redevelopment.

**Summary Report:**

The applicant, Rebound Real Estate, is seeking approval to construct a new four-story mixed-use building on the vacant lot at 212 Division Street South, formerly occupied by the Archer House. A description of the scope of work, “Archer House Redevelopment Narrative,” is attached, along with floor plans, colored elevations, renderings, and civil and landscape drawings depicting the proposed project. The project consists of the new four-story building and site work.

The Land Development Code (LDC) exempts interior work from the Certificate of Appropriateness (COA) requirement. The LDC also exempts “any physical improvements within public rights-of-way and immediately adjacent property affected by such work, including but not limited to: .... boulevard tree planting; accessibility ramp improvements...”

The following elements of the project are the subject of this COA:

Site work, including:

1. Construction of ground-level patio and raised deck at building’s rear west (riverfront) elevation
2. Improvements to vegetation at the rear of the site, including removal of five existing trees and installation of two new trees, new shrubs and perennials, and a rain garden with native plantings
3. Regrading and installation of new hardscape, retaining walls and fencing as needed

New construction:

1. Massing:
  - a. 55’-0” four-story building with structured parking in the basement, commercial space and hotel lobby at the ground level, and hotel accommodations at levels two through four.
  - b. 170’-0” of street frontage divided into 3 distinct bays
2. Exterior façade materials:
  - a. Brick cladding at upper levels
  - b. Cultured stone cladding at ground and storefront levels and central bay

- c. Precast limestone sills, lintels, and cornices
  - d. Metal sign band at central bay and prefinished metal cap flashing at parapets
3. Exterior windows and doors:
- a. Black aluminum single hung windows
  - b. Black aluminum storefront systems

Of the seven criteria to be considered by the HPC, five (5) criteria (including the required criterion) are met and two (2) criteria are not applicable. Attached is a draft resolution for the HPC to review with the analysis of the criteria. HPC members can contact staff in advance to make edits if there are any proposed changes.

Staff Recommendation

Staff recommends approval of the Certificate of Appropriateness for new construction at 212 Division Street South with the following condition:

This approval is preliminary and based on the renderings and other information presented at the June 3, 2026 HPC meeting and incorporated here as Exhibit A. The preliminary approval will become final upon review and acceptance of 30% construction drawings by the HPC, which will be incorporated into Exhibit A. Minor changes that may be required to construct the building will not be grounds for reversal of the preliminary approval.

Background

At the April 1, 2026, HPC meeting the Commission received an update from Rebound on the proposed redevelopment of the Archer House Site. The HPC voted to form a subcommittee to provide guidance to the applicant as they refined their proposal prior to submitting for a Certificate of Appropriateness. The developer has been engaged with City staff, the City’s consultant (New History), and the subcommittee (Sarah Beimers, Amy Machacek Shonka, & Bob Stangler), working through designs.

In addressing guidance from the subcommittee and others, the applicant has not had adequate time to develop construction drawings. Due to other city code requirements and concurrent processes, including the need for a variance, conditional use permit (CUP), and site plan review, an HPC approval is being applied for to ensure the proposal is compatible with the Historic Overlay District requirements.

The Archer House, a historic hotel and multi-use building, was severely damaged by a fire in 2020. Following the demolition of the building in 2021, the HPC approved a COA for a new building in December of 2023.

**City Plans & Policies Relevance:**

The City is committed to the preservation and enhancement of its historic downtown, and the value of this area culturally and economically is underscored in multiple plans and policies.

**Alternative Options:**

The HPC may approve the COA without conditions, approve the COA with additional conditions, or deny the COA. A denial would require the HPC to develop findings to support this decision.

**Financial Impacts:**

NA

**Tentative Timelines:**

June 3, 2026 - HPC COA Preliminary Approval

June 18, 2026 - Zoning Board of Appeals Hearing and Decision on Height Variance

June 18, 2026 - Public Hearing and Planning Commission Recommendation on CUP for Off-Street Parking  
July 7, 2026 - City Council Decision on CUP

CITY OF NORTHFIELD, MINNESOTA  
HERITAGE PRESERVATION COMMISSION RESOLUTION HPC #2026-006

A RESOLUTION BY THE HERITAGE PRESERVATION COMMISSION OF THE CITY OF  
NORTHFIELD, MINNESOTA, APPROVING A CERTIFICATE OF APPROPRIATENESS  
FOR 212 DIVISION ST. S.

WHEREAS, the applicant, Rebound Real Estate (the “Applicant”), is seeking a Certificate of Appropriateness (“COA”) from the City of Northfield Heritage Preservation Commission (“HPC” or “Commission”) for new construction as more particularly described in Exhibit A, which is attached hereto and incorporated herein by reference (the “Work”), for certain property owned by Manawa, LLC located at 212 Division St. S. in the City of Northfield (the “Property”); and

WHEREAS, the Property is located within a designated historic district, the Northfield Commercial Historic District, a locally designated district and a district on the National Register of Historic Places; and

WHEREAS, according to Northfield City Code (the “City Code”), Chapter 34, Section 8.5.8 (A), unless otherwise exempted in Section 7.8.3 or unless otherwise provided in Section 8.5.8, a COA is required for construction, exterior alteration or rehabilitation, moving or demolition of a building or structure on a city-owned or privately owned heritage preservation site; and

WHEREAS, according to City Code, Chapter 34, Section 8.5.8 (A), unless otherwise provided in City Code, no zoning certificate or building permit shall be issued before a COA has received approval; and

WHEREAS, according to City Code, Chapter 34, Section 8.5.8 (A)(1), the proposed Work is classified as Major Work requiring the Type 3 review procedure as established in Section 8.4.6, Type 3 Review Procedure (Heritage Preservation Commission Decision); and

WHEREAS, according to City Code, Chapter 34, Section 8.5.8 (D), for proposed new construction, as well as alteration, remodeling, rehabilitation, relocation or addition to an existing building, structure or historic object, the HPC, based upon the above review procedure, shall consider the following in evaluating an application for a COA, and shall make written findings regarding approval or denial of the same by resolution (Criterion (a) below must be met and criteria (b) through (g) shall be considered, if applicable to an application):

- (a) For all applications, the proposed action fully complies with all applicable requirements of this LDC;
- (b) That the proposed action is in harmony with the intent purpose of the H-O district for sites located in the H-O district;

- (c) That the proposed action would complement other structures within the H-O district for sites located in the H-O district;
- (d) That the proposed action is consistent with the Downtown Preservation Design Guidelines for sites located in the H-O district, and consistent with the Secretary of the Interior’s Standards for Treatment of Historic Properties for sites located within or outside the H-O district;
- (e) Consideration should be given to the amount and quality of original material and design remaining in the building or structure when applying criteria, guidelines and standards;
- (f) For new construction, the building or addition should be compatible with:
  - (i) scale, texture, materials, and other visual qualities of the surrounding buildings and neighborhoods;
  - (ii) the height, width, depth, massing and setback of the surrounding buildings; and
  - (iii) the amount of solid wall to window and door openings, and the replacement of window and door openings, should be proportional to that of the surrounding buildings and neighborhood; and
- (g) Consideration shall be given to clear cases of economic hardship or to deprivation of reasonable use of the owner's property.; and

WHEREAS, according to City Code, Chapter 34, Section 8.5.8 (D), the Applicant bears the burden of proof of meeting the foregoing criteria; and

WHEREAS, according to City Code, Chapter 34, Section 8.5.8 (E), this decision of the HPC shall be final unless timely appealed to the City Council by filing a written notice of appeal with the City Clerk no later than ten (10) days after the date of the HPC’s decision; and

WHEREAS, the Commission held a duly noticed public meeting on June 3rd, 2026, to consider testimony from the Applicant and the public regarding the COA, and has considered such testimony and reviewed the requested COA on the Property according to the above criteria.

NOW THEREFORE BE IT RESOLVED BY THE HERITAGE PRESERVATION COMMISSION OF THE CITY OF NORTHFIELD, MINNESOTA, that the Commission has duly considered the required criteria contained in City Code as applicable to the above-requested COA regarding the Property, and hereby adopts the findings of fact contained in the staff report regarding the same, which is attached hereto and incorporated herein by reference as Exhibit B, along with the above recitals hereto.

BE IT FURTHER RESOLVED that the requested COA is hereby approved based upon the above-referenced adopted findings, subject to the following condition:

This approval is preliminary and based on the renderings and other information presented at the June 3, 2026 HPC meeting and incorporated here as Exhibit A. The preliminary approval will become final upon review and acceptance of 30% construction drawings by

the HPC, which will be incorporated into Exhibit A. Minor changes that may be required to construct the building will not be grounds for reversal of the preliminary approval.

PASSED by the Heritage Preservation Commission of the City of Northfield, this 3rd day of June 2026.

\_\_\_\_\_  
Chair

\_\_\_\_\_  
Member

VOTE:     \_\_\_ CLARK     \_\_\_ MACHACEK SHONKA     \_\_\_ JARMAN  
          \_\_\_ TOLLE     \_\_\_ STANGLER     \_\_\_ BEIMERS     \_\_\_ STREET



**EXHIBIT A**

**DESCRIPTION OF PROPOSED WORK**

**EXHIBIT B**

**FINDINGS OF FACT**

**EXHIBIT A**

**SCOPE OF WORK**

New construction as specified in the attached and incorporated documents.

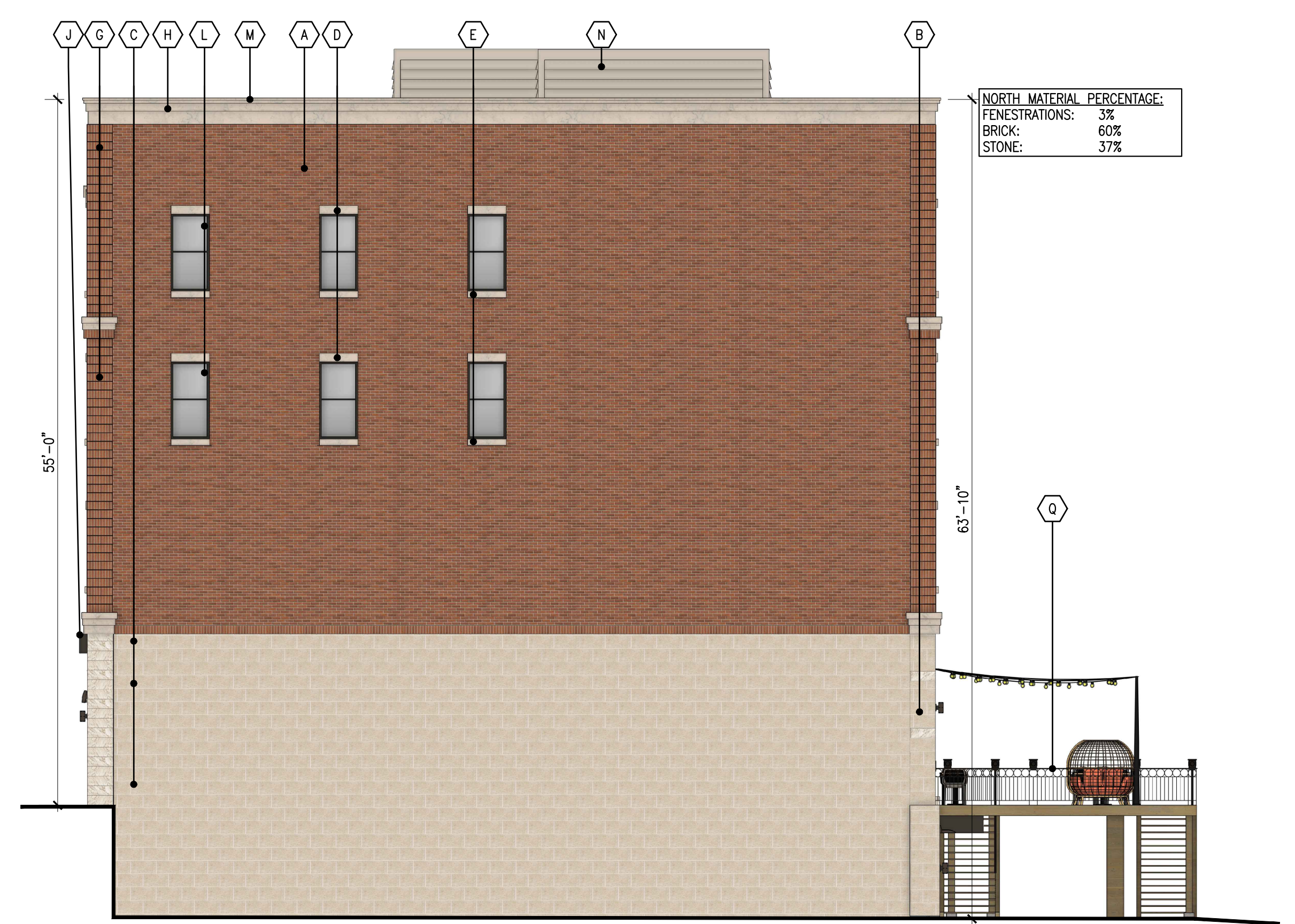
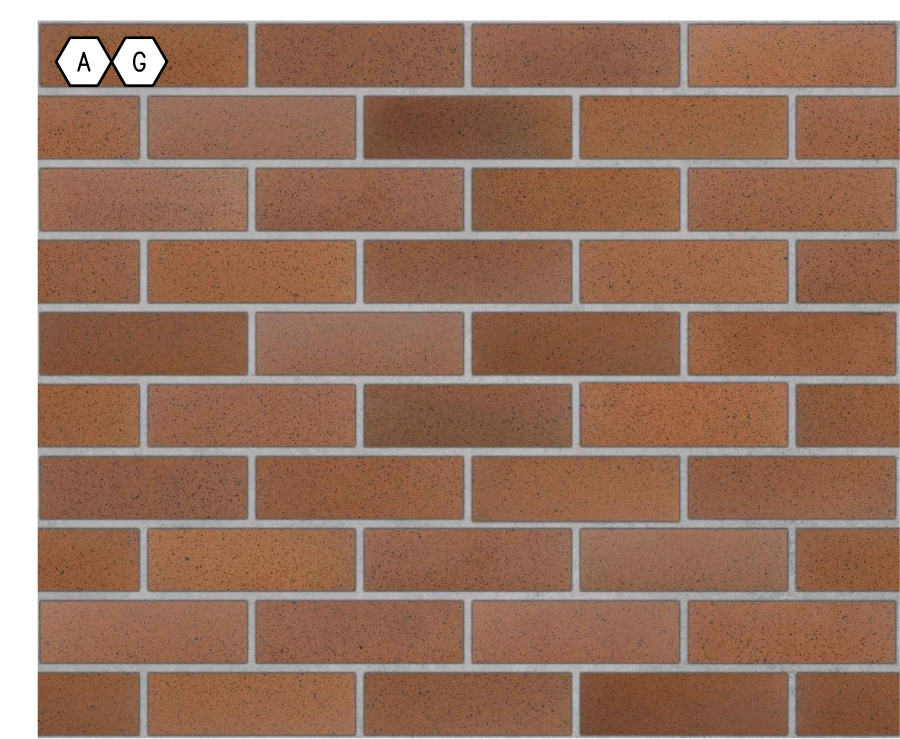
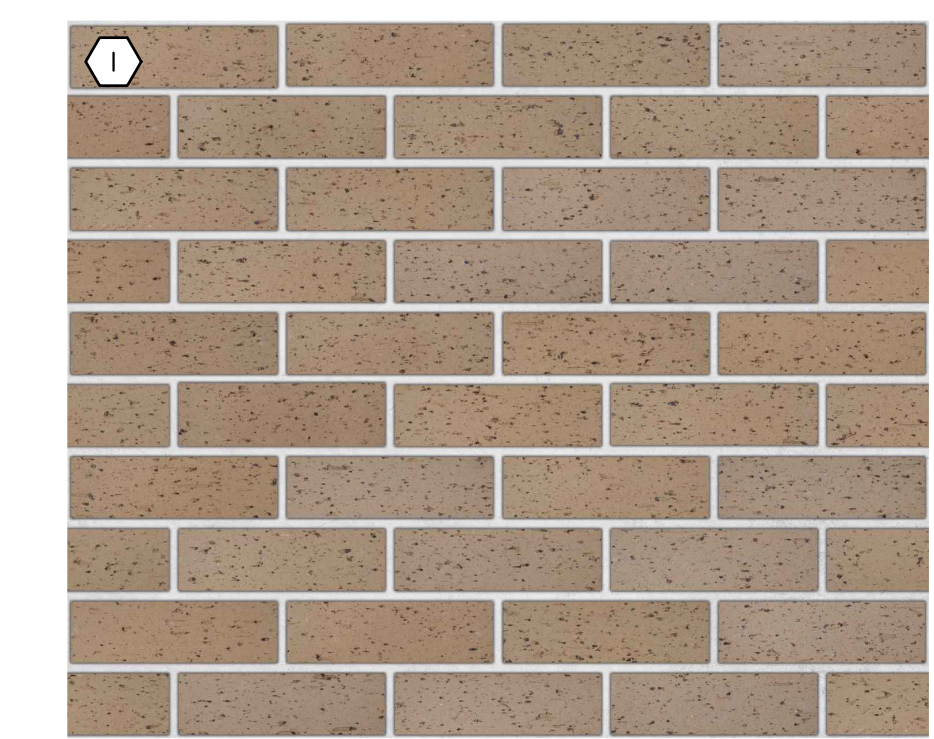
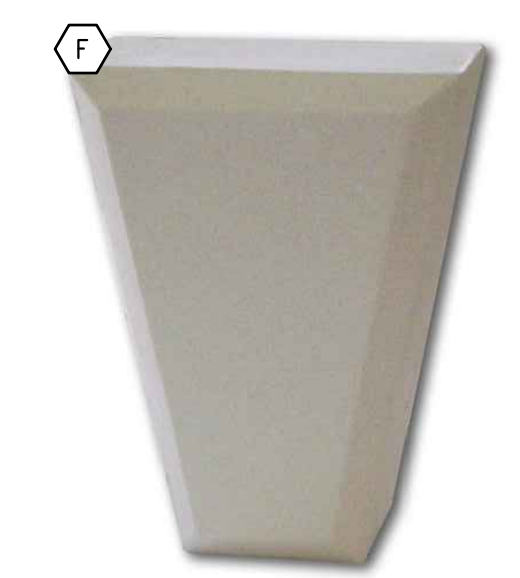
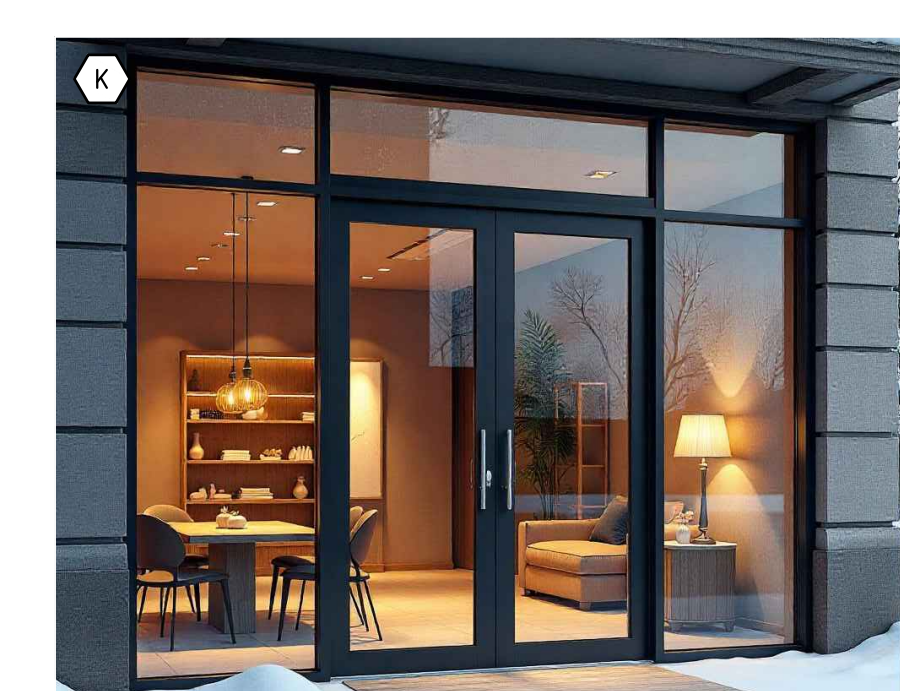
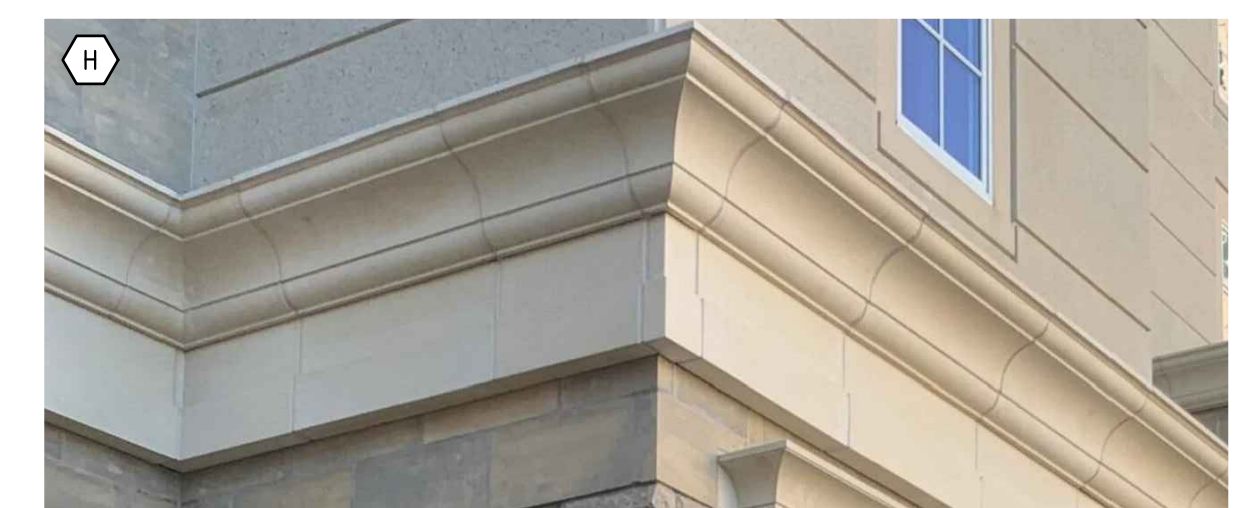


**EAST MATERIAL PERCENTAGE:**  
 FENESTRATIONS: 26%  
 BRICK: 43%  
 STONE: 31%

MATERIAL KEYNOTES	
<b>A</b> THIN BRICK #1: MANUF: ENDICOTT PRODUCT: THIN BRICK COLOR: DESERT IRONSPOT DARK FINISH: SMOOTH	<b>J</b> ALUMINUM COMPOSITE MATERIAL EYEBROW: MANUF: ARCONIC PRODUCT: REYNOLDBOND COLOR: DEAP BLACK
<b>B</b> CULTURED STONE: MANUF: CORONADO PRODUCT: CLASSIC SERIES FINISH: SMOOTH LIMESTONE COLOR: CREAM	<b>K</b> ALUMINUM STOREFRONT SYSTEM: MANUF: OLDCASTLE (OR EQUAL) PRODUCT: SERIES 3000XT COLOR: BLACK
<b>C</b> CULTURED STONE BAND: MANUF: CORONADO PRODUCT: DESIGNER SERIES FINISH: SPLIT LIMESTONE COLOR: CREAM	<b>L</b> SINGLE HUNG WINDOW: MANUF: ANDERSEN PRODUCT: 100 SERIES COLOR: BLACK
<b>D</b> 8" PRECAST LINTEL: MANUF: ARRISCRAFT PRODUCT: CAMBRIDGE SILL COLOR: LIMESTONE FINISH: TBD	<b>M</b> PREFINISHED METAL CAP FLASHING: MANUF: CMG (OR EQUAL) COLOR: SANDSTONE
<b>E</b> 6" PRECAST LINTEL: MANUF: ARRISCRAFT PRODUCT: CAMBRIDGE SILL COLOR: LIMESTONE FINISH: TBD	<b>N</b> MECHANICAL SCREEN: MANUF: ENVISOR (OR EQUAL) PRODUCT: HORIZONTAL RIB COLOR: PUTTY
<b>F</b> ARCHED BRICK EYEBROW W/KEYSTONE: MANUF: ARRISCRAFT PRODUCT: ARRIS-CAST KEYSTONE COLOR: LIMESTONE FINISH: TBD	<b>O</b> INSULATED OVERHEAD GARAGE DOOR: MANUF: MIDLAND (OR EQUAL) COLOR: BLACK
<b>G</b> THIN BRICK #1 SOLIDER COURSE QUINS: MANUF: ENDICOTT PRODUCT: THIN BRICK COLOR: DESERT IRONSPOT DARK FINISH: SMOOTH	<b>P</b> LIGHT FIXTURES: (SEE SITE LIGHTING PLAN) MANUF: TBD COLOR: BLACK
<b>H</b> PRECAST CORNICE: MANUF: ARRISCRAFT PRODUCT: ARRIS-CAST COLOR: LIMESTONE FINISH: TBD PROFILE: TBD	<b>Q</b> DECK SYSTEM: RAILING: BLACK SUBSTRUCTURE: BROWN TREATED DECKING: TREX (OR EQUAL)
<b>I</b> THIN BRICK #2: MANUF: ENDICOTT PRODUCT: THIN BRICK COLOR: LIGHT SANDSTONE FINISH: VELOUR	

1 EAST ELEVATION  
A301

SCALE: 1/8" = 1'-0"



**NORTH MATERIAL PERCENTAGE:**  
 FENESTRATIONS: 3%  
 BRICK: 60%  
 STONE: 37%

2 NORTH ELEVATION  
A301

SCALE: 1/8" = 1'-0"

ISSUES / REVISIONS:	
SITE PLAN REVIEW	04.20.2026
HFC REVIEW	05.22.2026

W:\25053 Archer House - Northfield\Drawings\25053 Rendered elevations.dwg | 11/15/2025 10:18 AM | 11/15/25 10:18 AM | JEM, Erik Peterson

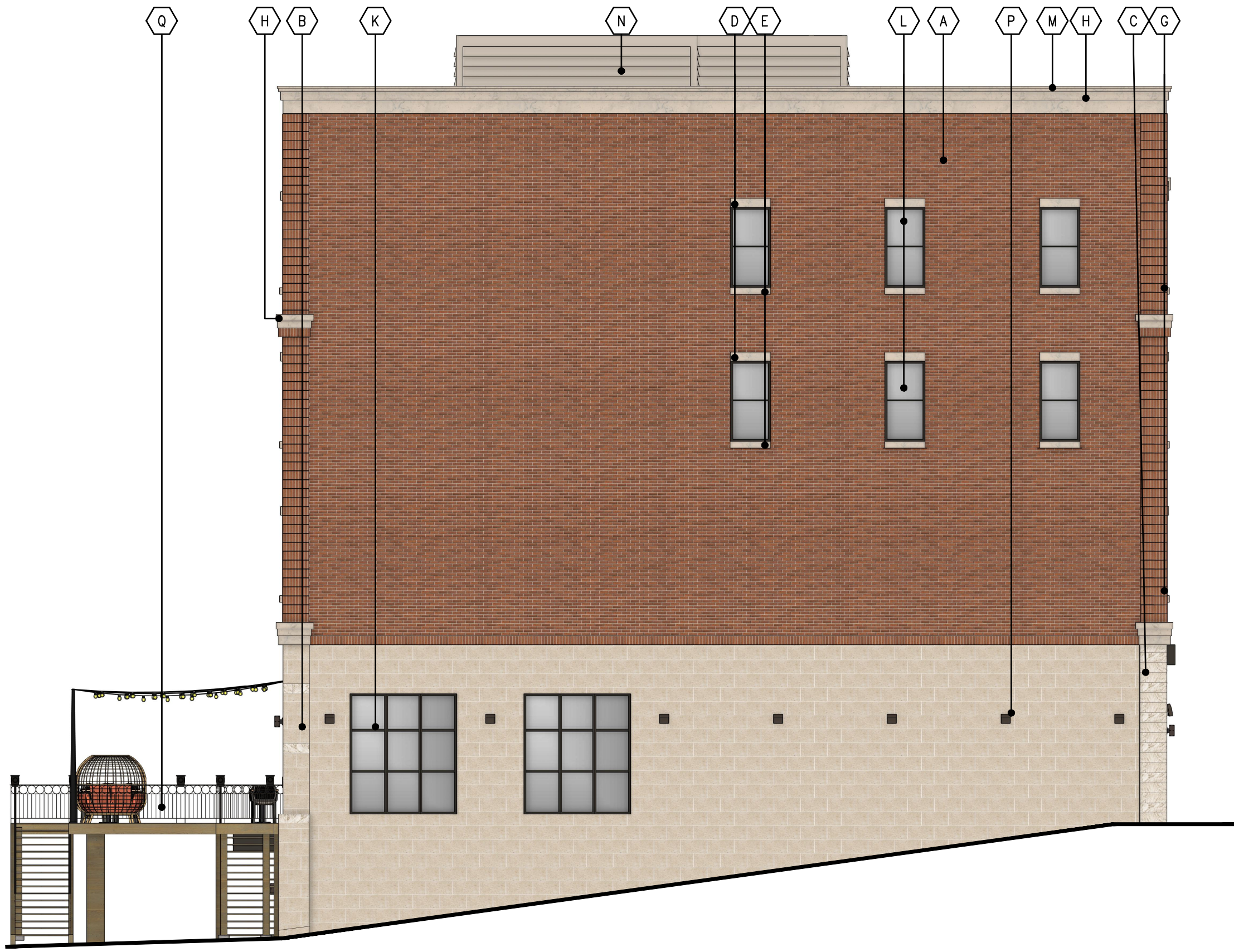


WEST MATERIAL PERCENTAGE:  
 FENESTRATIONS: 21%  
 BRICK: 36%  
 STONE: 41%

MATERIAL KEYNOTES	
(A) THIN BRICK #1: MANUF: ENDICOTT PRODUCT: THIN BRICK COLOR: DESERT IRONSPOT DARK FINISH: SMOOTH	(J) ALUMINUM COMPOSITE MATERIAL EYEBROW: MANUF: ARCONIC PRODUCT: REYNOBOND COLOR: DEAP BLACK
(B) CULTURED STONE: MANUF: CORONADO PRODUCT: CLASSIC SERIES FINISH: SMOOTH LIMESTONE COLOR: CREAM	(K) ALUMINUM STOREFRONT SYSTEM: MANUF: OLDCASTLE (OR EQUAL) PRODUCT: SERIES 3000XT COLOR: BLACK
(C) CULTURED STONE BAND: MANUF: CORONADO PRODUCT: DESIGNER SERIES FINISH: SPLIT LIMESTONE COLOR: CREAM	(L) SINGLE HUNG WINDOW: MANUF: ANDERSEN PRODUCT: 100 SERIES COLOR: BLACK
(D) 8" PRECAST LINTEL: MANUF: ARRISCRAFT PRODUCT: CAMBRIDGE SILL COLOR: LIMESTONE FINISH: TBD	(M) PREFINISHED METAL CAP FLASHING: MANUF: CMG (OR EQUAL) COLOR: SANDSTONE
(E) 6" PRECAST LINTEL: MANUF: ARRISCRAFT PRODUCT: CAMBRIDGE SILL COLOR: LIMESTONE FINISH: TBD	(N) MECHANICAL SCREEN: MANUF: ENVISOR (OR EQUAL) PRODUCT: HORIZONTAL RIB COLOR: PUTTY
(F) ARCHED BRICK EYEBROW W/KEYSTONE: MANUF: ARRISCRAFT PRODUCT: ARRIS-CAST KEYSTONE COLOR: LIMESTONE FINISH: TBD	(O) INSULATED OVERHEAD GARAGE DOOR: MANUF: MIDLAND (OR EQUAL) COLOR: BLACK
(G) THIN BRICK #1 SOLIDER COURSE QUINS: MANUF: ENDICOTT PRODUCT: THIN BRICK COLOR: DESERT IRONSPOT DARK FINISH: SMOOTH	(P) LIGHT FIXTURES: (SEE SITE LIGHTING PLAN) MANUF: TBD COLOR: BLACK
(H) PRECAST CORNICE: MANUF: ARRISCRAFT PRODUCT: ARRIS-CAST COLOR: LIMESTONE FINISH: TBD PROFILE: TBD	(Q) DECK SYSTEM: RAILING: BLACK SUBSTRUCTURE: BROWN TREATED DECKING: TREX (OR EQUAL)
(I) THIN BRICK #2: MANUF: ENDICOTT PRODUCT: THIN BRICK COLOR: LIGHT SANDSTONE FINISH: VELOUR	

1 WEST ELEVATION  
A302

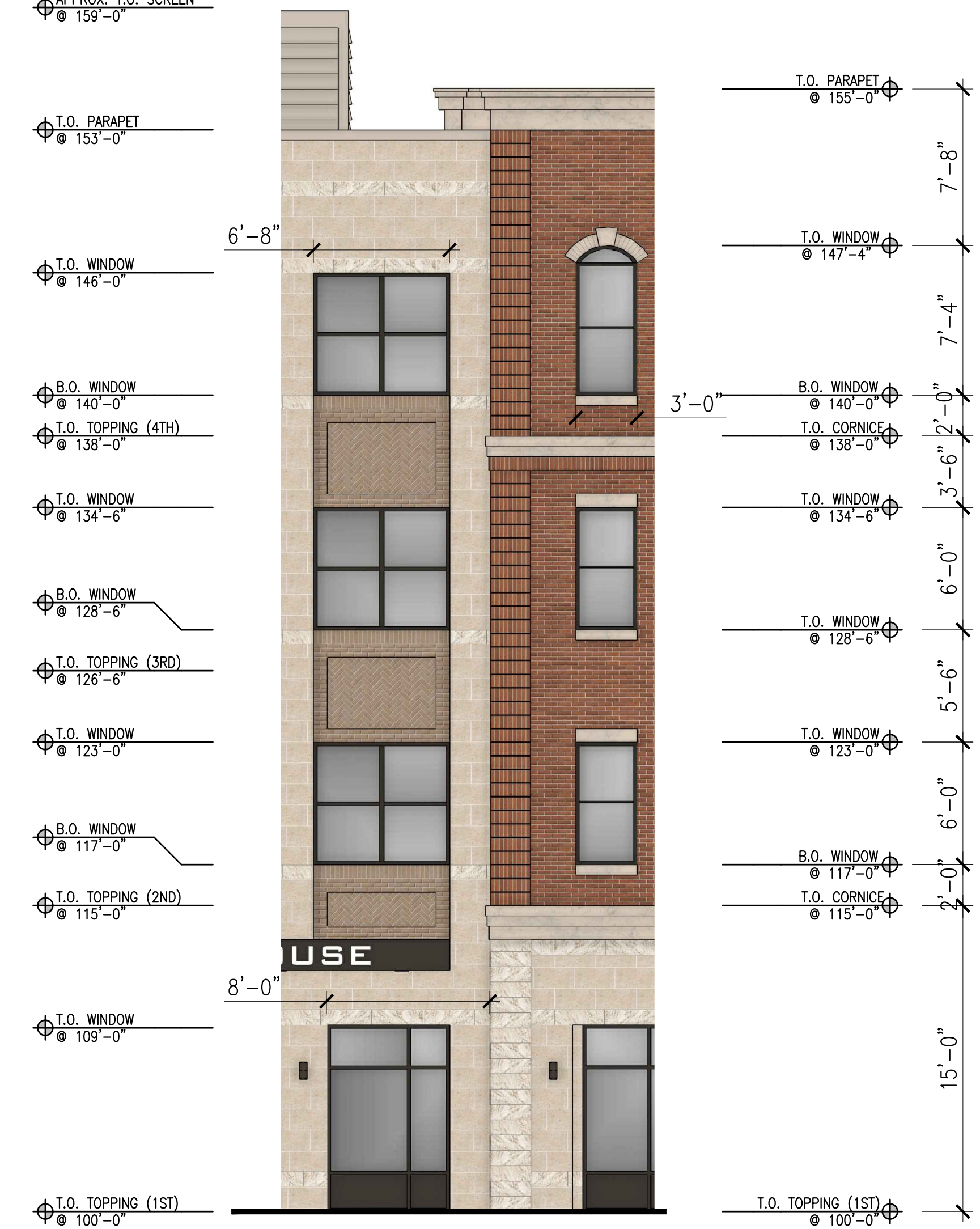
SCALE: 1/8" = 1'-0"



SOUTH MATERIAL PERCENTAGE:  
 FENESTRATIONS: 7%  
 BRICK: 65%  
 STONE: 28%

2 SOUTH ELEVATION  
A302

SCALE: 1/8" = 1'-0"



3 PARTIAL ELEVATION  
A302

SCALE: 3/16" = 1'-0"

ISSUES / REVISIONS:	
SITE PLAN REVIEW	04.20.2025
HFC REVIEW	05.22.2025

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: NOT FOR CONSTRUCTION JOSHUA D. WILDT  
Expiration: 06-30-2026

License #: 57650  
Date: 04-20-2026

PROJECT MANAGER  
JOSH  
DRAWN BY  
L + J

PROJECT NAME

ARCHER HOUSE

NORTHFIELD MINNESOTA

ISSUE LOG  
04-20-2026 SUBMITTAL

PROJECT NUMBER

SHEET TITLE

**LANDSCAPE PLAN**

SHEET NUMBER

**L101**

**LANDSCAPE PLANT LEGEND**

DECIDUOUS TREES			
RB	2	<b>RIVER BIRCH</b> <i>Betula nigra</i>	MULTI STEM B&B 40'H x 30'W
PH	3	<b>PRAIRIE HORIZON ALDER</b> <i>Ainus hirsuta 'Harbin'</i>	2" CAL. B&B 35'H x 25'W
GM	7	<b>ARMSTRONG GOLD MAPLE</b> <i>Acer rubrum 'JFS-KW78'</i>	2" CAL. B&B 40'H x 12'W

EVERGREEN TREES			
CM	5	<b>COLUMNAR TANNENBAUM</b> <i>Pinus mugo 'Columnaris'</i>	36" HT B&B 8'H x 3'W

SHRUBS			
AJ	13	<b>AMBER JUBILEE NINEBARK</b> <i>Physocarpus opulifolius 'Jefam'</i>	#2 CONT. POT 5'H x 4'W
LL	9	<b>LITTLE LIME HYDRANGEA</b> <i>Hydrangea paniculata 'Jane'</i>	#3 CONT. POT 5'H x 5'W
BH	6	<b>DWARF BUSH HONEYSUCKLE</b> <i>Diervilla lonicera</i>	#2 CONT. POT 3'H x 3'W

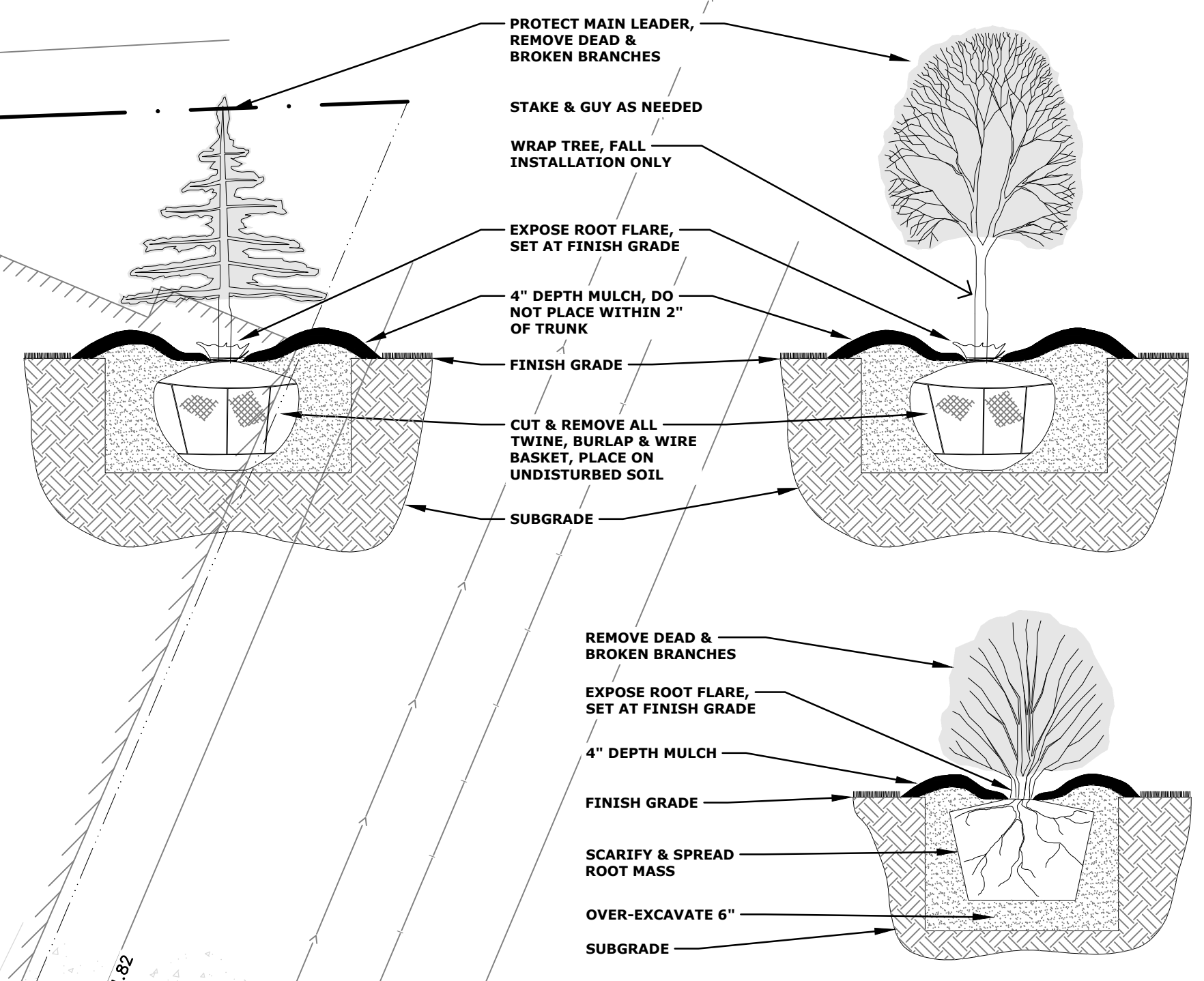
PERENNIALS			
RS	6	<b>RUSSIAN SAGE</b> <i>Salvia yangii</i>	#1 CONT. POT 4'H x 3'W
SE	12	<b>AUTUMN FIRE</b> <i>Sedum x 'Autumn Fire'</i>	#1 CONT. POT 1.5'H x 2'W
JW	6	<b>JUNIOR WALKER CATMINT</b> <i>Nepeta faassenii 'Junior Walker'</i>	#1 CONT. POT 1'H x 2'W

GROUNDCOVER		
--SY		MNDOT SEED MIX 25-131 - LOW MAINTENANCE TURF (OR APPROVED ALTERNATE).
--CY		UNDYED HARDWOOD MULCH
--CY		1-1/2" ROCK MULCH
--LF		METAL EDGING

**RAIN GARDEN NOTES: NATIVE PLANTS, PLANTING AND TRANSPLANTING**

- NATIVE PLANTING NOT TO BEGIN UNTIL PLANTING AREAS HAVE BEEN AMENDED AND PREPARED.
- PLANTING BEDS TO BE FREE FROM ALL WEEDS AND INVASIVE PLANT SPECIES.
- PLANT MATERIAL TO BE SPACED 18" O.C.
- ALL PLANT MATERIAL TO BE THOROUGHLY WATERED UPON INSTALLATION.
- GROUP PLANTINGS, MINIMUM OF 12 PLUGS PER SPECIES GROUPING.

BF	72	<b>BLUE FLAG IRIS</b> <i>Iris versicolor</i>	PLUG
SG	72	<b>SHENANDOAH SWITCH GRASS</b> <i>Panicum virgatum 'Shenandoah'</i>	PLUG
WC	72	<b>WHITE CONEFLOWER</b> <i>Echinacea purpurea alba</i>	PLUG
LB	72	<b>LITTLE BLUE STEM</b> <i>Schizachyrium scoparium</i>	PLUG
PB	72	<b>PRAIRIE BLAZINGSTAR</b> <i>Liatris ligulistylis</i>	PLUG
PC	72	<b>PURPLE CONEFLOWER</b> <i>Echinacea purpurea</i>	PLUG
PD	72	<b>PRAIRIE DROPS EED</b> <i>Sporobolus heterolepis</i>	PLUG
NA	72	<b>NEW ENGLAND ASTER</b> <i>Aster novae-angliae</i>	PLUG
JB	72	<b>JOHNSON'S BLUE GERANIUM</b> <i>Geranium x 'Johnson's Blue'</i>	PLUG
EB	72	<b>ELIJAH BLUE FESCUE</b> <i>Festuca ovina 'Elijah Blue'</i>	PLUG

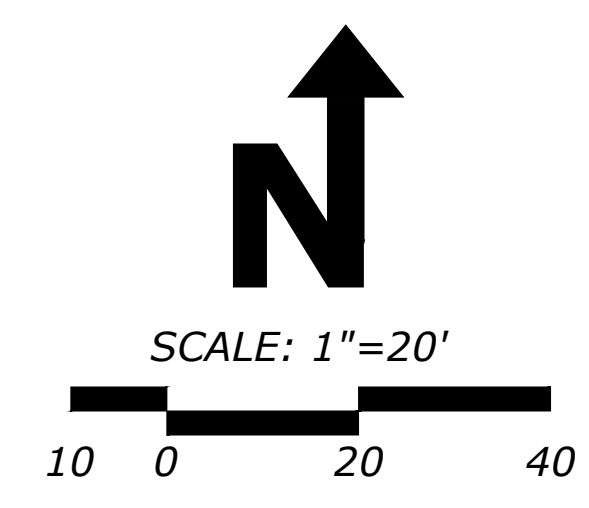
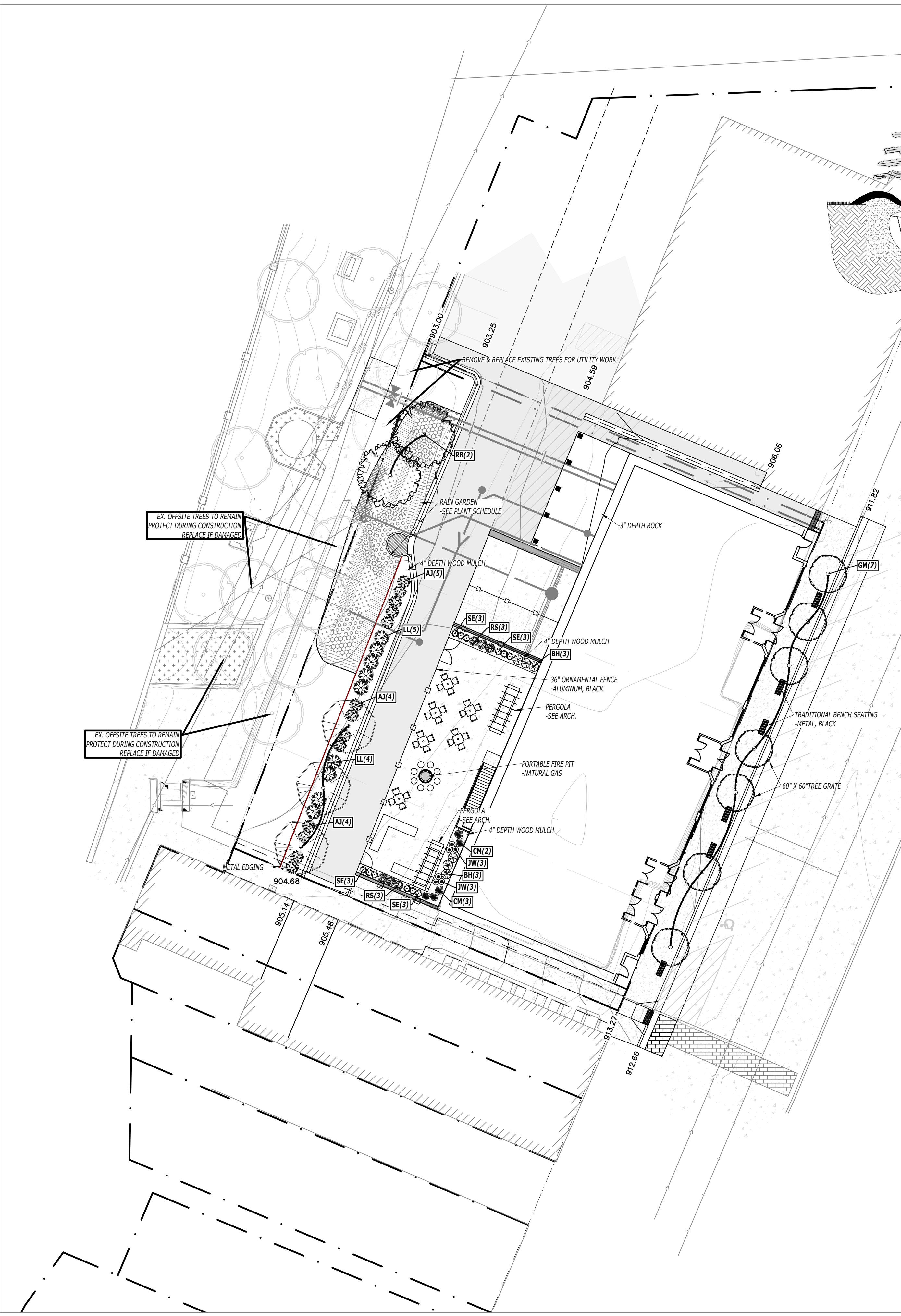


**LANDSCAPE REQUIREMENTS**

- ONE (1) STREET TREE PER 40' OF FRONTAGE
- 170' OF FRONTAGE = 5 TREES REQUIRED

**LANDSCAPE NOTES:**

- CONTRACTOR TO HAVE ALL UTILITIES ON SITE VERIFIED AND MARKED BEFORE STARTING WORK.
- CONTRACTOR IS LIABLE FOR ANY DAMAGE TO EXISTING UTILITIES ON SITE AND RESPONSIBLE FOR THE COSTS ASSOCIATED WITH REPAIRING/REPLACING DAMAGE.
- CONTRACTOR IS LIABLE FOR ALL DAMAGE RELATED TO CONTRACTORS ACTIVITY ON SITE AND RESPONSIBLE FOR THE COSTS ASSOCIATED WITH REPAIRING/REPLACING DAMAGE.
- OBTAIN ALL NECESSARY PERMITS FOR PLANTING IN ALL RIGHT-OF-WAY.
- COMPLETE WORK PER OWNERS CONSTRUCTION SCHEDULE AND COORDINATE WORK WITH OTHERS ON SITE.
- PLANT MATERIAL SHALL COMPLY WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND BE FREE OF DISEASE AND DAMAGE.
- ALL PLANT MATERIALS TO BE WARRANTIED ONE (1) FULL YEAR FROM THE COMPLETION AND ACCEPTANCE BY OWNER, WITH ONE TIME REPLACEMENT.
- WATER AND MAINTAIN ALL PLANT MATERIALS UNTIL ACCEPTED BY OWNER.
- IF THERE IS A DISCREPANCY BETWEEN THE QUANTITY OF PLANTS SHOW ON THE PLAN COMPARED TO THE PLANT LEGEND, THE PLAN TAKES PRECEDENCE.
- ALL AREAS DISTURBED DURING CONSTRUCTION TO RECEIVE 6" OF TOPSOIL AND SOD UNLESS OTHERWISE SPECIFIED ON PLANS.
- VERIFY TOPSOIL DEPTH AND NOTIFY OWNER OF ANY DEFICIENCY.
- REPLACEMENT TOPSOIL SHOULD BE CLEAN, FREE OF DEBRIS, SHARP OBJECTS, ROCKS AND WEEDS.
- ALL AREAS TO BE LANDSCAPED AND SODDED SHALL BE GRADED SMOOTH AND EVEN.
- SOD TO BE A KENTUCKY BLUEGRASS SEED VARIETY.
- NO GUARANTEE ON SOD EXCEPT SOD THAT IS NOT ACCEPTABLE AT TIME OF INSTALLATION.
- STAKE SOD ON SLOPES 3:1 AND GREATER.
- PROVIDE BLANKET ON ALL SEEDED AREAS THAT ARE SLOPED. MULCH APPLICATION FOR ALL OTHER SEEDED AREAS SHALL BE HYDROMULCH OR DISCED STRAW DEPENDING ON SEED TYPE.
- INSTALL BLACK METAL EDGING AROUND ALL PLANTING BEDS AS SHOWN ON PLAN.
- MULCH TO BE FINELY SHREDDED, UNDYED, HARDWOOD ORGANIC MULCH INSTALLED TO 4" DEPTH.
- NO WEED FABRIC BARRIER BENEATH ORGANIC MULCHES.
- TREES SHALL HAVE MULCH PULLED BACK 2" FROM BASE OF TRUNK.
- NO EDGING AROUND TREES OUTSIDE OF SHRUB BEDS.
- ROCK MULCH SHALL BE 1-1/2" DIAMETER WASHED RIVER ROCK INSTALLED TO 3" DEPTH WITH APPROVED WEED FABRIC BARRIER.
- SWEEP AND MAINTAIN ALL PAVEMENT AREAS AFTER LANDSCAPE INSTALLATION IS COMPLETE AND ACCEPTED BY OWNER, DAILY CLEANING TO BE COMPLETED IF REQUIRED BY THE MUNICIPALITY.



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: NOT FOR CONSTRUCTION JOSHUA D. WILDT  
Expiration: 06-30-2026

License #: 57650  
Date: 04-20-2026

PROJECT MANAGER  
JOSH

DRAWN BY  
L + J

PROJECT NAME  
ARCHER HOUSE

NORTHFIELD  
MINNESOTA

ISSUE LOG  
04-20-2026 SUBMITTAL

PROJECT NUMBER

SHEET TITLE

**GROUND COVER PLAN**

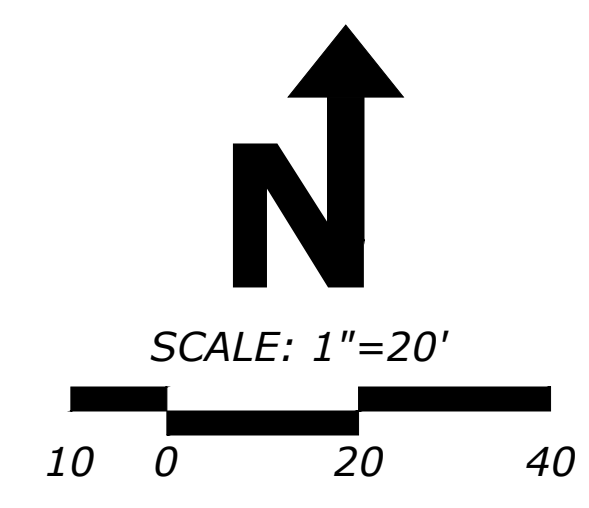
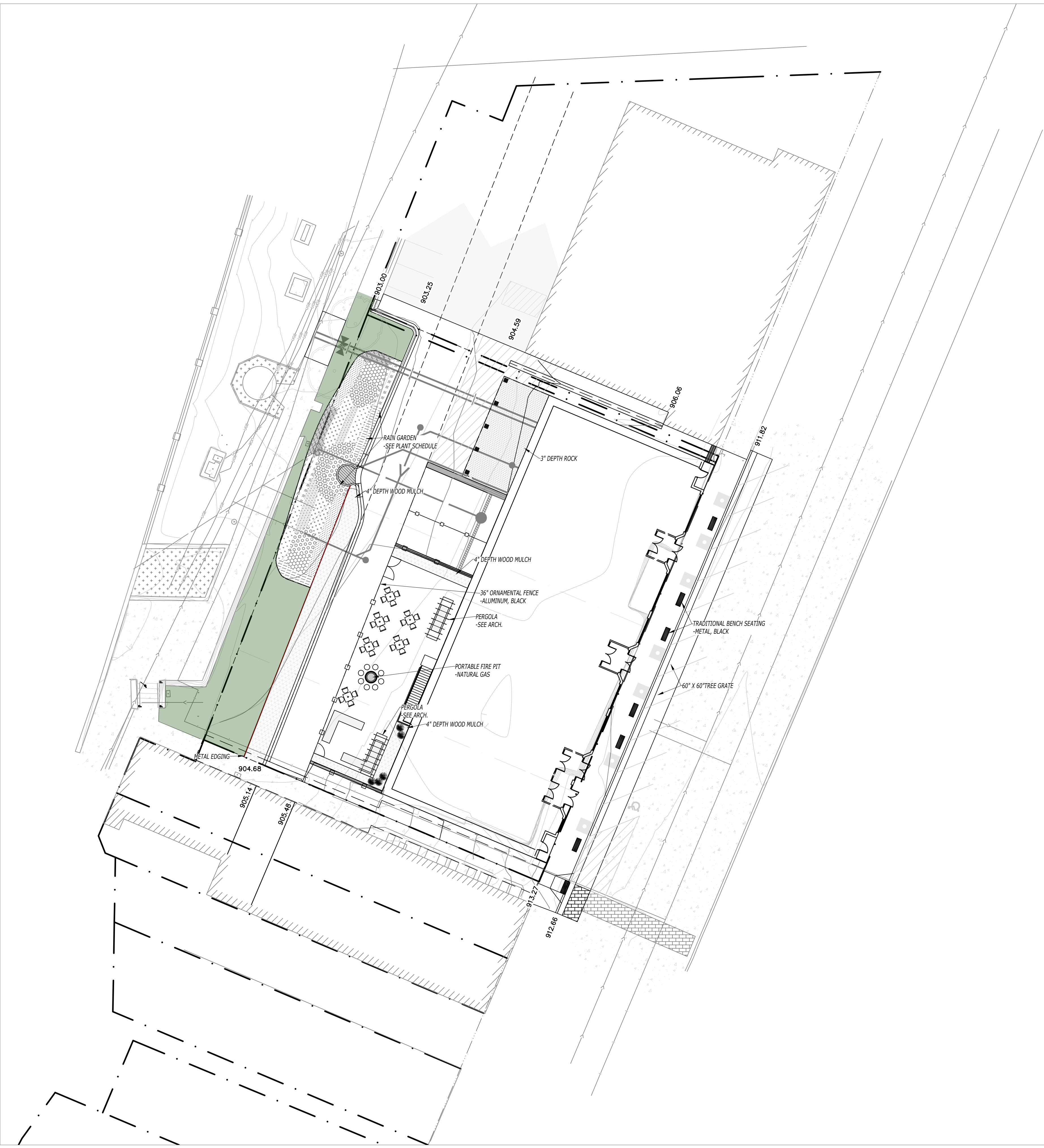
SHEET NUMBER

**L102**

GROUND COVER			
-- SY		MNDOT SEED MIX 25-131 - LOW MAINTENANCE TURF (OR APPROVED ALTERNATE).	
-- CY		UNDYED HARDWOOD MULCH	
-- CY		1-1/2" ROCK MULCH	
-- LF		METAL EDGING	
RAIN GARDEN NOTES: NATIVE PLANTS, PLANTING AND TRANSPLANTING			
<ul style="list-style-type: none"> <li>NATIVE PLANTING NOT TO BEGIN UNTIL PLANTING AREAS HAVE BEEN AMENDED AND PREPARED.</li> <li>PLANTING BEDS TO BE FREE FROM ALL WEEDS AND INVASIVE PLANT SPECIES.</li> <li>PLANT MATERIAL TO BE SPACED 18" O.C.</li> <li>ALL PLANT MATERIAL TO BE THOROUGHLY WATERED UPON INSTALLATION.</li> <li>GROUP PLANTINGS, MINIMUM OF 12 PLUGS PER SPECIES GROUPING.</li> </ul>			
BF 72		<b>BLUE FLAG IRIS</b> <i>Iris versicolor</i>	PLUG
SG 72		<b>SHENANDOAH SWITCH GRASS</b> <i>Panicum virgatum 'Shenandoah'</i>	PLUG
WC 72		<b>WHITE CONEFLOWER</b> <i>Echinacea purpurea alba</i>	PLUG
LB 72		<b>LITTLE BLUE STEM</b> <i>Schizachyrium scoparium</i>	PLUG
PB 72		<b>PRAIRIE BLAZINGSTAR</b> <i>Liatris ligulistylis</i>	PLUG
PC 72		<b>PURPLE CONEFLOWER</b> <i>Echinacea purpurea</i>	PLUG
PD 72		<b>PRAIRIE DROPSEED</b> <i>Sporobolus heterolepis</i>	PLUG
NA 72		<b>NEW ENGLAND ASTER</b> <i>Aster novae-angliae</i>	PLUG
JB 72		<b>JOHNSON'S BLUE GERANIUM</b> <i>Geranium x 'Johnson's Blue'</i>	PLUG
EB 72		<b>ELIJAH BLUE FESCUE</b> <i>Festuca ovina 'Elijah Blue'</i>	PLUG

**IRRIGATION NOTES:**

- IRRIGATE ENTIRE SITE, DESIGN SHOULD ENCOMPASS ALL LANDSCAPE AREAS WITH SOD AND PLANTINGS.
- MINIMIZE OVERSPRAY ON BUILDINGS AND PAVEMENT.
- DRIP IRRIGATION TO BE PROVIDED FOR ALL LANDSCAPE BEDS.
- CONTRACTOR TO REVIEW MECHANICAL AND ELECTRICAL PLANS FOR WATER STUB OUT AND ELECTRICAL LOCATIONS.
- CONTRACTOR TO VERIFY WATER STUB OUT SIZE IS SUFFICIENT, NOTIFY OWNER OF ANY DEFICIENCY.
- CONTRACTOR TO VERIFY CONTROLLER LOCATION WITH OWNER BEFORE INSTALLATION.
- RPZ BACKFLOW PREVENTER TO BE USED AT WATER STUB OUT.
- PREFERRED CONTROLLER SHOULD BE A WATERSENSE WEATHER BASED IRRIGATION CONTROLLER (WBIC).
- CONTRACTOR TO HAVE ALL UTILITIES ON SITE VERIFIED AND MARKED BEFORE STARTING WORK.
- CONTRACTOR IS LIABLE FOR ANY DAMAGE TO EXISTING UTILITIES ON SITE AND RESPONSIBLE FOR THE COSTS ASSOCIATED WITH REPAIRING/REPLACING DAMAGE.
- CONTRACTOR TO COORDINATE WITH GENERAL CONTRACTOR IN ORDER TO PROVIDE ALL PVC SLEEVES AT A DEPTH OF 2'-0" BELOW FINISHED GRADE. MARK LOCATIONS OF PLACED PVC SLEEVES.
- CONTRACTOR TO PLACE MAIN LINES MINIMUM 1'-6" BELOW FINISH GRADE, LATERAL LINES MINIMUM 1'-0" BELOW FINISH GRADE.
- WIRES TO BE MINIMUM 16 AWG SOLID COPPER. SPLICE ONLY AT BOXES WITH MOISTURE RATED CONNECTORS.
- VALVES BOXES AND COVERS SHOULD BE BEST COLOR TO MATCH WITH SURROUNDING LANDSCAPE.
- BOXES TO BE SET ON A BASE OF 3" MINIMUM DEPTH 3/4" CLEAR GRAVEL.
- PLACE BOXES IN LANDSCAPE BEDS WHEN POSSIBLE.
- TRENCH BACKFILL TO BE CLEAN, FREE OF DEBRIS, SHARP OBJECTS AND ROCKS.
- CONTRACTOR TO PROVIDE AS-BUILT DRAWINGS TO OWNERS UPON COMPLETION OF WORK.



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.  
 SIGNATURE: NOT FOR CONSTRUCTION JOSHUA D. WILDT  
 Expiration: 06-30-2026

License #: 57650  
 Date: 04-20-2026

PROJECT MANAGER  
JOSH

DRAWN BY  
L + J

PROJECT NAME  
ARCHER HOUSE

NORTHFIELD MINNESOTA

ISSUE LOG  
 04-20-2026 SUBMITAL

PROJECT NUMBER

SHEET TITLE

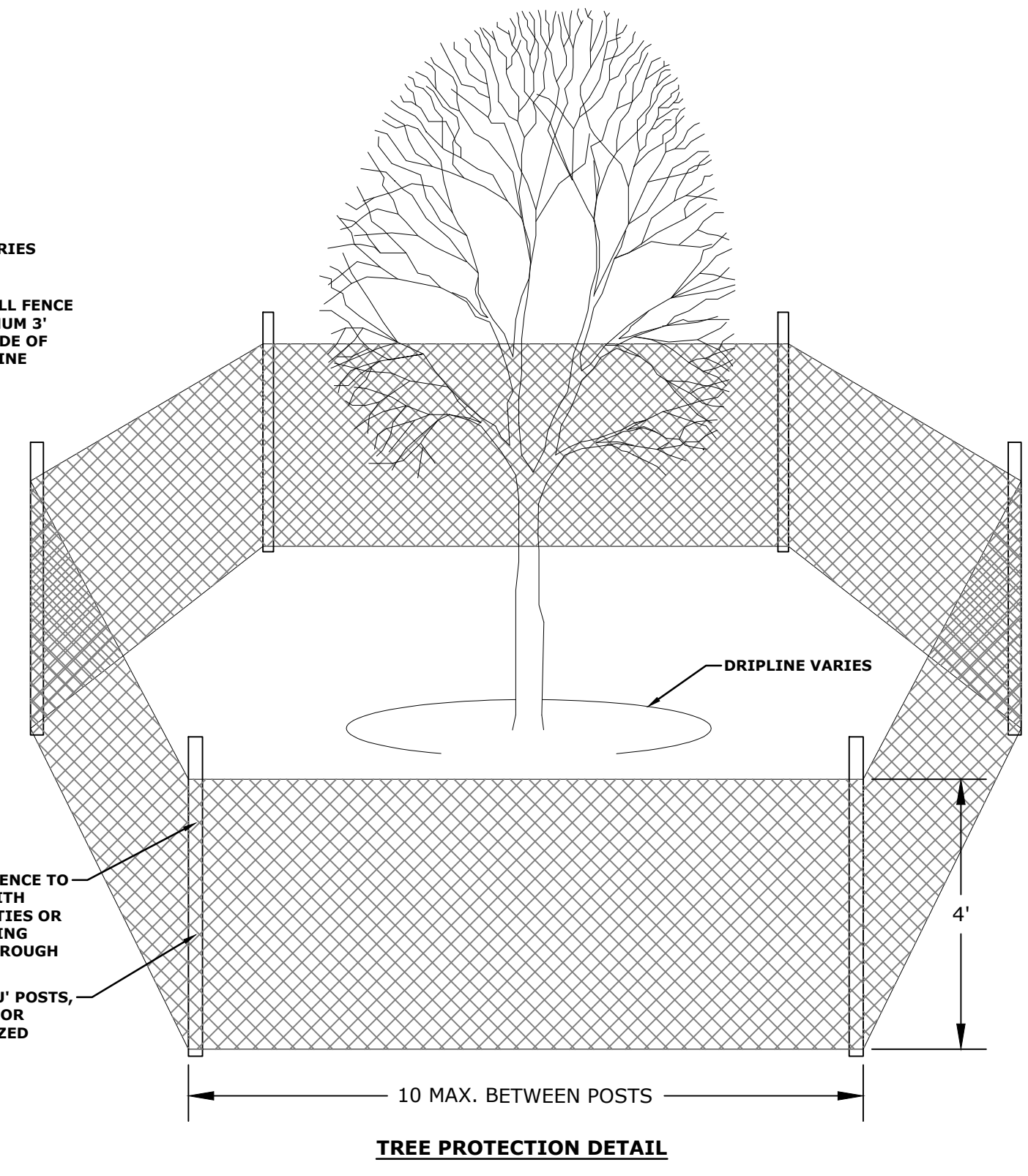
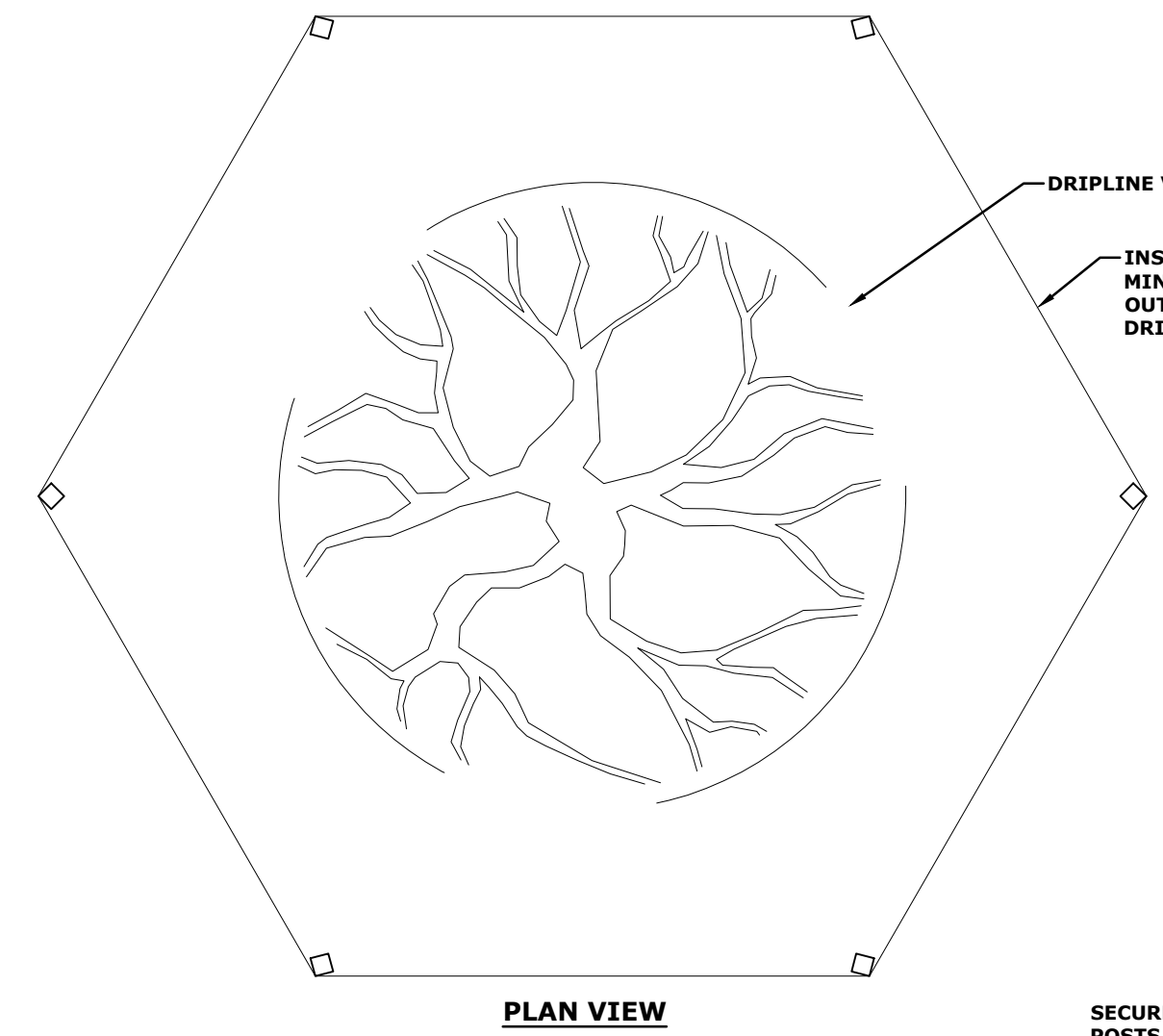
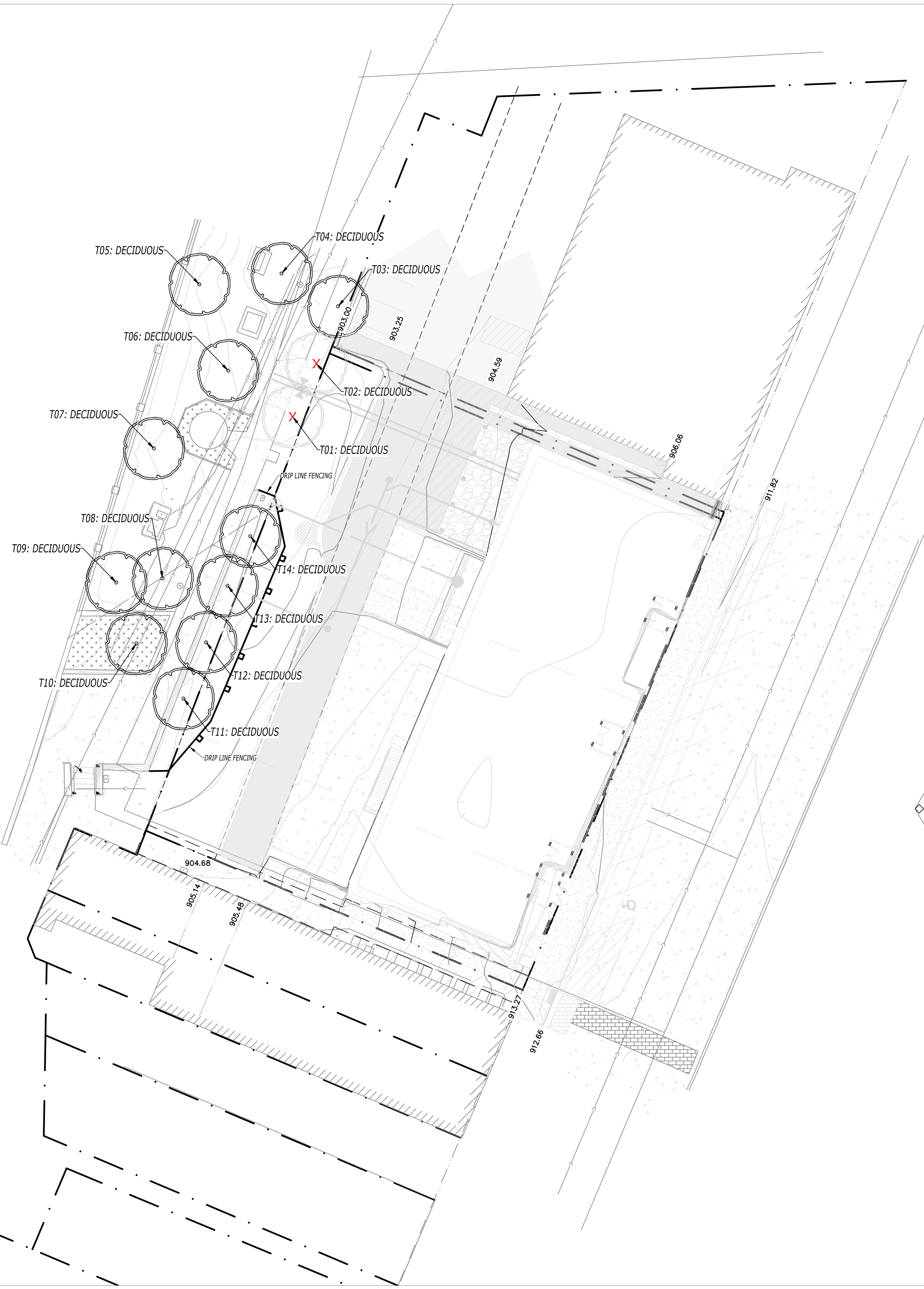
**TREE REMOVAL PLAN**

SHEET NUMBER

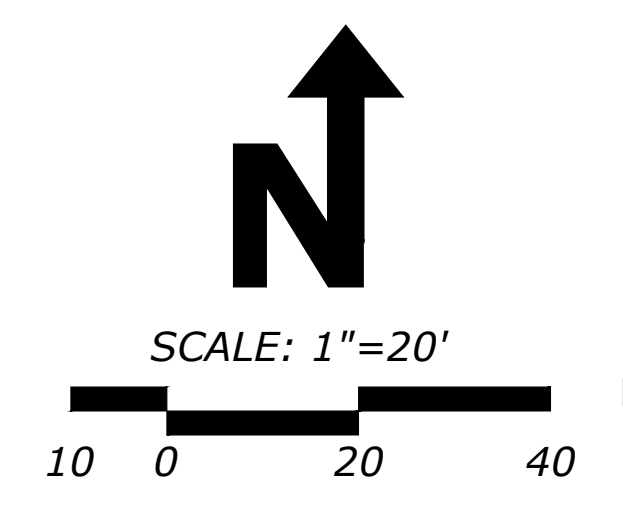
**L103**

**EXISTING TREE LEGEND**

ID#	SPECIES	STATUS
T01	DECIDUOUS TREE	REMOVE
T02	DECIDUOUS TREE	REMOVE
T03	DECIDUOUS TREE	REMAIN
T04	DECIDUOUS TREE	REMAIN
T05	DECIDUOUS TREE	REMAIN
T06	DECIDUOUS TREE	REMAIN
T07	DECIDUOUS TREE	REMAIN
T08	DECIDUOUS TREE	REMAIN
T09	DECIDUOUS TREE	REMAIN
T10	DECIDUOUS TREE	REMAIN
T11	DECIDUOUS TREE	REMAIN
T12	DECIDUOUS TREE	REMAIN
T13	DECIDUOUS TREE	REMAIN
T14	DECIDUOUS TREE	REMAIN



- NOTES:**
- FENCE SHALL BE INSTALLED ACCORDING TO PLANS BEFORE ANY WORK BEGINS ON SITE.
  - FENCE MAY BE RELOCATED WITH APPROVAL FROM THE LANDSCAPE ARCHITECT OR ENGINEER.
  - ALL FENCE SHALL BE MAINTAINED FOR THE DURATION OF WORK ON SITE.
  - CONTRACTOR SHALL NOT PARK VEHICLES, EQUIPMENT OR OTHER TEMPORARY FACILITIES IN TREE PROTECTION ZONES.
  - CONTRACTOR SHALL NOT STORE MATERIALS, SUPPLIES OR STOCKPILES IN TREE PROTECTION ZONES.
  - ANY EXPOSED ROOTS FROM GRADING PROCESS SHALL BE CLEANLY CUT.



**NOTES:**

- ALL DIMENSIONS SHOWN ARE TO FLOW LINE, CENTERLINE OF FENCE, EDGE OF PAVEMENT, OR EXTERIOR FACE OF BUILDING, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL VERIFY ALL PLAN AND DETAIL DIMENSIONS PRIOR TO CONSTRUCTION.
- ALL INTERIOR PARKING STALL STRIPING SHALL BE 4" AND YELLOW IN COLOR.
- ACCESSIBLE PARKING STALL STRIPING, ACCESS AISLE, SYMBOL, AND SIGNAGE SHALL BE IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.
- CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.
- ALL SITE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL PROVIDE A TEMPORARY PEDESTRIAN ACCESS ROUTE PLAN FOR ANY WORK PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY.
- CONTRACTOR SHALL PROVIDE A TEMPORARY TRAFFIC CONTROL PLAN FOR ANY WORK PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY.
- GOPHER STATE ONE CALL DAMAGE PREVENTION SYSTEM FOR BURIED UTILITIES. 1-800-252-1166. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO ASSIST WITH PRIVATE UTILITY LOCATES.

**SITE LEGEND**

- BITUMINOUS PAVEMENT
- CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- LANDSCAPE ROCK
- BRICK PAVERS
- CURB AND GUTTER
- RIBBON CURB
- RETAINING WALL
- TRAFFIC CONTROL SIGNAGE
- PAINTED DIRECTIONAL ARROW
- PAINTED ACCESSIBLE PARKING SYMBOL
- PROPOSED RIGHT OF WAY

**PROPERTY INFORMATION**

TOTAL PROPERTY AREA	0.56 AC
DISTURBED AREA	0.56 ±AC
EXISTING IMPERVIOUS AREA	0.560 AC
PROPOSED IMPERVIOUS AREA	0.440 AC
UNITS	54

**PARKING INFORMATION STREET**

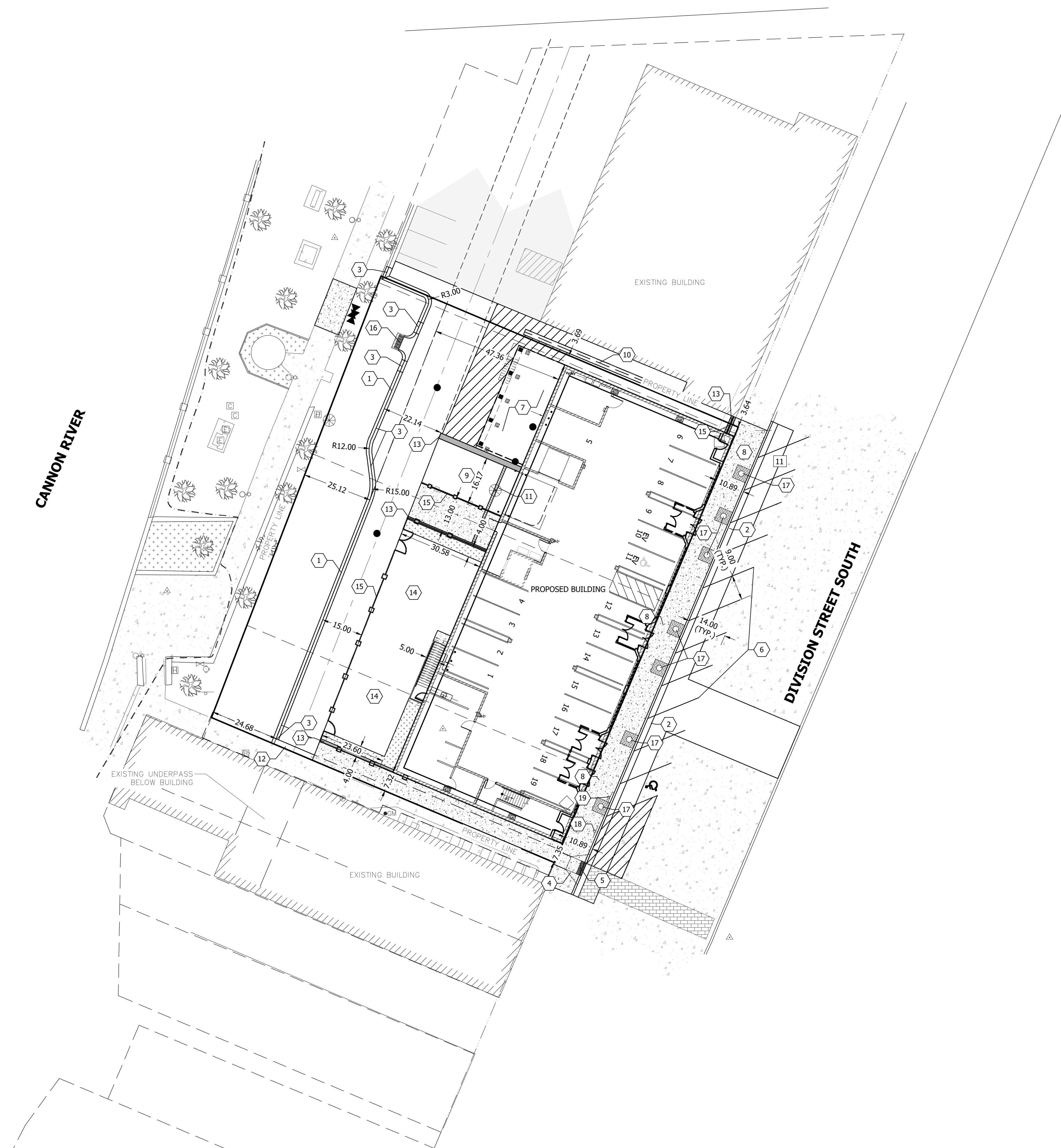
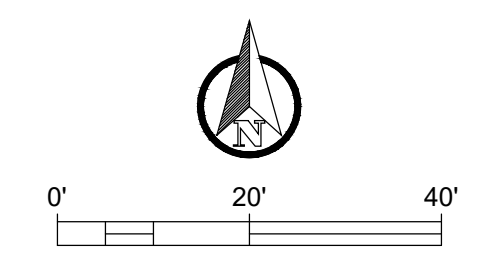
PARKING STALLS	10 STALLS
ACCESSIBLE STALLS	1 STALLS
TOTAL STALLS	11 STALLS

**PARKING INFORMATION UNDERGROUND GARAGE**

PARKING STALLS	18 STALLS
ACCESSIBLE STALLS	1 STALLS
TOTAL STALLS	19 STALLS

**KEY NOTES:**

- D4 MOUNTABLE CURB AND GUTTER
- B624 CURB AND GUTTER
- CURB TRANSITION
- ADA PEDESTRIAN RAMP (SEE DETAILS)
- TRUNCATED DOMES (SEE DETAILS)
- PARKING STRIPING
- DECK AREA (SEE ARCHITECTURAL)
- CONCRETE SIDEWALK
- CONCRETE PAVEMENT
- 2' WIDE CONCRETE VALLEY GUTTER
- CAST-IN-PLACE TRENCH DRAIN
- RIBBON CURB
- CAST-IN-PLACE CONCRETE RETAINING WALL
- OUTDOOR SEATING AREA (SEE LANDSCAPING)
- FENCING (SEE LANDSCAPING)
- RAIN GUARDIAN BUNKER (SEE DETAILS)
- TREE PLANTING WITH GRATES (SEE LANDSCAPING)
- "NO PARKING" SIGN & POST
- "ACCESSIBLE PARKING" SIGN & POST



**ARCHER HOUSE REDEVELOPMENT**  
 212 DIVISION STREET SOUTH NORTHFIELD, MN, 55053

**ISSUES / REVISIONS:**

05-22-2026: HPC

**SITE PLAN**

**C201**

DTE PROJECT NUMBER  
00026003

## EXHIBIT B

### FINDINGS OF FACT

The Northfield city ordinances outline in Chapter 34 – Land Development Code (LDC), Section 8.5.8 the Heritage Preservation Commission’s Certificate of Appropriateness process and approval criteria. The HPC shall consider the following in evaluating an application for a certificate of appropriateness for a zoning certificate and/or building permit. Criterion (A) below must be met and criteria (B) through (G) shall be considered:

Criteria A. For all applications, the proposed action fully complies with all applicable requirements of the LDC;

**Findings:** The proposed work complies with the LDC. The project is subject to a site plan review and compliance with the C1-B zoning district standards, has applied for a variance to the height limit established in the LDC, and a conditional use permit for proposed off-street parking. These procedures require approval of the project by the HPC.

Criteria B. That the proposed action is in harmony with the purpose of the H-O district for sites located in the H-O district;

**Findings:** The proposed action is in harmony with the intent of the H-O district. Within the LDC Section 2.5.3, Historic Overlay District (H-O) purpose is defined “(a) Safeguard the heritage of the city by preserving sites and structures which reflect elements of the city's cultural, social, economic, political, visual or architectural history; (b) Protect and enhance the city's appeal to residents, visitors and tourists and serve as a support and stimulus to business and industry; (c) Foster civic pride in the beauty and notable accomplishments of the past; and, (d) Promote the preservation and continued use of historic sites and structures for the education and general welfare of the people of the city.”

- a) The applicant is proposing a design of new construction which does not detract from the cultural, visual, and architectural history expressed in the district.
- b) The proposed development supports continued tourism and visitors to the district and surrounding neighborhoods.
- c) The proposed development will foster pride in the architectural heritage of the city by integrating contemporary construction with historic architecture.
- d) The proposed development promotes continued interest and investment in the district by redeveloping a vacant site in a manner appropriate for the historic context.

Criteria C. That the proposed action would complement other structures within the H-O district for sites located in the H-O district;

**Findings:** The changes will complement other structures within the H-O district, detailed assessment is included under Criterion D.

Criteria D. That the proposed action is consistent with the Downtown Preservation Design Guidelines for sites located in the H-O district, and consistent with the Secretary of the Interior's Standards for Treatment of Historic Properties for sites located within or outside the H-O district;

**Findings:**

The proposed new construction is consistent with the Downtown Preservation Design Guidelines and the Secretary of the Interior's Standards for the Treatment of Historic Properties. The proposed façade is compatible with the historic character of the district through its use of a traditional three-part façade composition, ground-floor storefront systems, recessed entries, vertically proportioned upper-story windows, brick and cast stone materials, and detailing such as arched openings, quoining, cornice expression, and articulated bays. These design elements reflect the proportions, rhythms, materials, color, and setback patterns found in the surrounding historic commercial district as identified in the Downtown Preservation Design Guidelines.

Consistent with the Secretary of the Interior's Standards, the design is differentiated from contributing historic buildings in the district through features such as the use of modern storefront assemblies, cast stone at the central bay, square window openings in portions of the façade, and shallower shadow lines associated with modern wall construction. These differences allow the building to read as new construction while remaining compatible with the historic materials, features, size, scale, proportion, and massing of the district's historic buildings. Because the project does not involve alterations to contributing buildings, it will not destroy historic materials or features, and could be removed in the future without impairing the essential form and integrity of the historic district.

Criteria E, Consideration should be given to the amount and quality of original material and design remaining in the building or structure when applying criteria, guidelines, and standards;

**Findings:** Not applicable.

Criteria F, For new construction, the building or addition should be compatible with: (i) scale, texture, materials, and other visual qualities of the surrounding buildings and neighborhoods; (ii) the height, width, depth, massing, and setback of the surrounding buildings; and (iii) the amount of solid wall to window and door openings, and the replacement of window and door openings, should be proportional to that of the surrounding buildings and neighborhood;

**Findings:**

(i) The proposed building is constructed with brick, cast stone, and contemporary aluminum storefront systems. These materials are compatible with the surrounding historic commercial district and are used to organize the façade into a distinct transparent base, articulated upper stories, and a defined parapet/cornice expression. The ground-floor storefront treatment, recessed tenant entries, brick detailing, quoining, arched upper-story openings, and cast stone central bay provide visual interest and decorative detailing that reflect the texture, materials, and traditional commercial character of surrounding buildings, while remaining distinguishable as new construction. The change in plane and material expression above the storefront level further reinforces a traditional base-middle-top composition and helps establish a datum that relates to the historic storefront, awning, and overhang patterns found elsewhere in the district.

(ii) The proposed development is a multi-story building with three primary façade components, consisting of two brick portions flanking a central cast stone portion. The building appears to

maintain the approximate zero-lot-line setback characteristic of the district and is similar in height to the adjacent Nutting Block, though slightly taller. Its width and massing are broken down through façade articulation, changes in material, and the rhythm of window bays, which help the larger new construction relate to the narrower façade rhythms of surrounding historic commercial buildings.

(iii) The proposed storefront system and upper-story window pattern are also compatible with the surrounding buildings and neighborhood. The ground-floor storefront openings create a transparent base similar to traditional downtown commercial buildings, while the upper-story windows are vertically proportioned and arranged in a regular rhythm. The amount of solid wall to window and door openings appears generally proportional to surrounding buildings in the district.

Criteria G, Consideration shall be given to clear cases of economic hardship or to deprivation of reasonable use of the owner's property.

**Findings:** The proposed project is a reasonable use of the owner's property.



the hall

Bagels Inc.

THE ARCHER HOUSE

THE DOWNTOWN DINER



WEST - CONCEPT RENDERING





the hall

Bagels Inc.

THE ARCHER HOUSE

THE DOWNTOWN DINER





## **Archer House Redevelopment Narrative**

### **Northfield, Minnesota**

#### **Project Description for City Review**

##### **Project Overview**

The proposed Archer House redevelopment is a mixed-use infill project located within downtown Northfield along the Cannon River. This development seeks to rebuild a historically significant site by introducing a vertically integrated program consisting of structured parking in the basement, active ground-floor commercial space with 3 tenants, and upper-level hotel accommodations.

The project is designed to support downtown vitality, enhance riverfront engagement, and align with Northfield's comprehensive planning goals related to economic development, tourism, walkability, and contextual urban design.

##### **Site Organization and Land Use**

The building program is organized to maximize efficient land use while maintaining compatibility with the surrounding urban fabric:

- **Below-Grade Parking Level**

A single level of below-grade structured parking is provided to accommodate hotel guests and associated uses. Locating parking below grade minimizes visual impact, reduces demand for surface parking allowing for riverfront engagement with a patio, and supports a pedestrian-oriented streetscape consistent with downtown planning objectives.

- **Ground Floor – Commercial and Lobby Uses**

The first floor is programmed with retail and commercial tenant spaces oriented toward the public right-of-way, creating active edges along the street frontage. These uses are intended to support local businesses, enhance the pedestrian experience, and welcome hotel guests in an inviting lobby. The hotel lobby and associated service areas are integrated into the ground floor plan, providing a clearly identifiable entry point differentiated from the stairwell egress. The lobby is designed to maintain transparency and visual connection to both the street and riverfront, reinforcing public engagement.

- **Upper Floors (Levels 2–4) – Boutique Hotel**

Levels two through four are dedicated to boutique hotel accommodations. The hotel program includes guest rooms, circulation, and accessory amenities typical of a limited-service or boutique lodging use. The scale of the hotel is consistent with

downtown development patterns and supports the City’s goal of expanding overnight lodging capacity within the core area and replacing the historic function of the site.

### **Building Design and Context**

The building massing, height, and façade articulation are designed to be compatible with the scale and character of downtown Northfield. The project incorporates materials, proportions, and fenestration patterns that reference the surrounding historic context while maintaining a contemporary architectural expression.

Primary entrances are oriented toward public streets, and façade transparency at the ground level is prioritized to promote visual interaction between interior uses and the public realm.

### **Circulation and Access**

Vehicular access to the below-grade parking is designed to minimize conflicts with pedestrian circulation and maintain efficient traffic flow. Loading and service functions are accommodated on-site and positioned to reduce impacts on public streets.

Pedestrian access is emphasized through direct connections to the sidewalk network and proximity to existing downtown amenities and riverwalk facilities.

### **Riverfront Integration**

Given its location adjacent to the Cannon River, the project incorporates design strategies that enhance visual and physical connectivity to the riverfront. Building orientation, window placement, and amenity spaces are configured to take advantage of river views while maintaining sensitivity to environmental considerations.

### **Consistency with Planning Objectives**

The redevelopment advances several key City objectives, including:

- Strengthening the downtown core as a mixed-use activity center
- Expanding lodging options to support tourism and economic development
- Promoting walkability and reducing reliance on surface parking
- Reinforcing active ground-floor uses along primary corridors
- Enhancing the relationship between built form and the Cannon River

## **Conclusion**

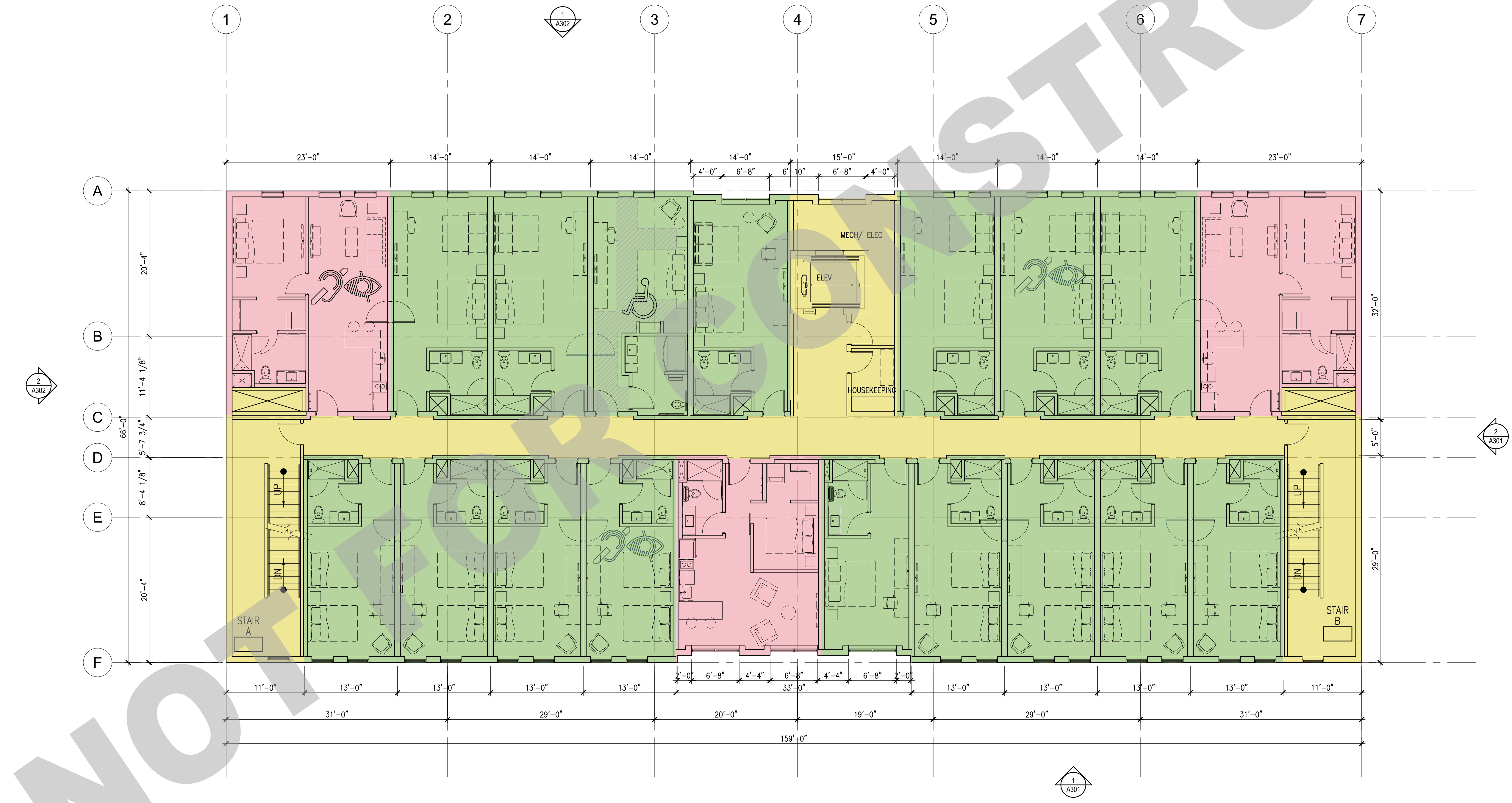
The Archer House redevelopment represents a context-sensitive infill project that leverages a prominent downtown location to deliver a balanced mix of uses historic to the site. By integrating below-grade parking, active commercial space, and upper-story lodging, the project supports long-term economic vitality while maintaining compatibility with Northfield's historic character and urban design goals.



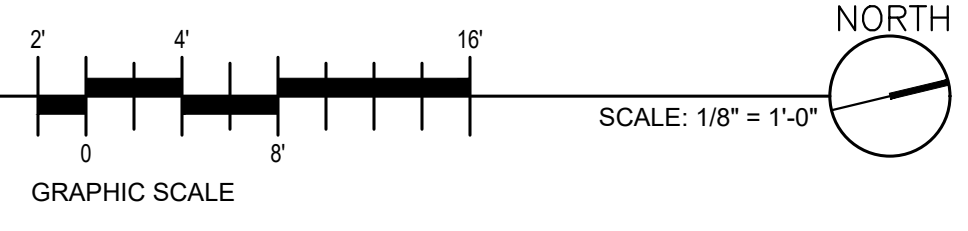


ISSUES / REVISIONS:

NO.	DESCRIPTION	DATE
1	SITE PLAN REVIEW	04.20.2026
2	HFC REVIEW	05.22.2026



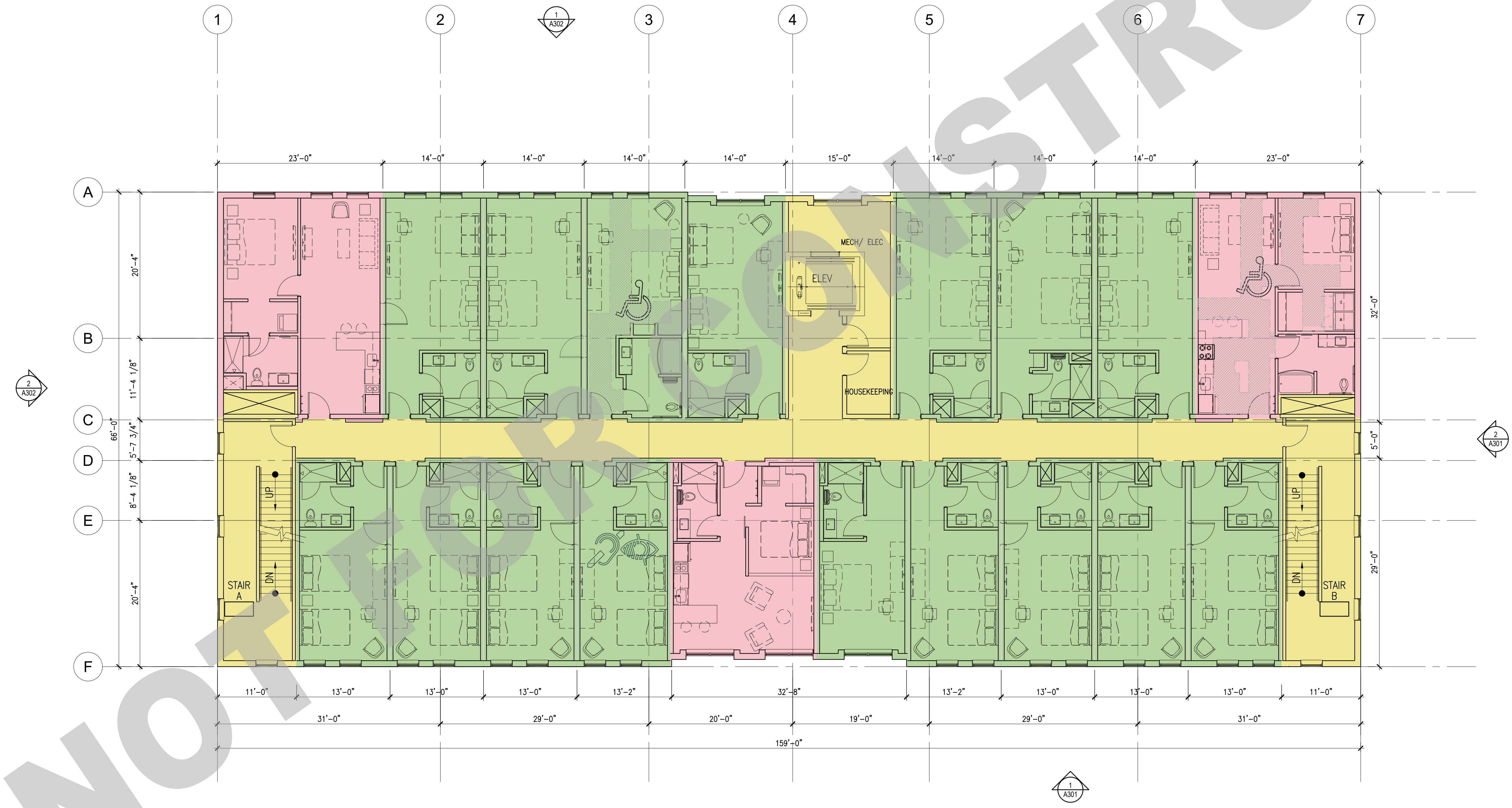
1 SECOND LEVEL FLOOR PLAN  
 A103



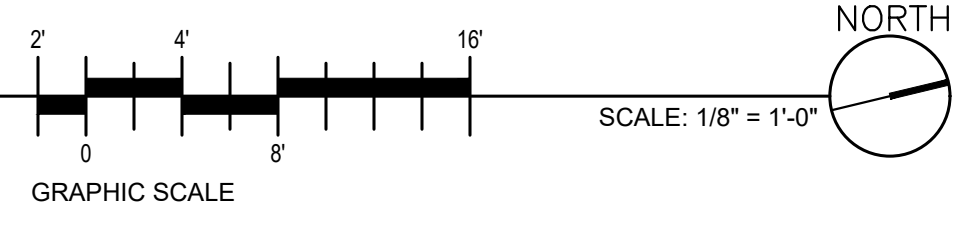
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ISSUES / REVISIONS:

NO.	DESCRIPTION	DATE
1	SITE PLAN REVIEW	04.20.2026
2	HPC REVIEW	05.22.2026



1 THIRD LEVEL FLOOR PLAN  
 A104

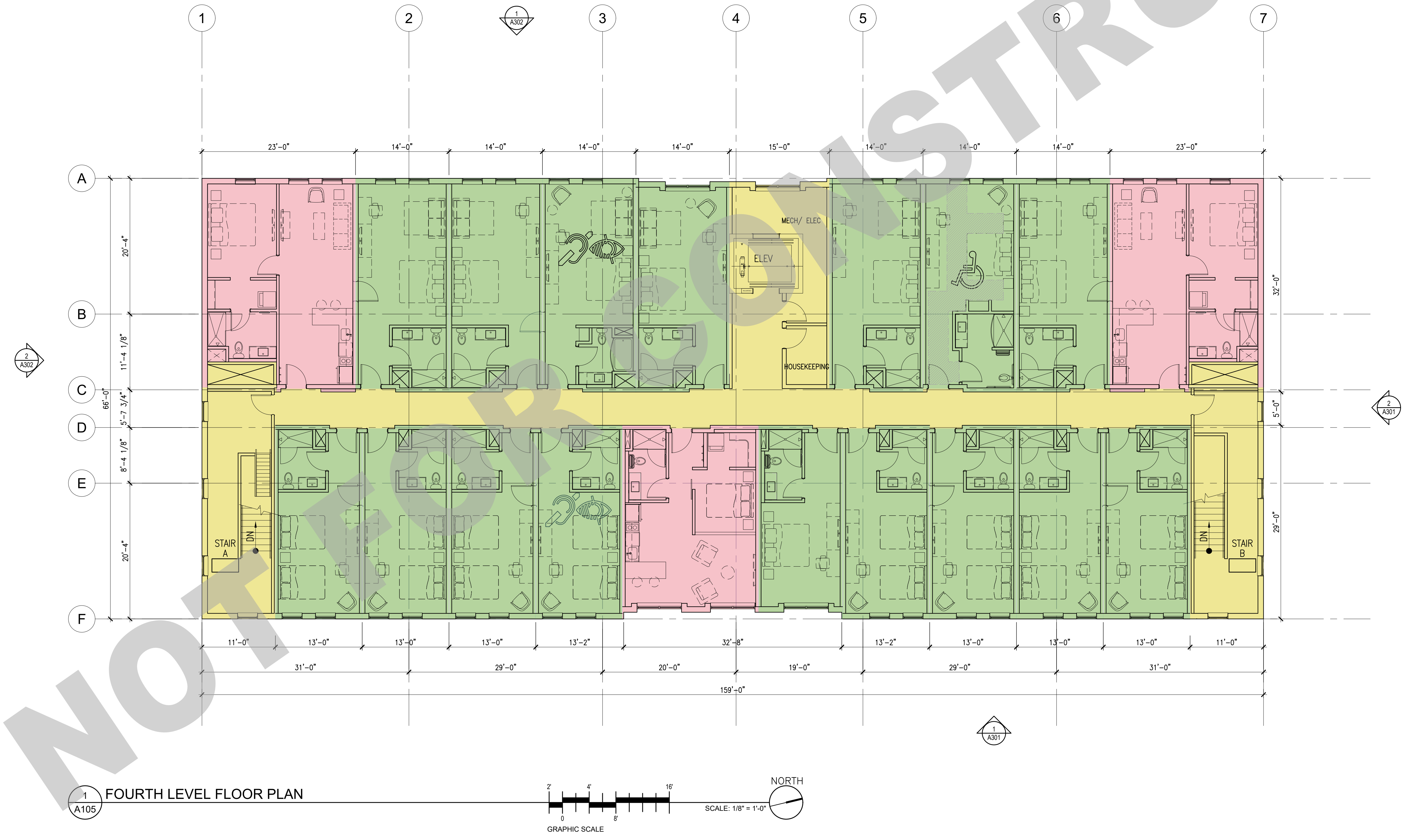


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NOT FOR CONSTRUCTION

ISSUES / REVISIONS:

NO.	DESCRIPTION	DATE
1	SITE PLAN REVIEW	04.20.2026
2	HFC REVIEW	05.22.2026



# NEW HISTORY

## MEMORANDUM

**Date:** May 15, 2026  
**To:** City of Northfield  
**Attn:** Scott Wopata, [scott.wopata@northfieldmn.gov](mailto:scott.wopata@northfieldmn.gov)  
**CC:** Mikayla Schmidt, [Mikayla.Schmidt@northfieldmn.gov](mailto:Mikayla.Schmidt@northfieldmn.gov)  
Mathias Hughey, [Mathias.Hughey@northfieldmn.gov](mailto:Mathias.Hughey@northfieldmn.gov)  
**Project:** Archer House Redevelopment  
Division Street South, Northfield, MN  
**Regarding:** Northfield Commercial Historic District Design Guidelines  
New History Project No.: 2026-C40-387  
**Written By:** Molly Burns, [burns@newhistory.com](mailto:burns@newhistory.com)  
Lauren Anderson, [anderson@newhistory.com](mailto:anderson@newhistory.com)  
Meghan Elliott, [elliott@newhistory.com](mailto:elliott@newhistory.com)

We understand that a redevelopment project has been proposed at the former location of the Archer House at South Division Street, within the locally-designated Northfield Commercial Historic District. The district is also listed in the National Register of Historic Places in the areas of Architecture, Commerce, Industry and Community Planning and Development, with a period of significance of 1856 – 1966. At your request, the purposes of this memorandum are 1) to evaluate the proposed and revised project against the *City of Northfield Downtown Historic Preservation Design Guidelines* (the “design guidelines”) and the Secretary of the Interior’s *Standards for the Treatment of Historic Properties* (the “Standards”), which are used as development standards for buildings within the historic district (per Chapter 34, Article 3.2 of the Northfield City Code) and 2) to provide additional recommendations on changes to the design to meet the design guidelines and the Standards.

This memorandum is the third iteration of our evaluation and recommendations. Our initial memorandum, dated April 14, 2026, was based on concept renderings (undated, Amcon, Design Tree, Rebound) shared with our office on April 11, 2026. Subsequently, concepts were revised and presented to the Heritage Preservation Commission (HPC) Subcommittee on April 23, 2026. On May 4, 2026, we provided an updated memorandum with additional recommendations to meet the design guidelines and standards, based on these revised concepts. The revised concepts were shared with the full HPC on May 6, 2026. Following the HPC meeting, the project design was revised again. On May 13, 2026, representatives from the HPC Subcommittee, New History, Amcon, and Rebound met again to review this latest iteration of the design.

**Based on our analysis of the current design presented at the May 13, 2026 meeting, New History finds that the proposed new construction meets the local design guidelines and the Standards.** The purpose of this memorandum is to document our analysis of the current



design iteration against the design guidelines and Standards, and to document the additional recommendations of the HPC Subcommittee at the May 13, 2026 meeting.

Historic preservation is one of many factors that cities use to evaluate projects. This memo does not address other factors, such as economic development, social, or environmental benefits and impacts of the project, or compliance with the city zoning ordinance or building code. This evaluation is solely an assessment with respect to the design guidelines and Standards.

## Evaluation of Proposed Project

### Local Design Guidelines

Below, the project has been evaluated against each applicable guideline in the design guidelines for new downtown construction.

**1. Proportions of the Façade:** “The average height and width of the surrounding buildings determines a general set of proportions for an infill structure or the bays of a larger structure.” “The infill building should fill the entire space and reflect the characteristic rhythm of façades along the street. If the site is large, the mass of the facade can be broken into a number of smaller bays, to maintain a rhythm similar to the surrounding buildings.”

*Aspects of guideline met:*

- The façade is split into three components, consisting of two primary brick facades flanking a central stone façade.
- Each of the three main building components is divided into visual bays with the rhythm and spacing of windows.
- The height of proposed building is similar to, but slightly taller than, the adjacent historic building to the south (the Nutting Block at 220 Division Street South). Based on information presented in the May 13, 2026 meeting, the building will be five feet taller than the Nutting Block.

**2. Composition:** “The composition of the infill facade (that is, the organization of its parts) should be similar to that of surrounding façades. Rhythms that carry throughout the block (such as window spacing) should be incorporated into the new facade.”

*Aspects of guideline met:*

- The symmetrical window spacing is compatible with surrounding façades.
- The building has a three-part design (bottom-middle-top) that is also compatible with surrounding façades.

**3. Proportions of the Openings:** “The size and proportion of window and door openings of an infill building should be similar to those on surrounding façades. The same applies to the ratio of window area to solid wall for the facade as a whole.”

*Aspects of guideline met:*

- The storefront openings and rhythm at the primary façade are compatible with surrounding buildings, including the recessed entries to all tenant spaces.
- Based on information presented at the May 13, 2026 meeting, windows within proposed openings have similar proportions to windows of buildings in the historic district, generally, between a 2:1 and 2.5:1 ratio.
- A ratio of window area to solid wall has not been provided, but appears similar to other buildings within the district.

**4. Detailing.** “Infill architecture should reflect some of the detailing of surrounding buildings in window shapes, cornice lines, and brick work.”

*Aspects of guideline met:*

- The proposal includes arched windows at the upper level, which are found at other contributing buildings in the district.
- The central bay is articulated through subtle variations in the plane of the façade around the window openings, creating a vertical emphasis.
- The proposal includes brick detailing, including quoining at edges of front façade and cornice detailing at storefront, upper level, and parapets.

**5. Materials.** An infill facade should be composed of materials similar to adjacent facades. The new building should not stand out from the others.

*Aspects of guideline met:*

- The proposed brick and cast stone materials at the façade will allow the building to blend with others in the district.
- The building proposes variance in materials, similar to adjacent façades.

**6. Color.** “The colors chosen for an infill facade should relate to the building’s neighbors.”

*Aspects of guideline met:*

- The proposal uses red and neutral brick colors with a black aluminum storefront assembly, which are compatible with the adjacent contributing buildings.

**7. Building Setback.** “The new facade should be flush with its neighbors.”

*Aspects of guideline met:*

- The building appears to maintain the same approximate setback as adjoining buildings at the three main façade components.

## Secretary of the Interior's Standards<sup>1</sup>

Below, the project has been evaluated against each Standard that is applicable to new construction within a historic district.

**Standard 9.** “New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.”

### *Aspects of Standard met:*

- The proposed building does not destroy historical materials, features, or spatial relationships that characterize the historic district. It will not involve physical alteration to contributing buildings in the district, and it appears to be generally consistent with the approximate zero lot line setback of historical buildings in the district, thus maintaining the defining spatial relationship between the street-facing façades of contributing buildings and Division Street.
- The proposed design is differentiated from the historic buildings in the district in the following ways:
  - The amount of cast stone utilized at the center bay and the use of modern materials like aluminum storefronts
  - The square window openings at the center bay
  - The window openings appear to have shallower shadow lines, indicating more modern wall construction (as compared to traditional load-bearing masonry)
- These differences allow the building to read as recent construction and avoid creating a false sense of history.
- As noted in the sections above, the proposed design is compatible with the historic materials of contributing buildings in the district. It also appears to be compatible with district buildings in its size and scale.

**Standard 10.** New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

### *Aspects of Standard met:*

- Because the project does not involve alterations to contributing buildings in the district, it could be removed in the future without impact to the integrity of the historic district.

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<sup>1</sup> National Park Service, Technical Preservation Services, “The Secretary of the Interior's Standards for the Treatment of Historic Properties,” accessed December 12, 2024, <https://www.nps.gov/orgs/1739/secretary-standards-treatment-historic-properties.htm>.

## Additional HPC Subcommittee Recommendations

At the meeting on May 13, 2026, the HPC Subcommittee and City staff provided the following additional recommendations.

- Increase expression of separate bays at the first level, similar to the three bays that are expressed at the upper level. Specific recommendations included:
  - Carry the vertical bay emphasis established by the upper-level quoining down to the ground level through the use of brick detailing, variations in stone texture, or other vertical design elements.
  - Recess or otherwise differentiate the central bay at the first level in a manner generally consistent with setback depths found elsewhere in the historic district (approximately 1–2 feet).
  - Increase glazing between tenant entrances and associated storefronts to visually group storefront bays, reduce the amount of solid wall at the first level, and lessen the monolithic appearance of the ground-floor façade.
- The Subcommittee acknowledged prior city guidance encouraging the rear (riverfront) elevation to function as a primary façade. However, members also recommended that the rear façade reflect the generally simpler character of rear façades found on contributing buildings within the historic district, rather than directly replicating the design treatment of the primary street-facing elevation. Specific recommendations included:
  - Simplifying the upper-story window treatment by removing the arched detailing while retaining the cornice and horizontal banding.
  - Removing the herringbone brick panels at the central bay
- City staff recommended that the parapet extend continuously along the side elevations to fully screen rooftop mechanical equipment in accordance with code requirements. (This recommendation is beyond the scope of the historic design guidelines and Standards.)
- The subcommittee recommended additional detailing at the top of the central bay to further articulate the large wall expanse above the upper-level windows. Recommendations included incorporating rough-cut stone or similar masonry detailing.
- The Subcommittee recommended a tan color be utilized for brick panels beneath windows in the central bay at the primary façade.
- The Subcommittee and City staff recommended that no uplighting be installed.



Legislation Text

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**File #: 26-298, Version: 1**

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**Heritage Preservation Commission Meeting Date:** June 3, 2026

**To:** Members of the Heritage Preservation Commission

**From:** Mathias Hughey, Associate City Planner

Staff Updates.

**Action Requested:**

Staff provide updates to the Heritage Preservation Commission.

**Summary Report:**

City Council & Board/Commission Updates

- The upcoming agenda items list is attached for reference.
- The meeting schedule for the year is attached.

Zoning Code Update & Redesign

- Houseal Lavigne, the consultant working on the zoning code update, is summarizing all the feedback collected and working on preliminary recommendations.
- Zoning Code Update website is attached! Updates will be posted throughout the project.

Planning Applications & Related Updates

- See the hyperlink in the attachments for the City's Development Map.
- Staff continue to work with Post Consumer Brands on the Ames Mill Dam. The main discussion includes timeline of transferring ownership of the dam. The dam is part of our Downtown Historic District, so a certificate of appropriateness and Section 106 review will be required.

Minor COA Updates

- No minor COAs have been approved since the last meeting.

Training Opportunities

- The Maryland Department of Planning has free webinars on a variety of topics. Please see the link in the attachments to view and/or subscribe.
- The National Alliance for Preservation Commissions (NAPC) has webinars related to historic preservation. The city is a member and can share webinar links if there is interest.
- The NAPC is hosting their bi-annual conference in Minneapolis! Forum 2026 will be July 22-26. The city is an NAPC member and can review adding commissioners who may wish to attend who are interested. Please let Mathias know, scholarships are available to attend.

**Alternative Options:**

N/A

**Financial Impacts:**

N/A

**Tentative Timeline:**

N/A



# City of Northfield

## Upcoming Agenda Items

City Hall  
801 Washington Street  
Northfield, MN 55057  
northfieldmn.gov

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### City Council

#### Tuesday, June 9, 2026

**TMP 26-385** Presentation of the City of Northfield Annual Comprehensive Financial Report for the Year Ended December 31, 2025.

**Drafter:** Angelstad

**Notes:** #1 (30 min.); Abdo Presentation

**TMP 26-386** Review and Discussion of 5-year Capital Improvement Plan (CIP).

**Drafter:** Angelstad/Bennett

**Notes:** #2 (60 in.)

**TMP 26-387** Review and Discussion of 5-year Capital Equipment Plan (CEP).

**Drafter:** Angelstad/Bennett

**Notes:** #3 (30 min.)

#### Tuesday, June 16, 2026

**TMP 26-388** Consideration of Acceptance of the City of Northfield Annual Comprehensive Financial Report for the Year Ended December 31, 2025.

**Drafter:** Angelstad

**Notes:** consent

**TMP 26-282** Public Hearing Related to Charter Commission Proposed Ordinance Amending Section 4.1 of the Northfield City Charter.

**Drafter:** Martig

**Notes:** Public Hearing #1 (15 min.)

**TMP 26-431** Consider Resolution Authorizing Application to the Regional Parks and Trail Commission for Designation of "Cannon River Regional Parks" as a Greater MN Regional Park.

**Drafter:** Martig

**Notes:** consent

**TMP 26-483** Consideration of Summary Publication of Ordinance 1094 Related to the Vacation of the Drainage & Utility Easement within 2420 Bridgewater Ln.

**Drafter:** Schmidt

**Notes:** Consent

**TMP 26-487** Consider Motion Authorizing Submittal of Application for the Building Resilient Infrastructure and Communities (BRIC) Grant and Flood Mitigation Assistance Grant for Downtown Flood Improvements.

**Drafter:** Bennett

**Notes:** consent

**TMP 26-489** Consider Approving Disbursements totaling \$

**Drafter:** Grant

**Notes:** consent

**TMP 26-430** Consider Resolution Naming Cannon River Regional Park.

**Drafter:** Martig

**Notes:** consent

**TMP 26-457** Consider Resolution Accepting Bids and Awarding Contract for Northwest Area Water Tower Site.

**Drafter:** Wagner

**Notes:** Consent

**TMP 26-407** Consider Resolution Accepting Public Improvements and Approving Final Payment for the 2024 College Street and Water Street Areas Reconstruction Project (STR2024-A77).

**Drafter:** Simonson

**Notes:** Consent

**TMP 26-408** Consider Resolution Accepting Public Improvements and Approving Final Payment for the Jefferson Parkway West Mill and Overlay and Mill Towns State Trail Improvements Project (STR2024-A78).

**Drafter:** Simonson

**Notes:** Consent

**TMP 26-185** Consider Approval of Grant Contract Agreement with the State of Minnesota for Local Housing Trust Fund Grant (2025) in the Amount of \$150,000.

**Drafter:** Hanson

**Notes:** consent

**TMP 26-249** Consider Resolution Providing for the Issuance and Sale of General Obligation Street Reconstruction and Equipment Bonds, Series 2026A in

the Proposed Aggregate Principal Amount of \$4,440,000.

**Drafter:** Bennett

**Notes:** Regular #1 (15 min.)

**TMP 25-846**

Consider Resolution approving Contract with the State of Minnesota for the Reconstruction of the Mill Towns State Trail in Sechler Park.

**Drafter:** Bennett

**Notes:** consent

**TMP 26-003**

First Reading of Ordinance to Amend Chapter 34: Land Development Code: Article 5. Subdivision of Land. 5.26 Parks, Trails and Open Space Dedication Related to Park & Trail Dedication Fees.

**Drafter:** Schmidt

**Notes:** Regular #3 (20 min.)

**TMP 26-280**

Consider Ordinance Amending Section 4.1 of the Northfield City Charter (First Reading).

**Drafter:** Martig

**Notes:** Immediately After Public Hearing #1 (5 min.)

**TMP 26-482**

Consider Second Reading of Ordinance 1094 Vacating a Drainage and Utility Easement within 2420 Bridgewater Ln.

**Drafter:** Schmidt

**Notes:** Consent agenda - Placeholder

**TMP 26-484**

Consider Resolution Approving Modification to Central Business District Short Term Parking and Handicap Accessible Parking.

**Drafter:** Bennett

**Notes:** Regular #2 (15 min.)

**TMP 26-429**

Presentation and Review of Cannon River Regional Park Designation.

**Drafter:** Martig

**Notes:** Regular #4 (30 min.)

**TMP 26-151**

Consider Approval of Safe Streets and Roads for All (SS4A) Planning Grant with FHWA.

**Drafter:** Bennett

**Notes:** Consent

**TMP 26-319**

Reports From the Mayor and Council Members.

**Drafter:** Martig

**Notes:** update

**TMP 26-139** City Administrator's Update.

**Drafter:** Martig

**Notes:** update

**TMP 25-955** City Administrator's Update.

**Drafter:** Martig

**Notes:** update

**TMP 25-894** Presentation from the Convention and Visitors Bureau.

**Drafter:** Martig

**Notes:** Presentation #1 (10 min.); confirmed 05/04/26

**TMP 25-889** Northfield Historical Society Annual Presentation.

**Drafter:** Martig

**Notes:** Presentation #2 (10 min.); confirmed 05/01/26

**TMP 25-753** Consider Approval of June 2, 2026 City Council Meeting Minutes.

**Drafter:** Peterson

**Notes:** consent

**TMP 25-754** Consider Approval of June 9, 2026 City Council Work Session Minutes.

**Drafter:** Peterson

**Notes:** consent

**Tuesday, July 7, 2026**

**TMP 26-284** Consider Summary Publication of Ordinance No. XXXX Amending Section 4.1 of the Northfield City Charter.

**Drafter:** Peterson

**Notes:** Regular #\_\_ (\_\_min.)

**TMP 26-006** Summary Publication Notice for the Text Amendment to Park Dedication Fees.

**Drafter:** Schmidt

**Notes:** consent

**TMP 26-348** Consider Motion Approving Safe Streets 4 All (SS4A) Grant Agreement.

**Drafter:** Simonson

**Notes:** Regular #\_\_ (20 mins.)

**TMP 26-465** Consideration of Approval of Professional Services Contract with Engineering Firm for the Wastewater Treatment Plant Pretreatment, Primary and Generator Project.

**TMP 26-472** Consideration of a Conditional Use Permit for Off-Street Parking at 212 Division St. S.

**TMP 26-498** Approve the Northfield Fire Relief Association request for fire relief pension benefits

**Drafter:** Martig

**Notes:** consent

**TMP 26-331** Consider Approval of Updated Economic Development Authority (EDA) Enabling Resolution.

**Drafter:** Martig

**Notes:** consent

**TMP 26-281** Consider Ordinance Amending Section 4.1 of the Northfield City Charter (Second Reading).

**Drafter:** Martig

**Notes:** Regular #\_\_ (5 min.)

**TMP 26-005** Second Reading of Ordinance to Amend the Text Related to Park & Trail Dedication Fees.

**Drafter:** Schmidt

**Notes:** Consent

**TMP 26-140** City Administrator's Update.

**Drafter:** Martig

**Notes:** update

**TMP 25-986** Reports From the Mayor and Council Members.

**Drafter:** Martig

**Notes:** update

**TMP 25-755** Consider Approval of June 16, 2026 City Council Meeting Minutes.

**Drafter:** Peterson

**Notes:** consent

Tuesday, July 14, 2026

- TMP 26-290** Discussion on Organized Curbside Compost.  
**Drafter:** Bennett  
**Notes:** Work Session #1 (\_\_ min.)
- TMP 26-389** 2027-2028 Budget Worksession.
- TMP 26-173** Review of Proposed 2027-2028 HRA Budget and HRA Levy.  
**Drafter:** Hanson  
**Notes:** Regular #4 (45 min)
- TMP 25-886** Review Fee Schedule Changes effective January 1, 2027.  
**Drafter:** Peterson  
**Notes:** #\_\_ (20 min.)

Tuesday, July 21, 2026

- TMP 25-887** Consider Approval of Temporary Liquor Licenses for the Defeat of Jesse James Days Committee.  
**Drafter:** Peterson  
**Notes:** consent
- TMP 25-647** Consider approval of agreement with Post Consumer Brands. for Ames Mill Dam Ownership Transfer to the City of Northfield.  
**Drafter:** Bennett  
**Notes:** Regular #\_\_ (15 min.)
- TMP 26-413** Consider Approval of Agreement with MnDOT for Railroad Crossing Signal Improvement at Third Street, Second Street, and St. Olaf Avenue.  
**Drafter:** david.bennett@ci.northfield.mn.us
- TMP 26-477** Consider Resolution Providing for the Issuance and Sale of \$\_\_\_\_\_ General Obligation Street Reconstruction and Equipment Bonds, Series 2026A.
- TMP 26-179** Consider Approval of Sale of Property at 1600 Riverview Ln by Northfield Hospital + Clinics.  
**Drafter:** Bennett  
**Notes:** #1 Immediately Following Public Hearing #1 (5 min.)
- TMP 26-177** Public Hearing on Sale of Property in at 1600 Riverview Ln (Northfield Hospital + Clinics)

**Drafter:** Bennett

**Notes:** Public Hearing #1 (5 min.)

**TMP 26-141**

City Administrator's Update.

**Drafter:** Martig

**Notes:** update

**TMP 25-893**

Age Friendly Northfield (AFN) Mid-Year Presentation.

**Drafter:** Martig

**Notes:** Presentation #\_\_ (10 min.); confirmed 5/4/26

**TMP 25-768**

Consider Approval of July 7, 2026 City Council Meeting Minutes.

**Drafter:** Peterson

**Notes:** consent

**TMP 25-769**

Consider Approval of July 14, 2026 City Council Work Session Minutes.

**Drafter:** Peterson

**Notes:** consent

Board/Commission	Meeting Date
Heritage Preservation Commission (HPC)	Wednesday, January 7, 2026
Charter Commission	Thursday, January 8, 2026
Housing and Redevelopment Authority (HRA) Work Session	Tuesday, January 13, 2026
Library Board	Wednesday, January 14, 2026
Northfield Area Fire and Rescue Services	Thursday, January 15, 2026
Planning Commission (PC)	Thursday, January 15, 2026
Environmental Quality Commission (EQC)	Wednesday, January 21, 2026
Hospital Board	Thursday, January 22, 2026
Economic Development Authority (EDA)	Monday, January 26, 2026
Heritage Preservation Commission (HPC)	Wednesday, February 4, 2026
Housing and Redevelopment Authority (HRA)	Tuesday, February 17, 2026
Environmental Quality Commission (EQC)	Wednesday, February 18, 2026
Northfield Area Fire and Rescue Services	Thursday, February 19, 2026
Planning Commission (PC)	Thursday, February 19, 2026
Economic Development Authority (EDA)	Monday, February 23, 2026
Human Rights Commission (HRC)	Wednesday, February 25, 2026
Hospital Board	Thursday, February 26, 2026
Heritage Preservation Commission (HPC)	Wednesday, March 4, 2026
Housing and Redevelopment Authority (HRA) Work Session	Tuesday, March 10, 2026
Library Board	Wednesday, March 11, 2026
Charter Commission	Thursday, March 12, 2026
Environmental Quality Commission (EQC)	Wednesday, March 18, 2026
Northfield Area Fire and Rescue Services	Thursday, March 19, 2026
Planning Commission (PC)	Thursday, March 19, 2026
Economic Development Authority (EDA)	Monday, March 23, 2026
Hospital Board	Thursday, March 26, 2026
Heritage Preservation Commission (HPC)	Wednesday, April 1, 2026
Environmental Quality Commission (EQC)	Wednesday, April 15, 2026
Northfield Area Fire and Rescue Services	Thursday, April 16, 2026
Planning Commission (PC)	Thursday, April 16, 2026
Housing and Redevelopment Authority (HRA)	Tuesday, April 21, 2026
Human Rights Commission (HRC)	Wednesday, April 22, 2026
Hospital Board	Thursday, April 23, 2026
Economic Development Authority (EDA)	Monday, April 27, 2026
Heritage Preservation Commission (HPC)	Wednesday, May 6, 2026
Library Board	Wednesday, May 13, 2026
Charter Commission	Thursday, May 14, 2026
Environmental Quality Commission (EQC)	Wednesday, May 20, 2026
Northfield Area Fire and Rescue Services	Thursday, May 21, 2026
Planning Commission (PC)	Thursday, May 21, 2026
Hospital Board	Thursday, May 28, 2026
Heritage Preservation Commission (HPC)	Wednesday, June 3, 2026
Housing and Redevelopment Authority (HRA)	Tuesday, June 16, 2026
Environmental Quality Commission (EQC)	Wednesday, June 17, 2026
Northfield Area Fire and Rescue Services	Thursday, June 18, 2026
Planning Commission (PC)	Thursday, June 18, 2026
Economic Development Authority (EDA)	Monday, June 22, 2026
Human Rights Commission (HRC)	Wednesday, June 24, 2026
Hospital Board	Thursday, June 25, 2026

Board/Commission	Meeting Date
Heritage Preservation Commission (HPC)	Wednesday, July 1, 2026
Library Board	Wednesday, July 8, 2026
Charter Commission	Thursday, July 9, 2026
Environmental Quality Commission (EQC)	Wednesday, July 15, 2026
Northfield Area Fire and Rescue Services	Thursday, July 16, 2026
Planning Commission (PC)	Thursday, July 16, 2026
Hospital Board	Thursday, July 23, 2026
Economic Development Authority (EDA)	Monday, July 27, 2026
Heritage Preservation Commission (HPC)	Wednesday, August 5, 2026
Environmental Quality Commission (EQC)	Wednesday, August 19, 2026
Northfield Area Fire and Rescue Services	Thursday, August 20, 2026
Planning Commission (PC)	Thursday, August 20, 2026
Economic Development Authority (EDA)	Monday, August 24, 2026
Housing and Redevelopment Authority (HRA)	Tuesday, August 25, 2026
Human Rights Commission (HRC)	Wednesday, August 26, 2026
Hospital Board	Thursday, August 27, 2026
Heritage Preservation Commission (HPC)	Wednesday, September 2, 2026
Library Board	Wednesday, September 9, 2026
Charter Commission	Thursday, September 10, 2026
Environmental Quality Commission (EQC)	Wednesday, September 16, 2026
Northfield Area Fire and Rescue Services	Thursday, September 17, 2026
Planning Commission (PC)	Thursday, September 17, 2026
Hospital Board	Thursday, September 24, 2026
Economic Development Authority (EDA)	Monday, September 28, 2026
Heritage Preservation Commission (HPC)	Wednesday, October 7, 2026
Northfield Area Fire and Rescue Services	Thursday, October 15, 2026
Planning Commission (PC)	Thursday, October 15, 2026
Housing and Redevelopment Authority (HRA)	Tuesday, October 20, 2026
Environmental Quality Commission (EQC)	Wednesday, October 21, 2026
Hospital Board	Thursday, October 22, 2026
Economic Development Authority (EDA)	Monday, October 26, 2026
Human Rights Commission (HRC)	Wednesday, October 28, 2026
Heritage Preservation Commission (HPC)	Wednesday, November 4, 2026
Library Board	Monday, November 9, 2026
Charter Commission	Thursday, November 12, 2026
Environmental Quality Commission (EQC)	Wednesday, November 18, 2026
Hospital Board	Thursday, November 19, 2026
Northfield Area Fire and Rescue Services	Thursday, November 19, 2026
Planning Commission (PC)	Thursday, November 19, 2026
Economic Development Authority (EDA)	Monday, November 23, 2026
Heritage Preservation Commission (HPC)	Wednesday, December 2, 2026
Housing and Redevelopment Authority (HRA)	Tuesday, December 8, 2026
Human Rights Commission (HRC)	Monday, December 14, 2026
Environmental Quality Commission (EQC)	Wednesday, December 16, 2026
Hospital Board	Thursday, December 17, 2026
Northfield Area Fire and Rescue Services	Thursday, December 17, 2026
Planning Commission (PC)	Thursday, December 17, 2026