

City of Northfield

*City Hall
801 Washington Street
Northfield, MN 55057
northfieldmn.gov*



Meeting Agenda

Tuesday, July 7, 2026

6:00 PM

After Housing & Redevelopment Authority Meeting

Council Chambers

City Council

6:00 PM - CITY COUNCIL MEETING AGENDA

CALL TO ORDER

Mayor: Zweifel

Councilmembers: Beumer, Dahlen, Holmes, Ness, Peterson White, Sokup

OPEN PUBLIC COMMENT

Open Public Comment is intended to receive public comment on matters of City business and/or topics under the jurisdiction of the City Council. Individuals who would like to have a question addressed may write their question on the back of the comment card and an appropriate person will follow up with them at another time. If the topic relates to an item later in the agenda individuals may speak at this time if that is their preference. However, they will be unable to comment again later on the same agenda item.

Individuals who pre-registered may take one opportunity to address the Council for up to two (2) minutes. After all individuals on the sign-up list have spoken, other individuals may speak if time permits. Open Public Comment will conclude by 6:20 p.m.

APPROVAL OF AGENDA

PRESENTATIONS

1. [26-346](#) Northfield History Center Annual Presentation.
2. [26-347](#) Police Department Mentorship Program Presentation

Attachments: [1 - Northfield PD Mentorship Presentation](#)

CONSENT AGENDA

The proposed consent agenda is included on the agenda and shown on the screens in the Council Chambers. The purpose of a consent agenda is to allow for routine motions, resolutions, ordinances, and items previously discussed with consensus made, to be passed with one motion. These items are still important and necessary considerations and full background memo and materials have been prepared and are publicly available on the website and in the Council Chambers. City Council Members have had the opportunity to ask questions for clarification of consent agenda items in advance of the meeting and have had the opportunity to request an item be moved to the regular agenda for further discussion.

3. [26-348](#) Consider Approval of June 16, 2026 City Council Meeting Minutes.

Attachments: [1 - 06-16-2026 Council Meeting Minutes](#)

4. [26-349](#) Consider Approving Disbursements totaling \$3,400,296.39

Attachments: [1 - Disbursements](#)
[2 - Disbursements](#)

5. [Res. 2026-064](#) Consider Resolution Appointing Election Judges for the 2026 Primary and General Elections.
- Attachments:** [1 - Res. Appointing Election Judges Primary and General Elections](#)
 [2 - Exhibit A Primary and General Election Judges](#)
6. [26-350](#) Consider Approval of a Temporary Liquor License for Tanzenwald Brewing Company, LLC dba Tanzenwald Brewing Company for August 20, 2026 for the Friends of Downtown Northfield Third Thursday Event.
7. [26-351](#) Consider Approval of Temporary Liquor Licenses for the Defeat of Jesse James Days Committee.
8. [Res. 2026-065](#) Approve Application for Off-Site Gambling Permit for the Defeat of Jesse James Days Committee, Inc. at Northfield Ballroom, 450 Montessori Court, on September 9, 2026.
- Attachments:** [1 - Res. Gambling Permit DJJD](#)
9. [Res. 2026-066](#) Approve the Northfield Fire Relief Association request for fire relief pension benefits
- Attachments:** [1 - Resolution - Pension Level Increase](#)
 [2 - Addendum "A"](#)
 [3 - NAFRS Res. 2026-0601](#)
 [4 - Form SC-26](#)
 [5 - Actuarial Valuation Report](#)
 [6 - Current NFRA Bylaws](#)
10. [26-352](#) Consider Approval of Service Agreement with EverStrive Solutions for City Administrator Performance Evaluation Facilitation.
- Attachments:** [1- Consultant-professional services contract_EverStrive Solutions V.2 061826 \(002\)](#)
 [2- EverStrive Solutions Proposal](#)
 [3-1.02 City Administrator Performance Review Policy_202508051606436483 \(1\)](#)
11. [26-353](#) Consider Approval of Contract for Civil Legal Services - Extreme Risk Protection Orders (ERPOs)
- Attachments:** [1 - Proposed Northfield ERPO Contract 2026 - 2027](#)
12. [26-354](#) Consider Approval of Contract Extension for Prosecuting City Attorney Services.
- Attachments:** [1 - EL Northfield - Contract Extension 2027 6.25.26](#)

13. [Res. 2026-067](#) Consider Resolution Accepting Public Improvements and Approving Final Payment for the Jefferson Parkway West Mill and Overlay and Mill Towns State Trail Improvements Project (STRT2024-A78).

Attachments: [1 - Resolution - Accept Improvements and Approve Final Payment](#)
[2 - Final Pay Request](#)
[3 - Certificate of Final Acceptance](#)

14. [Res. 2026-068](#) Consider Resolution Accepting Bids and Awarding Contract for Northwest Area Water Tower Site.

Attachments: [1 - Resolution Accepting Bids and Awarding Contract Northwest Area Water Tower Site](#)
[2 - WATR2025-J37 NW Area Water Tower Site Project Bid Tab](#)
[3 - Award Recommendation Letter - Northfield NW Area Water Tower Site](#)
[4 - Project Page Hyperlink](#)

15. [26-361](#) Consideration of Approval of Professional Services Contract with Bolton and Menk, Inc. for the Wastewater Treatment Plant Pretreatment, Primary and Generator Project.

Attachments: [1 - Bolton and Menk CSC 2026 WWTP Improvements](#)
[2 - Bolton and Menk Proposal](#)

16. [26-355](#) Consider Motion Authorizing Submittal of Application for the Building Resilient Infrastructure and Communities (BRIC) Grant and Flood Mitigation Assistance (FMA) Grant for Downtown Flood Improvements.

Attachments: [1 - Downtown Flood Study](#)
[2 - FEMA BRIC/FMA Application Form](#)

17. [Res. 2026-069](#) Consideration of a Conditional Use Permit for Off-Street Parking at 212 Division St. S.

Attachments: [1 - CC Resolution](#)
[2 - PC Resolution 2026-006](#)
[3 - Architectural Renderings 06-03-2026](#)
[4 - Floor Plans 06-03-2026](#)
[5 - Staff PowerPoint PC 6-18-26](#)

18. [Res. 2026-070](#) Consider Resolution Authorizing Submission to Minnesota Housing Finance Agency's Impact Funds - Cherry Street Redevelopment.

Attachments: [1 - Resolution](#)
[2 - MHFA Community Homeownership Impact Fund \(summary brochure\)](#)

PUBLIC HEARINGS AND RELATED ACTION

The public will have an opportunity to address the City Council on any public hearings. Individuals who pre-registered may take one opportunity to address the Council for up to two (2) minutes. After all individuals on the sign-up list have spoken, other individuals may speak. Persons must give their name and address and if representing a business must give the name of the business or corporation. If an attorney or consultant is representing a client, the client must be identified for the record.

The intent of the public hearing is to receive information from the public. Individuals who would like to have a question addressed may write their question on the back of the comment card and an appropriate person will follow up with them at another time.

19. [26-356](#) Public Hearing Related to Charter Commission Proposed Ordinance Amending Section 4.1 of the Northfield City Charter.

Attachments: [1 - 4.1 Charter Amendment Proposed Ordinance](#)
[2 - Charter Amendment 4.1 Presentation](#)
[3 - 4.1 Charter Amendment City Attorney Memo](#)
[4 - Charter Amendment 4.1 Process Timeline Scenario Updated 06-03-26](#)
[5 - Charter Commission May 16, 2026 Meeting Video Link](#)

20. [Ord. 1095](#) Consider Ordinance 1095 Amending Section 4.1 of the Northfield City Charter (First Reading).

Attachments: [1 - 4.1 Charter Amendment Proposed Ordinance](#)

REPORTS FROM THE MAYOR AND COUNCILMEMBERS

21. [26-357](#) Reports From the Mayor and Council Members.

REGULAR AGENDA

The public will have an opportunity to address the City Council on the following regular agenda items. Individuals who pre-registered may take one opportunity to address the Council for up to two (2) minutes. After all individuals on the sign-up list have spoken, other individuals may speak. Persons must give their name and address and if representing a business must give the name of the business or corporation. If an attorney or consultant is representing a client, the client must be identified for the record.

The intent of the public comment is to receive information from the public. Individuals who would like to have a question addressed may write their question on the back of the comment card and an appropriate person will follow up with them at another time.

22. [26-358](#) Discussion on Organic Recycling

Attachments: [1 - Composting Presentation](#)

23. [26-359](#) Consider Approval of Final Concept for Phase II of the Northfield Skate Park Project and Authorize Preparation of Plans and Specifications.

Attachments: [1 - Skate Park Phase II Presentation](#)
 [2 - Skateboard Park Phase II - Public Comments 5-6-26 - 2](#)
 [3 - Skateboard Park Project Page](#)

ADMINISTRATORS UPDATE

24. [26-360](#) City Administrator's Update.

Attachments: [1 - Upcoming Agenda Items \(06-30-26\)](#)

ADJOURN

Note: The City Council may take a five minute break during the meeting. All regular City Council meetings end at 9:00 pm unless a simple (4/7) majority of the City Council vote to extend the time.

SPECIAL NEEDS: If you require special services to attend or participate in a public meeting, please call the City's Administration Office at (507) 645-3001 or e-mail Lynette Peterson, City Clerk, at lynette.peterson@northfieldmn.gov. TDD users can call (507) 645-3030. Please call at least 24 hours before the meeting, if possible.



Legislation Text

File #: 26-346, **Version:** 1

City Council Meeting Date: July 7, 2026

To: Mayor and City Council

From: Ben Martig, City Administrator

Northfield History Center Annual Presentation.

Action Requested:

No action is requested.

Summary Report:

The City Council will receive a presentation from Northfield History Center Executive Director Sean Allen regarding the work of the organization over the last year.

The presentation will be sent via supplemental prior to the meeting.

In 2024, the City Council approved a new three-year agreement with the Northfield History Center (Northfield Historical Society) that runs from January 1, 2025 through December 31, 2027. As part of the agreement, the Northfield History Center will offer support and partnership with the City on exhibits, events, document archives, and other initiatives and will present an annual report to the City Council.

Alternative Options:

N/A

Financial Impacts:

Per the 2025-2027 agreement, the City paid/will pay the Northfield History Center the following amounts: \$42,000 in 2025, \$46,500 for 2026, and \$46,500 for 2027.

Tentative Timelines:

N/A



Legislation Text

File #: 26-347, Version: 1

City Council Meeting Date: July 7, 2026

To: Mayor and City Council
City Administrator

From: Jeff Schroepfer, Police Chief

Subject:
Police Department Mentorship Program Presentation

Action Requested:
The Northfield City Council will receive an overview of the proposed Police Department Mentorship Program.

Summary Report:

The Northfield Police Department's Community Engagement and Recruitment Team (CERT) is in the process of creating a Youth Mentorship Program designed to build positive relationships between law enforcement and Northfield youth while providing guidance, encouragement, and support to young people who may benefit from a positive adult role model.

The program is intended to help youth develop confidence, life skills, and meaningful community connections while providing consistent support from caring adult mentors. Particular emphasis will be placed on youth who have experienced challenges, including involvement with the juvenile justice system, school-related difficulties, family instability, or other risk factors that may impact long-term success.

By creating positive and constructive relationships with trusted adults, the program seeks to improve outcomes for youth, strengthen community relationships, and support the Department's commitment to prevention, engagement, and public safety.

The Northfield Police Department recently established the Community Engagement and Recruitment Team (CERT) to strengthen connections between the Police Department and the community, foster trust and engagement, and support future recruitment efforts.

CERT serves as the Department's primary group for community outreach initiatives and youth engagement activities. The proposed Youth Mentorship Program aligns directly with CERT's mission by creating meaningful, long-term relationships between police officers and Northfield youth outside of traditional enforcement interactions.

The proposed Youth Mentorship Program is supported by research demonstrating the positive impact that adult mentoring relationships can have on youth outcomes.

In a Wilder Research 2007 report, *Analyzing the Social Return on Investment in Youth Mentoring Programs*, researchers found that mentoring programs provide measurable social and economic benefits by helping youth avoid future involvement in crime, improve educational outcomes, and develop stronger social connections. The study concluded that investments in youth mentoring generate returns to the community through reduced justice system costs, lower victimization rates, improved employment prospects, and reduced reliance on social services.

The report further noted that youth who become involved in the juvenile justice system often face significant barriers to returning to a positive life path. Without positive support systems, many youth continue patterns of behavior that increase their likelihood of future justice system involvement. Consistent relationships with caring and responsible adults can serve as a critical protective factor, helping youth make positive decisions, develop life skills, and build resilience.

The Department recognizes that not every youth involved in the juvenile justice system will continue down a negative path. However, research suggests that timely intervention, positive relationships, and meaningful support can significantly improve the likelihood of successful outcomes. The proposed mentorship program is intended to provide those opportunities before more serious issues develop.

The Youth Mentorship Program would:

- Be administered through the Northfield Police Department's Community Engagement and Recruitment Team (CERT).
- Provide youth with positive adult role models and supportive relationships.
- Partner with local schools, community organizations, and families.
- Focus on prevention, intervention, and youth development.
- Create opportunities for educational, recreational, and community-based activities.
- Foster positive perceptions of law enforcement through consistent, non-enforcement interactions.
- Encourage leadership development, personal responsibility, and goal setting.

The program is designed to complement existing youth services and community resources while addressing the well-documented need for positive adult mentorship among at-risk youth.

The program would focus on youth who:

- Have entered or are at risk of entering the juvenile justice system.
- Demonstrate behavioral, attendance, or academic concerns.
- Could benefit from a positive adult role model.
- Have limited access to supportive adult relationships outside their immediate family.

Participation would be voluntary and would require parental or guardian consent.

Expected Benefits

For Youth

- Increased positive adult support and guidance.
- Improved school attendance and academic engagement.
- Increased self-confidence and goal-setting skills.
- Reduced involvement in delinquent behavior.
- Greater connection to the community.

For Families

- Additional support resources.
- Improved communication and problem-solving opportunities.
- Increased awareness of available community services.

For the Community

- Reduced juvenile crime and recidivism.
- Strengthened trust and relationships between youth and law enforcement.
- Increased community safety.
- Long-term reductions in criminal justice and social service costs.

Staff will continue evaluating program structure, mentor training requirements, participant referral processes, and performance measures to ensure long-term success and accountability.

The Youth Mentorship Program represents the inaugural initiative of the Northfield Police Department's Community Engagement and Recruitment Team (CERT) and reflects the Department's commitment to proactive community engagement, youth development, and long-term crime prevention. Through meaningful relationships and early intervention, the program aims to create positive outcomes for youth while strengthening the safety and well-being of the Northfield community.

Alternative Options:

N/A

Financial Impacts:

The proposed Youth Mentorship Program will be administered by the Northfield Police Department's Community Engagement and Recruitment Team (CERT) utilizing existing staff resources and budgeted personnel time. Initial program activities are expected to be accommodated within the Police Department's current operating budget, and no additional City funding or budget increase is being requested at this time.

As the program develops, the Department may pursue voluntary community partnerships, sponsorships, grants, or donations to support youth activities and program enhancements. Any future funding opportunities would be administered in accordance with City policies and procedures.

Tentative Timelines:

Summer 2026 implementation



Northfield Police Mentorship Program

Connecting youth and
law enforcement for a
stronger community

Our goals for the program...



The Northfield Police Mentorship Program pairs local youth with law enforcement mentors to build meaningful, supportive relationships.

Relationships between youth and law enforcement are often shaped by limited or negative interactions.

Without opportunities to connect in positive, non-enforcement settings, misunderstandings and mistrust can develop on both sides.



Your job as a mentor...



Be a positive role model

Positive reinforcement, good attitude, friendly demeanor

Reach out to mentee at least once a shift rotation

Reach out via text message or by calling mentee. Ask if they need anything or have a time they would like to go do something.

Attend youth events hosted by Police Department

Bi-monthly events will be hosted by the Northfield Police Department. Encourage mentee's to attend.

Listen to mentee's needs

Listen to mentee and provide advice when necessary. Show up with a positive attitude.

Maintain boundaries as an Officer

Remind mentee that you are an officer first and have a responsibility to step in when necessary.

Expectations and Guidelines



Confidentiality
and Mandatory
Reporting

Parent
Guardian
Involvement

Professionalism

Consistency
and Reliability

Guidance and
Mentorship

Safety and
Supervision

Confidentiality and Mandated Reporting

- Mentors are required to follow-up on and report the following:
 - Threats of harm to self or others
 - Abuse or neglect
 - Criminal activity as required by law
- Youth should be informed of these limits at the start of the program

Parent/Guardian Involvement

- Parents must provide consent for participation
- Communicate with parents/guardians as necessary



Professionalism

- Serve as a positive role model at all times
- Maintain appropriate boundaries with mentees
- Follow all department policies and mentorship program guidelines

Consistency and Reliability

- Show up on time and be prepared
- Maintain regular contact and engagement with assigned mentees
- Follow through on commitments



Guidance and mentorship

- Provide constructive feedback and life guidance
- Facilitate conversations about goals, choices, and consequences
- Help connect mentees to resources and opportunities

Safety and supervision

- All interactions must comply with department policy
- Ensure all activities are safe and appropriate
- Report concerns related to safety, abuse, or illegal activity as required
- Maintain transparency with program coordinators and parents/guardians
- Mentors are responsible for supervision during program activities
- Maintain situational awareness and prioritize safety at all times



Activities you can do with your mentee



Help with homework

Go for a walk

Attend events hosted by NPD

Attend school events (sporting games)

Problem solving/goal setting

Ride Along

These are just ideas. Every mentee will be different. Have an understanding of why your mentee is involved in the program and what they want to get out of it. Learn their interests. This program only works if the kids are enjoying it. Most kids just need someone who cares and will show up. Be that person for them.





We are looking for officers that want to be involved in this program. This program is designed for youth that need a positive role model in their life. We need officers that are willing to put in the time for their mentees.

Thank you

This program is about more than mentorship
-it's about building relationships with our youth



Contact

Officer Eschenbach

Police Officer

kenna.eschenbach@northfieldmn.gov

Officer Haas

Police Officer

griffin.haas@northfieldmn.gov



Legislation Text

File #: 26-348, Version: 1

City Council Meeting Date: July 7, 2026

To: Mayor and City Council
City Administrator

From: Lynette Peterson, City Clerk

Consider Approval of June 16, 2026 City Council Meeting Minutes.

Action Requested:

The City Council is asked to consider approval of the June 16, 2026 City Council Meeting Minutes.

Summary Report:

N/A

Alternative Options:

N/A

Financial Impacts:

N/A

Tentative Timelines:

N/A



City of Northfield

City Hall
801 Washington Street
Northfield, MN 55057
northfieldmn.gov

Meeting Minutes - Draft City Council

Tuesday, June 16, 2026

6:00 PM

Council Chambers

6:00 PM - CITY COUNCIL MEETING AGENDA

CALL TO ORDER

Mayor Zweifel called the meeting to order at 6:01 p.m.

Present: 6 - Council Member Brad Ness, Council Member Kathleen Holmes, Council Member Davin Sokup, Council Member Jessica Peterson White, Council Member Chad Beumer, and Mayor Erica Zweifel

Absent: 1 - Council Member Peter Dahlen

Also present: City Administrator Ben Martig, Police Chief Jeff Schroepfer, Public Works Director/City Engineer David Bennett, Community Development Director Scott Wopata, Finance Director Brenda Angelstad, and City Clerk Lynette Peterson.

OPEN PUBLIC COMMENT

None.

APPROVAL OF AGENDA

Mayor Zweifel noted Supplemental Agenda Background Memorandums No. 1 and 2.

A motion was made by Council Member Ness, seconded by Council Member Beumer, to approve the agenda. The motion carried by the following vote:

Yes: 6 - C. Ness, C. Holmes, C. Sokup, C. Peterson White, C. Beumer, and Mayor Zweifel

PRESENTATIONS

1. [26-303](#) Presentation from the Convention and Visitors Bureau.

Jane Bartho, President of Northfield Convention and Visitor's Bureau (CVB), and Rachel Trnka, Director of Engagement for Northfield CVB, presented their annual report including 2026-28 strategic priorities, assets, annual expenses, visitors guide, hospitality industry information, digital campaigns, AI visibility, upcoming events, and the Governor's Pheasant Opener. Bartho and Trnka answered questions from the Council.

CONSENT AGENDA

A motion was made by Council Member Ness, seconded by Council Member Sokup, to approve the Consent Agenda. The motion carried by the following

vote:

Yes: 6 - C. Ness, C. Holmes, C. Sokup, C. Peterson White, C. Beumer, and Mayor Zweifel

2. [26-304](#) Consider Approval of June 2, 2026 City Council Meeting Minutes.
3. [26-305](#) Consider Approval of June 9, 2026 City Council Work Session Minutes.
4. [26-306](#) Consider Approving Disbursements totaling \$1,891,261.80
5. [26-307](#) Consideration of Acceptance of the City of Northfield Annual Comprehensive Financial Report for the Year Ended December 31, 2025.
6. [26-308](#) Consider Approval of Mayoral Board/Commission Youth Appointments.
7. [26-309](#) Consider Approval of Mayoral Board and Commission Appointments.
8. [Res. 2026-057](#) Consider Resolution Naming Cannon River Regional Park.
9. [Res. 2026-063](#) Consider Resolution Authorizing Application to the Regional Parks and Trail Commission for Designation of *Cannon River Regional Park* as a Greater MN Regional Park.
10. [Res. 2026-058](#) Consider Resolution providing communication and outreach support with Hiawathaland Transit.
11. [26-311](#) Consider Ice Rental Agreement with Northfield Public Schools.
12. [Res. 2026-059](#) Consider Resolution Accepting Public Improvements and Approving Final Payment for the Honeylocust Drive East Cannon River Trail Connection Improvements Project (STR2021-A56).

REPORTS FROM THE MAYOR AND COUNCILMEMBERS

13. [26-312](#) Reports From the Mayor and Council Members.

Council Member Ness - 911 Meeting; Chamber Morning Mingle, CVB Meeting, History Center's 50th birthday party on Monday, June 22.

Council Member Peterson White - Hiawathaland Bus to Pool.

Council Member Sokup - Mills Town Trail Meeting.

Council Member Beumer - Worm race at Bridge Square.

Council Member Holmes - Thursday Zoning Board of Appeals, Planning Commission Meeting; Third Thursday event.

Mayor Zweifel - Summer Reading Program Kickoff worm races.

REGULAR AGENDA

14. [Res. 2026-060](#) Consider Resolution Providing for the Issuance and Sale of General Obligation Street Reconstruction Bonds, Series 2026B in the Proposed

Aggregate Principal Amount of \$3,350,000.

Public Works Director/City Engineer David Bennett introduced the item giving background on the General Obligation Street Reconstruction Bonds, Series 2026B, in the proposed aggregate principal amount of \$3,350,000. The competitive sale of these bonds will be held on July 21, 2026. Final approval and closing is planned for August 13, 2026.

City Administrator Ben Martig added additional information regarding the bond sale.

A motion was made by Council Member Sokup, seconded by Council Member Beumer, to approve Resolution No. 2026-060 Providing for the Issuance and Sale of General Obligation Street Reconstruction Bonds, Series 2026B in the Proposed Aggregate Principal Amount of \$3,350,000. The motion carried by the following vote:

Yes: 6 - C. Ness, C. Holmes, C. Sokup, C. Peterson White, C. Beumer, and Mayor Zweifel

- 15. [Res. 2026-061](#)** Consider Resolution Modifying Central Business District Short Term Parking and Handicap Accessible Parking.

Public Works Director/City Engineer David Bennett introduced the item presenting updated information for additional short-term 20-minute parking stalls along with handicap parking on Division Street. Community Development Director Scott Wopata added feedback gathered from business owners regarding the changing of parking in the downtown area.

A motion was made by Council Member Beumer, seconded by Council Member Peterson White, to approve Resolution No. 2026-061 Modifying Central Business District Short Term Parking and Handicap Accessible Parking. The motion carried by the following vote:

Yes: 6 - C. Ness, C. Holmes, C. Sokup, C. Peterson White, C. Beumer, and Mayor Zweifel

- 16. [Res. 2026-062](#)** Consider a Citizen Petition for the Preparation of an Environmental Assessment Worksheet (EAW) to be Completed for the Proposed Harvest Hills Second Addition Development.

Community Development Director Scott Wopata introduced the item giving an outline of the discussion along with an overview of the project. Petitioner Jason Hill presented on his petition and the reasons for the petition. Wopata presented findings of facts and evidence.

Wopata and Public Works Director/City Engineer David Bennett answered questions from the Council.

Council discussed the citizen petition and finding of facts.

A motion was made by Council Member Sokup, seconded by Council Member Beumer, to approve Resolution No. 2026-062 Denying Citizen Petition for Preparation of an Environmental Assessment Worksheet for the Proposed Harvest Hills Second Addition Development. The motion carried by the following vote:

Yes: 6 - C. Ness, C. Holmes, C. Sokup, C. Peterson White, C. Beumer, and Mayor Zweifel

ADMINISTRATORS UPDATE

17. [26-314](#)

City Administrator's Update.

City Administrator Ben Martig updated the Council on the Investment Committee meeting.

ADJOURN

A motion was made by Council Member Ness, seconded by Council Member Beumer, to adjourn the meeting at 8:00 p.m. The motion carried by the following vote:

Yes: 6 - C. Ness, C. Holmes, C. Sokup, C. Peterson White, C. Beumer, and Mayor Zweifel



Legislation Text

File #: 26-349, Version: 1

City Council Meeting Date: July 7, 2026

To: Mayor and City Council
City Administrator

From: Mary Grant, Accounting Supervisor

Consider Approving Disbursements totaling \$3,400,296.39

Action Requested:

The Northfield City Council approves disbursements totaling \$3,400,296.39.

Summary Report:

Disbursement Description	Date	Amount
6/12/26 Payroll	06/12/2026	327,448.67
6/12/26 PR Ck's EFT's	06/12/2026	243,333.33
6/12/26 May'26 Bldg Surcharge	06/12/2026	1,020.00
6/18/26 May'26 Sales & Use Tax	06/18/2026	38,599.00
6/19/26 A/P Ck's EFT's	06/19/2026	2,789,895.39
Total		\$3,400,296.39

Alternative Options:

N/A

Financial Impacts:

They are within the limitations of the approved budget and resources available.

Tentative Timelines:

N/A

CHECK DISBURSEMENT REPORT FOR CITY OF NORTHFIELD

CHECK DATE 06/08/2026 - 06/12/2026

Check Date	Bank Account	Check #	Payee	Description	Account	Dept	Amount	
Fund: 101 General Fund								
Dept: 0000 Revenue								
06/12/2026	MAIN	141243	GDO LAW - PAYROLL DRAFT	Remittance	22170	0000	480.38	
06/12/2026	MAIN	141244	MN CHILD SUPPORT PAYMENT CNTR	Remittance	22170	0000	196.12	
06/12/2026	MAIN	4186(E)	ICMA RETIREMENT TRUST - #303324	Remittance	22143	0000	1,236.31	
				Remittance	22149	0000	738.46	
			Check MAIN 4186(E) Total for Fund 101 General Fund					1,974.77
06/12/2026	MAIN	4187(E)	IRS - PAYROLL DRAFT	Remittance	22110	0000	45,261.00	
				Remittance	22113	0000	21,391.42	
				Remittance	22113	0000	21,391.42	
				Remittance	22114	0000	6,741.61	
				Remittance	22114	0000	6,741.61	
			Check MAIN 4187(E) Total for Fund 101 General Fund					101,527.06
06/12/2026	MAIN	4188(E)	MINNESOTA STATE RETIREMENT SYSTEM	Remittance	22144	0000	4,643.78	
				Remittance	22147	0000	1,824.25	
				Remittance	22142	0000	3,269.49	
				Remittance	22142	0000	213.05	
				Remittance	22142	0000	383.96	
				Remittance	22142	0000	240.57	
				Remittance	22142	0000	144.72	
				Remittance	22142	0000	3,266.38	
				Remittance	22142	0000	1,242.20	
				Remittance	22142	0000	1,486.48	
				Remittance	22142	0000	559.97	
				Remittance	22142	0000	218.12	
				Remittance	22142	0000	205.07	
				Remittance	22142	0000	1,066.96	
				Remittance	22142	0000	341.78	
				Remittance	22142	0000	540.38	
				Remittance	22142	0000	168.84	
			Check MAIN 4188(E) Total for Fund 101 General Fund					19,816.00
06/12/2026	MAIN	4189(E)	MN DEPT OF REVENUE	Remittance	22170	0000	150.00	
06/12/2026	MAIN	4190(E)	MN DEPT OF REVENUE - PAYROLL DRAFT	Remittance	22112	0000	20,834.66	
06/12/2026	MAIN	4191(E)	PERA - DRAFT FROM PAYROLL	Remittance	22140	0000	21,686.39	
				Remittance	22140	0000	25,022.84	
				Remittance	22140	0000	14,750.27	
				Remittance	22140	0000	22,125.41	
				Remittance	22140	0000	66.04	
				Remittance	22140	0000	66.04	
			Check MAIN 4191(E) Total for Fund 101 General Fund					83,716.99
06/12/2026	MAIN	4192(E)	VANTAGEPOINT TRANSFER AGENTS-#7061	Remittance	22148	0000	403.47	
Total For Dept: 0000							229,099.45	
Dept: 4100 Mayor & City Council								
06/08/2026	MAIN	4169(A)*#	BY ALL MEANS	Name tags	42218	4100	20.00	
Total For Dept: 4100							20.00	

CHECK DISBURSEMENT REPORT FOR CITY OF NORTHFIELD

CHECK DATE 06/08/2026 - 06/12/2026

Check Date	Bank Account	Check #	Payee	Description	Account	Dept	Amount
Fund: 101 General Fund							
Dept: 4110 Administration							
06/08/2026	MAIN	4169(A)*#	BY ALL MEANS	Name tags	42218	4110	95.00
Total For Dept: 4110							95.00
Dept: 4150 Human Resources							
06/08/2026	MAIN	4169(A)*#	BY ALL MEANS	Name tags	42218	4150	40.00
Total For Dept: 4150							40.00
Dept: 4160 Community Development							
06/08/2026	MAIN	4169(A)*#	BY ALL MEANS	Name tags	42218	4160	40.00
06/08/2026	MAIN	4177(A)	KARI BONDE	MEALS MILEAGE	43331	4160	54.00 326.26
Check MAIN 4177(A) Total for Fund 101 General Fund							380.26
06/08/2026	MAIN	4182(A)#	RR LARSON & ASSOCIATES	Radio ads - Community Development	43300	4160	227.00
Total For Dept: 4160							647.26
Dept: 4190 City Hall Operations							
06/08/2026	MAIN	4174(A)	GOLD COUNTRY ENGRAVERS	REVERSE ENGRAVED NAME PLATE FOR KNUTESKI	42220	4190	36.00
06/08/2026	MAIN	4176(A)*#	INNOVATIVE OFFICE SOLUTIONS, LLC	CITY HALL COPY PAPER	42218	4190	286.44
Total For Dept: 4190							322.44
Dept: 4200 Police Administration							
06/08/2026	MAIN	4178(A)	KLOBE, ALEXANDER G.	SWAT BACKPACK REIMBURSEMENT	41115	4200	115.99
06/08/2026	MAIN	4184(A)	STERICYCLE, INC	PD SHRED MAR 2026 PD SHRED APR MAY 2026	43300	4200	118.47 255.42
Check MAIN 4184(A) Total for Fund 101 General Fund							373.89
Total For Dept: 4200							489.88
Dept: 4300 Engineering							
06/08/2026	MAIN	4169(A)*#	BY ALL MEANS	Name tags	42218	4300	40.00
06/08/2026	MAIN	4182(A)#	RR LARSON & ASSOCIATES	Radio ads - Engineering	43300	4300	227.00
Total For Dept: 4300							267.00
Dept: 4310 Streets							
06/08/2026	MAIN	4167(A)	ALISHA HAYES	MAPA MAY 226-27 CONFERENCE PER DIEM REIM	43331	4310	54.00
06/08/2026	MAIN	4175(A)	H & L MESABI COMPANY	CUTTING EDGES	43318	4310	3,750.00
06/08/2026	MAIN	4180(A)	MISSISSIPPI WELDERS SUPPLY CO INC.	GAS CYLINDERS	42222	4310	11.91
Total For Dept: 4310							3,815.91
Dept: 4330 Facilities							
06/08/2026	MAIN	4173(A)*#	EPIC ENTERPRISES, INC	APRIL MO. CLEANING SERVICES FOR PW/FAC	43306	4330	1,387.00
06/08/2026	MAIN	4183(A)*#	SERVICE MASTER BY AYOTTE	CLEANING AT BABCOCK SHELTER CLEANING AT TRANSIT HUB	43306	4330	720.00 1,320.00
Check MAIN 4183(A) Total for Fund 101 General Fund							2,040.00

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CHECK DATE 06/08/2026 - 06/12/2026

Check Date	Bank Account	Check #	Payee	Description	Account	Dept	Amount
Fund: 101 General Fund							
Dept: 4330 Facilities							
Total For Dept: 4330							3,427.00
Dept: 4550 Library							
06/08/2026	MAIN	4171(A)	DEMCO INC.	TAPE AND BOOK CART CASTERS	42218	4550	209.88
06/08/2026	MAIN	4176(A)*#	INNOVATIVE OFFICE SOLUTIONS, LLC	PAPER & BINDER CLIPS	42218	4550	97.99
				WIPES	42218	4550	87.52
				SHARPIES & HAND SANITIZER	42218	4550	60.25
Check MAIN 4176(A) Total for Fund 101 General Fund							245.76
06/08/2026	MAIN	4179(A)	MIDWEST TAPE LLC	LIBRARY MATERIALS	44431	4550	349.65
				LIBRARY MATERIALS	44431	4550	114.45
Check MAIN 4179(A) Total for Fund 101 General Fund							464.10
Total For Dept: 4550							919.74
Total For Fund: 101							239,143.68
Fund: 211 NCRC							
Dept: 4580 NCRC							
06/08/2026	MAIN	4173(A)*#	EPIC ENTERPRISES, INC	NCRC MISC CLEANING T/W/TH APRIL 2026	43306	4580	476.57
Total For Dept: 4580							476.57
Total For Fund: 211							476.57
Fund: 215 Motor Vehicle Fund							
Dept: 5600 Motor Vehicle							
06/08/2026	MAIN	4176(A)*#	INNOVATIVE OFFICE SOLUTIONS, LLC	CALCULATOR INK RIBBON	42218	5600	18.28
Total For Dept: 5600							18.28
Total For Fund: 215							18.28
Fund: 240 Library Gift Fund							
Dept: 4900 Other Financing Uses							
06/08/2026	MAIN	4169(A)*#	BY ALL MEANS	FFNPL ADULT GIFTS- SUMMER READ BOOKMARKS	43309	4900	317.00
Total For Dept: 4900							317.00
Total For Fund: 240							317.00
Fund: 257 Carbon Reduction Fund							
Dept: 4590 Carbon Reduction							
06/08/2026	MAIN	4181(A)	PABICH, SARA M.	MILEAGE- CLIMATE / ENERGY EVENTS	43331	4590	176.47
Total For Dept: 4590							176.47
Total For Fund: 257							176.47
Fund: 601 Water Fund							
Dept: 6000 Water							
06/08/2026	MAIN	4172(A)	ENGAGE/NCG, INC.	DOOR HANGERS FOR WATER AND METER NOTICES	42218	6000	685.00
				DOOR HANGERS FOR LEAD SERVICE LINE INVEN	42218	6000	190.00
Check MAIN 4172(A) Total for Fund 601 Water Fund							875.00
06/08/2026	MAIN	4183(A)*#	SERVICE MASTER BY AYOTTE	CLEANING AT WATER DEPT.	42220	6000	324.45

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Check Date	Bank Account	Check #	Payee	Description	Account	Dept	Amount
Fund: 601 Water Fund							
Dept: 6000 Water							
Total For Dept: 6000							1,199.45
Total For Fund: 601							1,199.45
Fund: 602 Sewer Fund							
Dept: 6100 Wastewater							
06/08/2026	MAIN	4173(A)*#	EPIC ENTERPRISES, INC	APRIL MO. CLEANING SERVICES FOR WWTP	43302	6100	190.00
06/08/2026	MAIN	4185(A)	USA BLUE BOOK	pH BUFFER	42216	6100	196.62
Total For Dept: 6100							386.62
Total For Fund: 602							386.62
Fund: 604 Storm Water Drainage							
Dept: 6300 Storm Water Drainage							
06/08/2026	MAIN	4168(A)	BOLTON & MENK, INC.	GENERAL STORMWATER SUPPORT PROF SVCS 3/2	43300	6300	185.00
Total For Dept: 6300							185.00
Total For Fund: 604							185.00
Fund: 609 Liquor Store							
Dept: 6400 Liquor Store - Purchases							
06/08/2026	MAIN	4170(A)	CANNON RIVER WINERY	Wine Purchases	42251	6400	832.20
Total For Dept: 6400							832.20
Dept: 6410 Liquor Store - Operations							
06/08/2026	MAIN	4183(A)*#	SERVICE MASTER BY AYOTTE	JANITORIAL LIQ JUNE 2026	43306	6410	598.06
Total For Dept: 6410							598.06
Total For Fund: 609							1,430.26
Report Total:							243,333.33

'*'-INDICATES CHECK DISTRIBUTED TO MORE THAN ONE FUND

'#'-INDICATES CHECK DISTRIBUTED TO MORE THAN ONE DEPARTMENT

CHECK DISBURSEMENT REPORT FOR CITY OF NORTHFIELD

CHECK DATE 06/15/2026 - 06/19/2026

Check Date	Bank Account	Check #	Payee	Description	Account	Dept	Amount
Fund: 101 General Fund							
Dept: 0000 Revenue							
06/19/2026	MAIN	141249#	APG MEDIA of SOUTHERN MINNESOTA	ECUP26-0001 - PCUP26-0001	22205	0000	115.13
				EMPP26-0002 - PMPP26-0001	22205	0000	122.80
				Escrow Refund: ECUP26-0003-212 Division	22205	0000	130.48
				From Escrow: ECUP26-0002 - 1 College St.	22205	0000	122.80
			Check MAIN 141249	Total for Fund 101 General Fund			491.21
06/19/2026	MAIN	141250	APPRO DEVELOPMENT INC	Escrow Refund: ESPR26-0006 - 1500 Indust	22205	0000	2,000.00
06/19/2026	MAIN	141266	Chapman Revocable Trust	Escrow Refund: EMSLC25-0002 - 1011 Poplar	22205	0000	392.50
				Escrow Refund: EVAC25-0002 - 1011 Poplar	22205	0000	950.75
			Check MAIN 141266	Total for Fund 101 General Fund			1,343.25
06/19/2026	MAIN	141271*#	CITY OF NORTHFIELD	Prepaid Purchases	11530	0000	4.28
06/19/2026	MAIN	141296	Ibrahim, Fares	Escrow Refund: ECUP25-0003-2010 Jefferso	22205	0000	1,413.12
06/19/2026	MAIN	141316	MEGIN PROPERTIES LLC	Escrow Refund: ESPR26-0007 - 1260 5th S	22205	0000	2,000.00
06/19/2026	MAIN	141329	NCC Builders	Bond Refund: BSPZ23-0008 - 212 Division	22205	0000	1,353.32
06/19/2026	MAIN	141331	NEXUS OUTREACH LLC	EV26-0003 - PV26-0001	22205	0000	615.62
06/19/2026	MAIN	141336#	NORTHFIELD CONVENTION AND VISITORS	LESS 5% ADMIN FEE	31410	0000	(800.52)
06/19/2026	MAIN	141353	SCHROM CONSTRUCTION, INC.	Escrow Refund: EMPP26-0002 - Outlot A-Ha	22205	0000	1,708.45
06/19/2026	MAIN	141364	THE LANDSCAPE COMPANY	ROW - Storm System Connection Inspection	22000	0000	267.75
				ROW - Storm System Connection	22000	0000	94.50
			Check MAIN 141364	Total for Fund 101 General Fund			362.25
Total For Dept: 0000							10,490.98
Dept: 4110 Administration							
06/19/2026	MAIN	141249#	APG MEDIA of SOUTHERN MINNESOTA	PUBLIC HEARING NOTICE - ORD 1092	43325	4110	53.73
				SUMMARY PUBLICATION-ORD #1093	43325	4110	46.05
				SUMMARY PUBLICATION-CHARTER AMEND. 4	43325	4110	214.90
			Check MAIN 141249	Total for Fund 101 General Fund			314.68
06/19/2026	MAIN	141271*#	CITY OF NORTHFIELD	ICMA MEMBERSHIP MARTIG	44463	4110	1,200.00
				ICMA-CRISIS COMMUNICATION TRAINING	43333	4110	350.00
			Check MAIN 141271	Total for Fund 101 General Fund			1,550.00
06/19/2026	MAIN	141285	ECKBERG LAMMERS	MAY PROSECUTION FEES	43304	4110	8,250.74
Total For Dept: 4110							10,115.42
Dept: 4120 City Clerk							
06/19/2026	MAIN	141247*#	AMAZON CAPITAL SERVICES	NOTE PADS	42218	4120	9.18
				KLEENEX	42218	4120	51.15
			Check MAIN 141247	Total for Fund 101 General Fund			60.33
Total For Dept: 4120							60.33
Dept: 4125 Elections							
06/19/2026	MAIN	141247*#	AMAZON CAPITAL SERVICES	COLLAPSIABLE WAGON	42218	4125	56.99
				PUSH PINS	42218	4125	2.94

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Check Date	Bank Account	Check #	Payee	Description	Account	Dept	Amount
Fund: 101 General Fund							
Dept: 4125 Elections							
		Check MAIN 141247	Total for Fund 101 General Fund				59.93
06/19/2026	MAIN	141249#	APG MEDIA of SOUTHERN MINNESOTA	ELECTION FILING PUBLICATION	43351	4125	138.15
Total For Dept: 4125							<u>198.08</u>
Dept: 4150 Human Resources							
06/19/2026	MAIN	141271*#	CITY OF NORTHFIELD	M. MAHOWALD RETIREMENT PARTY / PHOTO FRA	42218	4150	159.70
06/19/2026	MAIN	141278	CRESCENT SECURITY & INVESTIGATIONS	BACKGROUND INVESTIGATION - FLICEK	43308	4150	1,302.95
				BACKGROUND INVESTIGATION - OAXACA	43308	4150	613.13
		Check MAIN 141278	Total for Fund 101 General Fund				<u>1,916.08</u>
06/19/2026	MAIN	141286	FIRST ADVANTAGE BACKGROUND SERVICE	BACKGROUND CHECKS	43308	4150	853.51
06/19/2026	MAIN	141298	INDUSTRIAL HEALTH SERVICES NETWORK	DRUG SCREENS & MRO SERVICES	43308	4150	499.00
06/19/2026	MAIN	141357	SOLDO CONSULTING, P.C.	INVESTIGATIONS 1 & 2	43300	4150	12,280.80
Total For Dept: 4150							<u>15,709.09</u>
Dept: 4160 Community Development							
06/19/2026	MAIN	141271*#	CITY OF NORTHFIELD	MAPA CONF. - BONDE	43331	4160	595.62
				NAPC FORUM - HUGHEY	43333	4160	350.00
				SNACKS FOR COMM DEV MEETINGS	43331	4160	48.05
		Check MAIN 141271	Total for Fund 101 General Fund				<u>993.67</u>
Total For Dept: 4160							<u>993.67</u>
Dept: 4190 City Hall Operations							
06/19/2026	MAIN	141248*#	AMPION PBC	Electricity	43381	4190	2,383.59
06/19/2026	MAIN	141258	BERRY COFFEE COMPANY	CITY HALL WATER COOLER	42218	4190	156.65
06/19/2026	MAIN	141283*#	DSI - DICK'S SANITATION INC	CITY HALL Refuse Disposal	43389	4190	214.27
06/19/2026	MAIN	141292*#	GUTH ELECTRIC, INC	BOILER STARTUP ISSUES AT CITY HALL	42220	4190	228.00
06/19/2026	MAIN	141385*#	XCEL ENERGY	Gas	43380	4190	111.47
				Electricity	43381	4190	2,649.52
		Check MAIN 141385	Total for Fund 101 General Fund				<u>2,760.99</u>
Total For Dept: 4190							<u>5,743.50</u>
Dept: 4200 Police Administration							
06/19/2026	MAIN	141247*#	AMAZON CAPITAL SERVICES	TONER CARTRIDGES EVIDENCE	42218	4200	167.67
				AIR FRESHNER & URINAL MATS	42218	4200	144.63
				VACUUM BREAKER	42220	4200	22.99
		Check MAIN 141247	Total for Fund 101 General Fund				<u>335.29</u>
06/19/2026	MAIN	141248*#	AMPION PBC	Electricity	43381	4200	2,295.18
06/19/2026	MAIN	141255#	BAUER BUILT TIRE & SERVICE	TRAILER TIRES	42222	4200	218.98
06/19/2026	MAIN	141263	CALIBRE PRESS, LLC	VAULT SUBSCRIPTION 2026-2027	43332	4200	495.00
06/19/2026	MAIN	141264*#	CENTRAL FARM SERVICE	PD FUEL MAY 2026	42212	4200	5,142.14
06/19/2026	MAIN	141277	CREATIVE PRODUCT SOURCING, INC	DARE TABLE COVER	43309	4200	106.59

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Check Date	Bank Account	Check #	Payee	Description	Account	Dept	Amount	
Fund: 101 General Fund								
Dept: 4200 Police Administration								
06/19/2026	MAIN	141282	DOUG'S AUTO SERVICE	LOF SQ #3 06.12.26	42222	4200	75.73	
				LOF SQ 8 06.04.26	42222	4200	75.73	
		Check MAIN 141282	Total for Fund 101 General Fund					151.46
06/19/2026	MAIN	141283**	DSI - DICK'S SANITATION INC	POLICE Refuse Disposal	43389	4200	162.03	
06/19/2026	MAIN	141287	GALLS, INC.	RADIO EARPIECES	41115	4200	354.90	
06/19/2026	MAIN	141307	LANGUAGE LINE SERVICES	PD TRANSLATIONS SVCS MAY 2025	43300	4200	20.23	
06/19/2026	MAIN	141359	STREICHER'S	GLOCK MAGS	42218	4200	309.99	
06/19/2026	MAIN	141367	THOMSON REUTERS - WEST	CLEAR PROFLEX MAY 2026	43300	4200	314.00	
06/19/2026	MAIN	141370**	WATER SYSTEMS COMPANY	PD WATER QTY 10	42218	4200	87.50	
				JUN 2026 COOLER RENTAL	42218	4200	17.90	
		Check MAIN 141370	Total for Fund 101 General Fund					105.40
06/19/2026	MAIN	141384**	XCEL ENERGY	MAY 2026 - GAS/ELECTRIC USAGE	43380	4200	467.51	
				MAY 2026 - GAS/ELECTRIC USAGE	43380	4200	41.09	
				MAY 2026 - GAS/ELECTRIC USAGE	43381	4200	2,600.05	
				MAY 2026 - GAS/ELECTRIC USAGE	43381	4200	27.59	
				MAY 2026 - GAS/ELECTRIC USAGE	43381	4200	3.52	
		Check MAIN 141384	Total for Fund 101 General Fund					3,139.76
06/19/2026	MAIN	141385**	XCEL ENERGY	Electricity	43381	4200	49.12	
Total For Dept: 4200							13,200.07	
Dept: 4220 Fire								
06/19/2026	MAIN	141327	NAFRS	NAFRS 2ND HALF OF 2026 OPS & CAP	43300	4220	468,086.65	
Total For Dept: 4220							468,086.65	
Dept: 4240 Building Inspection								
06/19/2026	MAIN	141264**	CENTRAL FARM SERVICE	May Fuel B&I	42212	4240	136.04	
Total For Dept: 4240							136.04	
Dept: 4300 Engineering								
06/19/2026	MAIN	141247**	AMAZON CAPITAL SERVICES	PHONE CASE	42218	4300	23.39	
06/19/2026	MAIN	141264**	CENTRAL FARM SERVICE	MAY FUEL	42212	4300	256.81	
06/19/2026	MAIN	141271**	CITY OF NORTHFIELD	MN BOARD of AELSLAGID	44463	4300	122.50	
Total For Dept: 4300							402.70	
Dept: 4310 Streets								
06/19/2026	MAIN	141247**	AMAZON CAPITAL SERVICES	SHOP GLOVES & PROTECTIVE GLASSES	42218	4310	54.45	
06/19/2026	MAIN	141248**	AMPION PBC	Electricity	43381	4310	844.98	
06/19/2026	MAIN	141255#	BAUER BUILT TIRE & SERVICE	LOADER TIRE REPAIR WO#5330 #1821	42222	4310	650.31	
				PLOW TRUCK TIRE REPAIR WO#5324 #8940	42222	4310	294.10	
		Check MAIN 141255	Total for Fund 101 General Fund					944.41
06/19/2026	MAIN	141259**	BIG TOP TENT RENTAL, INC.	DOWNTOWN PORTABLE SERVICES	43315	4310	250.00	

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Check Date	Bank Account	Check #	Payee	Description	Account	Dept	Amount
Fund: 101 General Fund							
Dept: 4310 Streets							
06/19/2026	MAIN	141268	CHERYL'S GREENHOUSE	DOWNTOWN FLOWERS	43315	4310	6,854.80
06/19/2026	MAIN	141269*#	CINTAS	RYAN KIEFER UNIFORM	42218	4310	10.91
				RYAN KIEFER UNIFORM	42218	4310	3.41
		Check MAIN 141269	Total for Fund 101 General Fund				14.32
06/19/2026	MAIN	141272	CITY OF ST PAUL	ASPHALT MIX FOR PATCHING	43316	4310	905.70
06/19/2026	MAIN	141283*#	DSI - DICK'S SANITATION INC	DOWNTOWN REFUSE	43315	4310	2,151.48
				STREETS AND PARKS Refuse Disposal	43389	4310	186.00
		Check MAIN 141283	Total for Fund 101 General Fund				2,337.48
06/19/2026	MAIN	141284#	EARL F. ANDERSEN, INC	DELINEATORS	43316	4310	1,259.45
06/19/2026	MAIN	141290*#	GRAINGER	FILTERS FOR STREET SHOP	42220	4310	104.64
06/19/2026	MAIN	141292*#	GUTH ELECTRIC, INC	SHOP WELDER REPAIR	42220	4310	228.00
06/19/2026	MAIN	141304	KNECHT'S NURSERIES & LANDSCAPING	DOWNTOWN PARKLETS - HERBS	43315	4310	143.64
06/19/2026	MAIN	141306	L MFG & E, INC.	MONTHLY DUMPSTER RENTAL	42218	4310	50.00
06/19/2026	MAIN	141308	LARSON'S PRINTING	WORK HATS	42218	4310	464.16
06/19/2026	MAIN	141309	LAWSON PRODUCTS, INC.	SHOP SUPPLIES-LOCK NUTS	42222	4310	36.25
				WEATHERHEAD REPAIR-LOADER WO#5335 #3136	42222	4310	126.00
		Check MAIN 141309	Total for Fund 101 General Fund				162.25
06/19/2026	MAIN	141317*#	MENARD'S -DUNDAS	FLOWER WATERING SUPPLIES	43315	4310	44.94
				DOWNTOWN FLOWER WATERING SUPPLIES	43315	4310	4.59
				DOWNTOWN FLOWER WATERING SUPPLIES	43315	4310	115.74
				HEAVY DUTY HANDLES & PART BOX & POLY TRA	42218	4310	79.98
				MULCH	43315	4310	200.00
				SAFETY VEST FOR SEASONALS	42218	4310	59.96
				DOWNTOWN FLOWER WATERING	43315	4310	48.82
				TAPE HOLDER FOR SHOP	42218	4310	12.99
		Check MAIN 141317	Total for Fund 101 General Fund				567.02
06/19/2026	MAIN	141319*#	MIDWEST MACHINERY CO.	BUSHING KIT, SEAL, MOTO MIX FOR 4075	42222	4310	1,037.26
				UNION FITTING-CAT LOADER REPAIR WO#5335	42222	4310	25.86
		Check MAIN 141319	Total for Fund 101 General Fund				1,063.12
06/19/2026	MAIN	141322	MN DEPT OF TRANSPORTATION	BRIDGE INSPECTION	43300	4310	3,046.96
06/19/2026	MAIN	141325#	MTI DISTRIBUTING CO	CONTACTOR/FUSE-MOWER REPAIR 5910 WO#5334	42222	4310	299.32
06/19/2026	MAIN	141332	NFLD MACHINERY BUILDERS, INC.	STRAIGHTEN PIPE-CAT LOADER REPAIR WO#533	42222	4310	40.00
06/19/2026	MAIN	141333	NORTH AMERICAN SAFETY INC	HIGH VIS CLOTHING	42218	4310	79.49
06/19/2026	MAIN	141335*#	NORTHFIELD ACE HARDWARE	FOUNTAIN MAINTENANCE	43315	4310	48.97
				DOWNTOWN FLOWER WATERING SUPPLIES	43315	4310	24.97
				DOWNTOWN FLOWER WATERING SUPPLIES	43315	4310	180.30
		Check MAIN 141335	Total for Fund 101 General Fund				254.24
06/19/2026	MAIN	141361*#	SUMMIT COMPANIES	ANNUAL FIRE EXTINGUISHER INSPECTION	42220	4310	1,351.95

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Check Date	Bank Account	Check #	Payee	Description	Account	Dept	Amount	
Fund: 101 General Fund								
Dept: 4310 Streets								
06/19/2026	MAIN	141363	SYSTEMS & TELEMATIC SOLUTIONS, LLC	GEO TABS	43318	4310	492.00	
06/19/2026	MAIN	141368	UNIVERSAL TRUCK EQUIPMENT, INC.	BREATHER CAP, O-RING, FILTER-PLOW TRUCK	42222	4310	162.48	
06/19/2026	MAIN	141385*#	XCEL ENERGY	Gas	43380	4310	222.06	
				Electricity	43381	4310	945.49	
			Check MAIN 141385 Total for Fund 101 General Fund					1,167.55
Total For Dept: 4310							23,142.41	
Dept: 4320 Street Lighting								
06/19/2026	MAIN	141248*#	AMPION PBC	Electricity	43381	4320	15.39	
				Electricity	43381	4320	15.29	
			Check MAIN 141248 Total for Fund 101 General Fund					30.68
06/19/2026	MAIN	141292*#	GUTH ELECTRIC, INC	GROUNDING SHOWMOBILE	42228	4320	82.33	
				REMOVE SOUTHBRIDGE STREET LIGHTS	42228	4320	1,035.00	
				GROUNDING SHOWMOBILE	42228	4320	57.00	
			Check MAIN 141292 Total for Fund 101 General Fund					1,174.33
06/19/2026	MAIN	141381	XCEL ENERGY	MAY 2026 - 411 JEFFERSON PKWY LIGHTING	43381	4320	238.12	
06/19/2026	MAIN	141382	XCEL ENERGY	MAY 2026 - 300 POPLAR ST LIGHTING	43381	4320	50.81	
06/19/2026	MAIN	141384*#	XCEL ENERGY	MAY 2026 - GAS/ELECTRIC USAGE	43381	4320	38.41	
				MAY 2026 - GAS/ELECTRIC USAGE	43381	4320	29.55	
				MAY 2026 - GAS/ELECTRIC USAGE	43381	4320	489.13	
			Check MAIN 141384 Total for Fund 101 General Fund					557.09
06/19/2026	MAIN	141385*#	XCEL ENERGY	Electricity	43381	4320	85.56	
				Electricity	43381	4320	156.25	
				Electricity	43381	4320	807.14	
			Check MAIN 141385 Total for Fund 101 General Fund					1,048.95
06/19/2026	MAIN	141388	XCEL ENERGY	MAY 2026 - 905 CANNON VALLEY DR. SIGNAL	43381	4320	15.11	
Total For Dept: 4320							3,115.09	
Dept: 4330 Facilities								
06/19/2026	MAIN	141247*#	AMAZON CAPITAL SERVICES	CIRCULAR SAW AND BLADE	42218	4330	246.28	
06/19/2026	MAIN	141378	XCEL ENERGY	MAY 2026 - TRANSIT HUB ELECTRIC	43381	4330	241.24	
Total For Dept: 4330							487.52	
Dept: 4510 Ice Arena								
06/19/2026	MAIN	141267*#	CHARTER COMMUNICATIONS	Arena - additional receiver	43320	4510	136.75	
06/19/2026	MAIN	141283*#	DSI - DICK'S SANITATION INC	ICE ARENA Refuse Disposal	43389	4510	594.65	
06/19/2026	MAIN	141319*#	MIDWEST MACHINERY CO.	SEAL FOR ZAMBONI WO#5320 #1790	42222	4510	31.62	
06/19/2026	MAIN	141328	NAPA AUTO PARTS	V-BELT	42222	4510	78.92	
06/19/2026	MAIN	141360	STZR HOLDINGS LLC	BLADE SHARPENING	42222	4510	45.00	
				INPUT SHAFT OIL SEAL	42222	4510	56.66	
				INPUT SHAFT, SEAL AND OIL FOR ICE ARENA	42222	4510	8.15	

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Check Date	Bank Account	Check #	Payee	Description	Account	Dept	Amount
Fund: 101 General Fund							
Dept: 4510 Ice Arena							
				SPRING EXTENSION FOR ICE ARENA	42222	4510	41.96
			Check MAIN 141360	Total for Fund 101 General Fund			<u>151.77</u>
06/19/2026	MAIN	141365	THE RINK LLC	JULY 2026 RENT - ICE ARENA	43300	4510	10,000.00
06/19/2026	MAIN	141385**	XCEL ENERGY	Gas	43380	4510	202.12
				Electricity	43381	4510	3,190.18
			Check MAIN 141385	Total for Fund 101 General Fund			<u>3,392.30</u>
Total For Dept: 4510							<u>14,386.01</u>
Dept: 4520 General Parks							
06/19/2026	MAIN	141248**	AMPION PBC	Electricity	43381	4520	165.49
06/19/2026	MAIN	141259**	BIG TOP TENT RENTAL, INC.	PARK PORTABLE SERVICE LOCATIONS	43313	4520	963.00
				PARKS PORTABLE SERVICE LOCATIONS	43313	4520	1,016.50
			Check MAIN 141259	Total for Fund 101 General Fund			<u>1,979.50</u>
06/19/2026	MAIN	141264**	CENTRAL FARM SERVICE	MAY FUEL FOR PRESSURE WASHER	42212	4520	69.01
06/19/2026	MAIN	141283**	DSI - DICK'S SANITATION INC	CITY PARKS Refuse Disposal	43389	4520	1,250.24
06/19/2026	MAIN	141284#	EARL F. ANDERSEN, INC	PLAYGROUND SAFETY SURFACING- MULCH	43313	4520	6,799.00
06/19/2026	MAIN	141317**	MENARD'S -DUNDAS	WASTE BASKET FOR PARK SHELTER	42218	4520	55.96
				GATE CHAIN	42218	4520	34.99
				PAVILION SUPPLIES-WASTEBASKET, COMPOST B	42218	4520	58.71
				PAVILION SUPPLIES-CLEANERS, TRASH BAGS,	42218	4520	148.52
				WEED SPRAYER & SPRAY & VALVE BOX FOR IRR	43313	4520	205.38
			Check MAIN 141317	Total for Fund 101 General Fund			<u>503.56</u>
06/19/2026	MAIN	141319**	MIDWEST MACHINERY CO.	ADAPTER FITTING-TRAIL BROOM WO#5337 #639	42222	4520	10.18
06/19/2026	MAIN	141325#	MTI DISTRIBUTING CO	AC REPAIR ON 5910 WO#5334 #6070	42222	4520	296.85
06/19/2026	MAIN	141326	MULLIGAN'S TREE SERVICE, INC.	IRRIGATION VALVE BOX	43313	4520	97.14
06/19/2026	MAIN	141384**	XCEL ENERGY	MAY 2026 - GAS/ELECTRIC USAGE	43381	4520	711.46
06/19/2026	MAIN	141385**	XCEL ENERGY	Electricity	43381	4520	106.52
06/19/2026	MAIN	141387	XCEL ENERGY	MAY 2026 - BABCOCK PARK GAS	43380	4520	41.09
Total For Dept: 4520							<u>12,030.04</u>
Dept: 4530 Athletic Facilities							
06/19/2026	MAIN	141248**	AMPION PBC	Electricity	43381	4530	261.13
06/19/2026	MAIN	141259**	BIG TOP TENT RENTAL, INC.	ATHLETIC FIELD PORTABLE SERVICE LOCATION	43306	4530	785.00
				ATHLETIC FIELDS PORTABLE SERVICES	43306	4530	731.50
			Check MAIN 141259	Total for Fund 101 General Fund			<u>1,516.50</u>
06/19/2026	MAIN	141283**	DSI - DICK'S SANITATION INC	DOG PARK Refuse Disposal	43389	4530	202.50
06/19/2026	MAIN	141292**	GUTH ELECTRIC, INC	REPLACE BURNT OUT LAMPS ON BASEBALL FIEL	43326	4530	5,108.77
06/19/2026	MAIN	141330	NELSON LAWN CARE INC	SOCCER MOWING MAY 2026	43326	4530	2,500.00

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Fund: 101 General Fund							
Dept: 4530 Athletic Facilities							
06/19/2026	MAIN	141384*#	XCEL ENERGY	MAY 2026 - GAS/ELECTRIC USAGE	43381	4530	3,905.51
06/19/2026	MAIN	141385*#	XCEL ENERGY	Electricity	43381	4530	51.39
Total For Dept: 4530							13,545.80
Dept: 4540 Outdoor Pool							
06/19/2026	MAIN	141248*#	AMPION PBC	Electricity	43381	4540	1,189.10
06/19/2026	MAIN	141251	AQUA LOGIC INC.	SPRING POOL START-UP	43305	4540	800.00
06/19/2026	MAIN	141293	HAWKINS INC.	CHEMICALS	42216	4540	581.08
				POOL CHEMICALS	42216	4540	1,454.80
				POOL CHEMICALS	42216	4540	580.90
				POOL CHEMICALS	42216	4540	3,834.20
Check MAIN 141293 Total for Fund 101 General Fund							6,450.98
06/19/2026	MAIN	141303	KLINE DISTRIBUTING, LLC	CONCESSIONS	42280	4540	1,918.36
06/19/2026	MAIN	141317*#	MENARD'S -DUNDAS	POOL REPAIR SUPPLIES	43305	4540	59.68
				GLASS CLEANER, OIL DRY, STEP WAX	42211	4540	48.55
				PUMP HOUSE REPAIR SUPPLIES	42220	4540	228.95
				TABLE, NITILE GLOVES, CABLE TIES, MAGNET	42211	4540	106.84
Check MAIN 141317 Total for Fund 101 General Fund							444.02
06/19/2026	MAIN	141335*#	NORTHFIELD ACE HARDWARE	FLAG, NYLON ELBOW, HOSE CLAMP	42220	4540	38.76
06/19/2026	MAIN	141340	PEPSI-COLA OF MANKATO, INC	CONCESSION BEVERAGES	42280	4540	954.00
06/19/2026	MAIN	141385*#	XCEL ENERGY	Gas	43380	4540	744.06
				Electricity	43381	4540	1,220.29
Check MAIN 141385 Total for Fund 101 General Fund							1,964.35
Total For Dept: 4540							13,759.57
Dept: 4550 Library							
06/19/2026	MAIN	141247*#	AMAZON CAPITAL SERVICES	BOLLARDS & CONCRETE ANCHORS-NCRC BOOK DR	42220	4550	204.94
06/19/2026	MAIN	141248*#	AMPION PBC	Electricity	43381	4550	1,465.56
06/19/2026	MAIN	141269*#	CINTAS	RUG RENTAL	42220	4550	10.58
06/19/2026	MAIN	141271*#	CITY OF NORTHFIELD	PASSPORT SHIPPING	43321	4550	306.24
				TOILET PAPER	42211	4550	5.99
				LIBRARY MATERIALS YOUTH	44431	4550	319.73
				TAPE	42218	4550	9.99
				RUBBING ALCOHOL	42218	4550	8.75
				STAFF RESOURCE BOOKS	43333	4550	114.50
				LIBRARY MATERIALS	44431	4550	117.91
				SOAP, BARCODES, CHAIR, LABEL, NAME BADGES	42218	4550	1,101.09
				WIPES & SWIFFER DUSTERS	42211	4550	14.81
				FLOOR MAT & CANDY FOR BOOKMOBILE	42218	4550	36.70
				BIKE TATTOOS, REFLECTORS	44432	4550	22.69
				TRAINING MENOPAUSE IN LIBRARIANSHIP	43333	4550	89.00
				JUV PRGS- CON-TACT BOND, FISHING WIRE, PAP	44432	4550	93.99
				TEEN PRGS- POMPOMS, RULER, FLOWERS	44432	4550	48.25

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Check Date	Bank Account	Check #	Payee	Description	Account	Dept	Amount
Fund: 101 General Fund							
Dept: 4550 Library							
Check MAIN 141271 Total for Fund 101 General Fund							2,289.64
06/19/2026	MAIN	141283*#	DSI - DICK'S SANITATION INC	LIBRARY Refuse Disposal	43389	4550	112.78
06/19/2026	MAIN	141300*#	INGRAM LIBRARY SERVICES	SHIPPING	43321	4550	9.00
				BOOK COVERS	42218	4550	7.70
				LIBRARY MATERIALS	44431	4550	148.12
				SHIPPING	43321	4550	3.00
				BOOK COVERS	42218	4550	41.80
				LIBRARY MATERIALS	44431	4550	801.08
				SHIPPING	43321	4550	9.00
				BOOK COVERS	42218	4550	1.10
				LIBRARY MATERIALS	44431	4550	41.04
				SHIPPING	43321	4550	3.00
				BOOK COVERS	42218	4550	30.80
				LIBRARY MATERIALS	44431	4550	523.42
				SHIPPING	43321	4550	9.00
				LIBRARY MATERIALS	44431	4550	114.76
				SHIPPING	43321	4550	9.00
				BOOK COVERS	42218	4550	9.90
				LIBRARY MATERIALS	44431	4550	164.28
				SHIPPING	43321	4550	9.00
				BOOK COVERS	42218	4550	4.40
				LIBRARY MATERIALS	44431	4550	79.55
				SHIPPING	43321	4550	3.00
				BOOK COVERS	42218	4550	14.30
				LIBRARY MATERIALS	44431	4550	241.14
				SHIPPING	43321	4550	3.00
				BOOK COVERS	42218	4550	40.70
				LIBRARY MATERIALS	44431	4550	826.52
				SHIPPING	43321	4550	3.00
				BOOK COVERS	42218	4550	15.40
				LIBRARY MATERIALS	44431	4550	257.57
				SHIPPING	43321	4550	9.00
				BOOK COVERS	42218	4550	6.60
				LIBRARY MATERIALS	44431	4550	207.62
				BOOK COVERS	42218	4550	(1.10)
				LIBRARY MATERIALS RETURN DAMAGED ITEM	44431	4550	(17.92)
Check MAIN 141300 Total for Fund 101 General Fund							3,627.78
06/19/2026	MAIN	141311	LIBRARY FURNITURE INTERNATIONAL, L	MDE GRANT- LIBRARY FURNITURE DEPOSIT	45520	4550	42,150.01
06/19/2026	MAIN	141320	MIDWEST TAPE LLC	LIBRARY MATERIALS	44431	4550	128.46
06/19/2026	MAIN	141337	OVERDRIVE	LIBRARY MATERIALS EBOOK & EAUDIO	44431	4550	145.00
				LIBRARY MATERIALS EBOOK & EAUDIO	44431	4550	315.99
				LIBRARY MATERIALS EAUDIO	44431	4550	89.99
				LIBRARY MATERIALS EAUDIO	44431	4550	228.99
				LIBRARY MATERIALS EBOOK & EAUDIO	44431	4550	472.05
				LIBRARY MATERIALS EAUDIO	44431	4550	84.80
				LIBRARY MATERIALS EBOOK & EAUDIO	44431	4550	401.67
				LIBRARY MATERIALS- EBOOK	44431	4550	37.99

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Check Date	Bank Account	Check #	Payee	Description	Account	Dept	Amount
Fund: 101 General Fund							
Dept: 4550 Library							
Check MAIN 141337 Total for Fund 101 General Fund							1,776.48
06/19/2026	MAIN	141349	RICHARD C. CARLSON	JUV PROGRAMS- LLOVABLE LLAMAS	44432	4550	500.00
06/19/2026	MAIN	141355	SHOWCASES	CD CASES	42218	4550	44.75
				SHIPPING	43321	4550	5.00
Check MAIN 141355 Total for Fund 101 General Fund							49.75
06/19/2026	MAIN	141384**	XCEL ENERGY	MAY 2026 - GAS/ELECTRIC USAGE	43380	4550	48.77
				MAY 2026 - GAS/ELECTRIC USAGE	43381	4550	1,526.26
Check MAIN 141384 Total for Fund 101 General Fund							1,575.03
Total For Dept: 4550							53,891.01
Dept: 4900 Other Financing Uses							
06/19/2026	MAIN	141336#	NORTHFIELD CONVENTION AND VISITORS LODGING TAX - APR'26		44454	4900	16,010.35
Total For Dept: 4900							16,010.35
Total For Fund: 101							675,504.33
Fund: 211 NCRC							
Dept: 4580 NCRC							
06/19/2026	MAIN	141283**	DSI - DICK'S SANITATION INC	NCRC Refuse Disposal	43389	4580	1,044.54
06/19/2026	MAIN	141305	KOPISCHKE SEAMLESS GUTTER LLC	NCRC GUTTER REPAIR	42220	4580	1,185.00
06/19/2026	MAIN	141317**	MENARD'S -DUNDAS	NCRC NEW FLAG	42220	4580	47.99
06/19/2026	MAIN	141318**	METRONET HOLDINGS LLC	NCRC - phones, internet, long distance	43320	4580	1,299.85
06/19/2026	MAIN	141352	SCHILLING SUPPLY COMPANY	BATH TISSUE, MICROFIBER CLOTHS, DISINFEC	42211	4580	398.95
Total For Dept: 4580							3,976.33
Dept: 4585 Wellness Center							
06/19/2026	MAIN	141347	RAINBOW INTERNATIONAL OF THE NORTH GENERAL CLEANING 5/25 THRU 6/7/2026		43306	4585	2,700.00
Total For Dept: 4585							2,700.00
Total For Fund: 211							6,676.33
Fund: 229 Communications							
Dept: 4180 Communication							
06/19/2026	MAIN	141271**	CITY OF NORTHFIELD	DESCRIPT CREATOR	43300	4180	35.00
Total For Dept: 4180							35.00
Total For Fund: 229							35.00
Fund: 240 Library Gift Fund							
Dept: 4900 Other Financing Uses							
06/19/2026	MAIN	141271**	CITY OF NORTHFIELD	FFNPL JUV-OVEN MITTS,KITCHEN ITEMS,CADDI	43309	4900	29.75
				FFNPL OUTREACH-BUBBLES,BATTERIES,VEG GLY	43309	4900	40.01
				FFNPL ADULT-SKETCHIFY,HOSA AUDIO INTERFA	43309	4900	75.34
				FFNPL SPANISH-WICKS,SNACKS LATINO CHOIR	43309	4900	173.76
				GIFTS PLA- PARKING & MEALS AT PLA	43309	4900	143.82

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Check Date	Bank Account	Check #	Payee	Description	Account	Dept	Amount
Fund: 240 Library Gift Fund							
Dept: 4900 Other Financing Uses							
Check MAIN 141271 Total for Fund 240 Library Gift Fund							462.68
06/19/2026	MAIN	141300*#	INGRAM LIBRARY SERVICES	FFNPL COLLECTIONS YOUTH	43309	4900	11.24
				FFNPL COLLECTIONS YOUTH	43309	4900	5.24
				GIFTS- AUTOMATICALLY YOURS	44431	4900	16.80
Check MAIN 141300 Total for Fund 240 Library Gift Fund							<u>33.28</u>
Total For Dept: 4900							<u>495.96</u>
Total For Fund: 240							495.96
Fund: 242 Scriver Memorial Fund							
Dept: 4900 Other Financing Uses							
06/19/2026	MAIN	141300*#	INGRAM LIBRARY SERVICES	GIFTS- SCRIVER LIBRARY MATERIALS	44431	4900	16.80
				GIFTS- SCRIVER	44431	4900	137.55
				GIFTS- SCRIVER	44431	4900	16.77
				GIFTS-SCRIVER	44431	4900	17.92
Check MAIN 141300 Total for Fund 242 Scriver Memorial Fund							<u>189.04</u>
Total For Dept: 4900							<u>189.04</u>
Total For Fund: 242							189.04
Fund: 250 CDBG Fund							
Dept: 4900 Other Financing Uses							
06/18/2026	MAIN	141245	PRECISION LAND TITLE & ANNISHIA FI 1102 FOREST AVE DPA		44470	4900	25,000.00
Total For Dept: 4900							<u>25,000.00</u>
Total For Fund: 250							25,000.00
Fund: 295 HRA							
Dept: 5200 HRA General Operating							
06/19/2026	MAIN	141271*#	CITY OF NORTHFIELD	SNACKS FOR MEETING	42218	5200	40.42
				HEADPHONES/SCISSORS/NAPKINS	42218	5200	162.44
Check MAIN 141271 Total for Fund 295 HRA							<u>202.86</u>
Total For Dept: 5200							202.86
Dept: 5210 HRA Rental Projects							
06/19/2026	MAIN	141374	XCEL ENERGY	MAY 2026 - 706 2ND ST. - GAS/ELECTRIC	43387	5210	35.70
06/19/2026	MAIN	141375	XCEL ENERGY	MAY 2026 - 2330 ELIANNA DR. - GAS/ELECTR	43387	5210	53.10
Total For Dept: 5210							<u>88.80</u>
Dept: 5220 HRA LMI Housing							
06/19/2026	MAIN	141276	CRAIG JOHNSON	ENERGY EFFICIENCY REBATE 2026	43309	5220	1,200.00
Total For Dept: 5220							<u>1,200.00</u>
Total For Fund: 295							1,491.66
Fund: 427 2026 CAPITAL PROJECTS							
Dept: 4800 Other Services							
06/19/2026	MAIN	141354	SHORT ELLIOT HENDRICKSON, INC	TH 3 LIGHTING REPLACEMENT PROJECT- PHASE	45520	4800	412.09
				TH 3 LIGHTING REPLACEMENT PROJECT- PHASE	45520	4800	3,561.32

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Check Date	Bank Account	Check #	Payee	Description	Account	Dept	Amount
Fund: 427 2026 CAPITAL PROJECTS							
Dept: 4800 Other Services							
Check MAIN 141354 Total for Fund 427 2026 CAPITAL PROJECTS							3,973.41
Total For Dept: 4800							3,973.41
Total For Fund: 427							3,973.41
Fund: 451 Park Fund							
Dept: 4520 General Parks							
06/19/2026	MAIN	141262	BRUCE DAVID JACOBSON	2027 IMPROVEMENT PROJECTS-ODDFELLOWS & S	45520	4520	13,500.00
Total For Dept: 4520							13,500.00
Total For Fund: 451							13,500.00
Fund: 454 City Facilities Fund							
Dept: 4800 Other Services							
06/19/2026	MAIN	141292*#	GUTH ELECTRIC, INC	PD GATE OPERATOR WIRING	45520	4800	7,122.50
Total For Dept: 4800							7,122.50
Total For Fund: 454							7,122.50
Fund: 455 Veh/Equip Replacement							
Dept: 4800 Other Services							
06/19/2026	MAIN	141281	DEPUTY REGISTRAR	2026 REGISTRATION FOR GMC 3780	45550	4800	3,431.22
Total For Dept: 4800							3,431.22
Total For Fund: 455							3,431.22
Fund: 459 ICE ARENA CONSTRUCTION							
Dept: 4800 Other Services							
06/19/2026	MAIN	141247*#	AMAZON CAPITAL SERVICES	M40-TRASH AND RECYCLING CANS	45520	4800	260.61
				M40-RUBBERMAID WASTE CONTAINERS	45520	4800	2,923.69
Check MAIN 141247 Total for Fund 459 ICE ARENA CONSTRUCTION							3,184.30
06/19/2026	MAIN	141252	ARCHITECTURAL TESTING INC.	M40-ICE ARENA WINDOW TESTING	45520	4800	4,950.00
06/19/2026	MAIN	141254	B & H PHOTO-VIDEO	M40-wireless Access Points for New Ice A	45520	4800	589.07
06/19/2026	MAIN	141343	PHONE STATION	M40-LV WIRING AT NEW RINK	45520	4800	20,000.00
				M40-LV WIRING AT NEW RINK JOB#3986	45520	4800	2,925.00
				M40-LV WIRING NEW RINK- REFRIGERATION RO	45520	4800	365.00
				M40-LV WIRING FOR NEW RINK- ELEVATOR	45520	4800	595.00
				M40-LV WIRING FOR NEW RINK	45520	4800	18,125.00
				M40-LV WIRING FOR NEW RINK JOB #3986	45520	4800	1,565.00
				M40-LV WIRING FOR NEW RINK JOB#3986	45520	4800	1,250.00
Check MAIN 141343 Total for Fund 459 ICE ARENA CONSTRUCTION							44,825.00
06/19/2026	MAIN	141346	QUALITY FORKLIFT SALES & SERVICE I	M40-LIFT FOR NEW ARENA	45520	4800	17,500.00
06/19/2026	MAIN	141350	RJM CONSTRUCTION	M40-ICE ARENA 24520-0005 MAY 2026	45520	4800	1,645,757.08
Total For Dept: 4800							1,716,805.45
Total For Fund: 459							1,716,805.45

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Fund: 465 WATER & 5TH ST REDEVELOPMENT								
Dept: 4800 Other Services								
06/19/2026	MAIN	141376	XCEL ENERGY	411 WATER ST - GAS/ELECTRIC	43380	4800	159.58	
				411 WATER ST - GAS/ELECTRIC	43381	4800	189.59	
			Check MAIN 141376 Total for Fund 465 WATER & 5TH ST REDEVELOPMENT					349.17
06/19/2026	MAIN	141377	XCEL ENERGY	411 1/2 WATER ST #4 - ELECTRIC	43381	4800	13.44	
06/19/2026	MAIN	141379	XCEL ENERGY	411 1/2 WATER ST #1 - ELECTRIC	43381	4800	13.44	
06/19/2026	MAIN	141380	XCEL ENERGY	411 1/2 WATER ST #2 - ELECTRIC	43381	4800	14.61	
Total For Dept: 4800							390.66	
Total For Fund: 465							390.66	
Fund: 601 Water Fund								
Dept: 0000 Revenue								
06/19/2026	MAIN	141246*	ALLAN COX	A01-RES MAIN WATER	22000	0000	4.83	
				MF1-MN DEPT OF HEALTH	22000	0000	1.49	
				WATER BASE FEE	22000	0000	16.42	
			Check MAIN 141246 Total for Fund 601 Water Fund					22.74
06/19/2026	MAIN	141257*	BERNICE C PULJU	MF1-MN DEPT OF HEALTH	22000	0000	0.73	
06/19/2026	MAIN	141280*	DAVID SCHOENBAUER	A01-RES MAIN WATER	22000	0000	4.39	
				MF1-MN DEPT OF HEALTH	22000	0000	0.28	
				WATER BASE FEE	22000	0000	3.12	
			Check MAIN 141280 Total for Fund 601 Water Fund					7.79
06/19/2026	MAIN	141288*	GEORGE BROPHY	A01-RES MAIN WATER	22000	0000	2.25	
				MF1-MN DEPT OF HEALTH	22000	0000	0.65	
				WATER BASE FEE	22000	0000	7.11	
			Check MAIN 141288 Total for Fund 601 Water Fund					10.01
06/19/2026	MAIN	141312	LUCAS & MALORY PETERSON	WATER BASE FEE	22000	0000	195.78	
06/19/2026	MAIN	141313	MARGARET JAHNKE	WATER BASE FEE	22000	0000	200.00	
06/19/2026	MAIN	141314*	MARILYN FINNESETH	A01-RES MAIN WATER	22000	0000	10.49	
				MF1-MN DEPT OF HEALTH	22000	0000	2.74	
				WATER BASE FEE	22000	0000	30.22	
			Check MAIN 141314 Total for Fund 601 Water Fund					43.45
06/19/2026	MAIN	141341*	PETE DYKEMA	A01-RES MAIN WATER	22000	0000	2.11	
				MF1-MN DEPT OF HEALTH	22000	0000	4.95	
				WATER BASE FEE	22000	0000	54.58	
			Check MAIN 141341 Total for Fund 601 Water Fund					61.64
06/19/2026	MAIN	141351	ROBERT TUMA	WATER BASE FEE	22000	0000	308.38	
06/19/2026	MAIN	141366*	THOMAS CAMPBELL	A01-RES MAIN WATER	22000	0000	1.91	
				MF1-MN DEPT OF HEALTH	22000	0000	2.54	
				WATER BASE FEE	22000	0000	28.07	
			Check MAIN 141366 Total for Fund 601 Water Fund					32.52
06/19/2026	MAIN	141371*	WAYNE KELLER	A01-RES MAIN WATER	22000	0000	4.08	
				MF1-MN DEPT OF HEALTH	22000	0000	0.74	

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Fund: 601 Water Fund							
Dept: 0000 Revenue							
				WATER BASE FEE	22000	0000	8.13
			Check MAIN 141371 Total for Fund 601 water Fund				<u>12.95</u>
06/19/2026	MAIN	141372*	WHITEFISH HOMES LLC	A01-RES MAIN WATER	22000	0000	0.21
				MF1-MN DEPT OF HEALTH	22000	0000	1.31
				WATER BASE FEE	22000	0000	14.51
			Check MAIN 141372 Total for Fund 601 water Fund				<u>16.03</u>
Total For Dept: 0000							<u>912.02</u>
Dept: 6000 water							
06/19/2026	MAIN	141248**	AMPION PBC	Electricity	43381	6000	11,291.66
06/19/2026	MAIN	141270	CINTAS CORPORATION	FIRST AID SUPPLIES	42218	6000	100.98
06/19/2026	MAIN	141271**	CITY OF NORTHFIELD	LARSONS: WORK HATS	42218	6000	353.50
06/19/2026	MAIN	141274	CORE & MAIN, LP	HYDRANT PAINT	42222	6000	87.84
				METER BOLTS	42223	6000	222.05
			Check MAIN 141274 Total for Fund 601 water Fund				<u>309.89</u>
06/19/2026	MAIN	141275	COUNTY LINE MATERIALS INC.	ARCHERY RANGE MATERIAL-SAND	45520	6000	62.70
06/19/2026	MAIN	141283**	DSI - DICK'S SANITATION INC	WATER DEPT Refuse Disposal	43389	6000	120.16
06/19/2026	MAIN	141317**	MENARD'S -DUNDAS	BOLTS, LYSOL, PENLIGHT, NAIL SET, BATTER	42218	6000	104.04
				PAINT SUPPLIES, GLOVES	42218	6000	19.06
				TAPE MEASURE AND LOCKING KNIFE	42218	6000	21.87
			Check MAIN 141317 Total for Fund 601 water Fund				<u>144.97</u>
06/19/2026	MAIN	141321	MILESTONE MATERIALS	GRAVEL FOR TRAIL CULVERT	45520	6000	144.10
06/19/2026	MAIN	141335**	NORTHFIELD ACE HARDWARE	HEX BUSHINGS	42218	6000	31.96
				THREAD SEALANT	42218	6000	17.99
				HEX BUSHINGS	42218	6000	8.99
			Check MAIN 141335 Total for Fund 601 water Fund				<u>58.94</u>
06/19/2026	MAIN	141361**	SUMMIT COMPANIES	ANNUAL FIRE EXTINGUISHER INSPECTION	42220	6000	1,950.45
06/19/2026	MAIN	141370**	WATER SYSTEMS COMPANY	DRINKING WATER QTY:3	42218	6000	26.25
				DRINKING WATER QTY:2	42218	6000	17.50
			Check MAIN 141370 Total for Fund 601 water Fund				<u>43.75</u>
06/19/2026	MAIN	141383	XCEL ENERGY	APRIL 2026 USAGE - LOAD PROFILE WELL 3 -	43380	6000	81.84
				APRIL 2026 USAGE - LOAD PROFILE WELL 3 -	43381	6000	429.30
			Check MAIN 141383 Total for Fund 601 water Fund				<u>511.14</u>
06/19/2026	MAIN	141384**	XCEL ENERGY	MAY 2026 - GAS/ELECTRIC USAGE	43380	6000	320.97
				MAY 2026 - GAS/ELECTRIC USAGE	43381	6000	12,056.85
			Check MAIN 141384 Total for Fund 601 water Fund				<u>12,377.82</u>
06/19/2026	MAIN	141385**	XCEL ENERGY	Gas	43380	6000	99.57
				Electricity	43381	6000	5,836.14
			Check MAIN 141385 Total for Fund 601 water Fund				<u>5,935.71</u>
Total For Dept: 6000							<u>33,405.77</u>

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Fund: 601 Water Fund							
Total For Fund: 601							34,317.79
Fund: 602 Sewer Fund							
Dept: 0000 Revenue							
06/19/2026	MAIN	141246*	ALLAN COX	A01-RES SEWER SEWER BASE FEE	22000	0000	11.34
					22000	0000	12.18
			Check MAIN 141246	Total for Fund 602 Sewer Fund			23.52
06/19/2026	MAIN	141280*	DAVID SCHOENBAUER	A01-RES SEWER SEWER BASE FEE	22000	0000	9.66
					22000	0000	2.32
			Check MAIN 141280	Total for Fund 602 Sewer Fund			11.98
06/19/2026	MAIN	141288*	GEORGE BROPHY	A01-RES SEWER SEWER BASE FEE	22000	0000	5.29
					22000	0000	5.27
			Check MAIN 141288	Total for Fund 602 Sewer Fund			10.56
06/19/2026	MAIN	141314*	MARILYN FINNESETH	A01-RES SEWER SEWER BASE FEE	22000	0000	24.69
					22000	0000	22.44
			Check MAIN 141314	Total for Fund 602 Sewer Fund			47.13
06/19/2026	MAIN	141341*	PETE DYKEMA	A01-RES SEWER SEWER BASE FEE	22000	0000	4.95
					22000	0000	40.54
			Check MAIN 141341	Total for Fund 602 Sewer Fund			45.49
06/19/2026	MAIN	141366*	THOMAS CAMPBELL	A01-RES SEWER SEWER BASE FEE	22000	0000	4.50
					22000	0000	20.85
			Check MAIN 141366	Total for Fund 602 Sewer Fund			25.35
06/19/2026	MAIN	141371*	WAYNE KELLER	A01-RES SEWER SEWER BASE FEE	22000	0000	9.57
					22000	0000	6.04
			Check MAIN 141371	Total for Fund 602 Sewer Fund			15.61
06/19/2026	MAIN	141372*	WHITEFISH HOMES LLC	A01-RES SEWER SEWER BASE FEE	22000	0000	0.50
					22000	0000	10.77
			Check MAIN 141372	Total for Fund 602 Sewer Fund			11.27
Total For Dept: 0000							190.91
Dept: 6100 Wastewater							
06/19/2026	MAIN	141247*#	AMAZON CAPITAL SERVICES	COMPRESSOR OIL MNERAL OIL FOR CALIBRATING PRESS DOOR KEYS	42212	6100	389.41
					42222	6100	102.96
					42218	6100	9.49
			Check MAIN 141247	Total for Fund 602 Sewer Fund			501.86
06/19/2026	MAIN	141264*#	CENTRAL FARM SERVICE	APRIL 2026 FUEL CHARGES MAY 2026 FUEL	42212	6100	335.48
					42212	6100	509.89
			Check MAIN 141264	Total for Fund 602 Sewer Fund			845.37
06/19/2026	MAIN	141271*#	CITY OF NORTHFIELD	MN POLLUTION CONTROL - AM, BB	43333	6100	1,195.16
06/19/2026	MAIN	141283*#	DSI - DICK'S SANITATION INC	WWTP ROLL OFF Refuse Disposal WWTP Refuse Disposal	43389	6100	125.74
					43389	6100	1,174.28
			Check MAIN 141283	Total for Fund 602 Sewer Fund			1,300.02
06/19/2026	MAIN	141290*#	GRAINGER	AIR FILTERS MOTOR BEARINGS	42220	6100	276.36
					42222	6100	31.46

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Fund: 602 Sewer Fund							
Dept: 6100 Wastewater							
		Check MAIN 141290	Total for Fund 602 Sewer Fund				307.82
06/19/2026	MAIN	141291	GRAYMONT (WI) LLC	BULK GROUND LIME	42232	6100	9,477.38
06/19/2026	MAIN	141299	INGERSOLL RAND COMPANY	AIR DRYER FOR PRETREATMENT AIR COMPRESSO	42222	6100	4,558.49
06/19/2026	MAIN	141301	INTEGRITY MUNICIPAL SYSTEMS LLC	ODOR SCRUBBER DUCTING REPAIRS	42222	6100	9,950.00
06/19/2026	MAIN	141317**	MENARD'S -DUNDAS	FLY/INSECT TRAP AND BATTERIES	42218	6100	8.62
				GARBAGE BAGS, DEGREASER, DUSTER, CLEANIN	42218	6100	232.98
		Check MAIN 141317	Total for Fund 602 Sewer Fund				241.60
06/19/2026	MAIN	141319**	MIDWEST MACHINERY CO.	HY-GARD 1 GAL AND PLUG	42222	6100	29.09
06/19/2026	MAIN	141369	UTILITY CONSULTANTS, INC	DUNDAS WATER SAMPLES - MAY & JUNE	42216	6100	562.98
				WATER SAMPLES - APRIL & MAY	42216	6100	4,874.36
		Check MAIN 141369	Total for Fund 602 Sewer Fund				5,437.34
06/19/2026	MAIN	141370**	WATER SYSTEMS COMPANY	DRINKING WATER QTY: 3	42218	6100	26.25
06/19/2026	MAIN	141384**	XCEL ENERGY	MAY 2026 - GAS/ELECTRIC USAGE	43380	6100	1,941.53
				MAY 2026 - GAS/ELECTRIC USAGE	43381	6100	357.34
		Check MAIN 141384	Total for Fund 602 Sewer Fund				2,298.87
06/19/2026	MAIN	141385**	XCEL ENERGY	Electricity	43381	6100	27,832.49
06/19/2026	MAIN	141386	XCEL ENERGY	APRIL 2026 GAS USAGE - WASTEWATER	43380	6100	2,617.62
Total For Dept: 6100							66,619.36
Total For Fund: 602							66,810.27
Fund: 603 Garbage Fund							
Dept: 0000 Revenue							
06/19/2026	MAIN	141246*	ALLAN COX	N02-GARBAGE -35 GALL	22000	0000	15.66
				N02-GARBAGE -35 GALL	22000	0000	1.53
		Check MAIN 141246	Total for Fund 603 Garbage Fund				17.19
06/19/2026	MAIN	141257*	BERNICE C PULJU	Y01-64 YARD WASTE	22000	0000	8.55
				N04-GARBAGE -96 GALL	22000	0000	36.67
				N04-GARBAGE -96 GALL	22000	0000	3.58
		Check MAIN 141257	Total for Fund 603 Garbage Fund				48.80
06/19/2026	MAIN	141280*	DAVID SCHOENBAUER	N04-GARBAGE -96 GALL	22000	0000	5.18
				N04-GARBAGE -96 GALL	22000	0000	0.51
				Y21-96 YARD WASTE	22000	0000	1.21
		Check MAIN 141280	Total for Fund 603 Garbage Fund				6.90
06/19/2026	MAIN	141288*	GEORGE BROPHY	N03-GARBAGE -64 GALL	22000	0000	9.21
				N03-GARBAGE -64 GALL	22000	0000	0.90
		Check MAIN 141288	Total for Fund 603 Garbage Fund				10.11
06/19/2026	MAIN	141314*	MARILYN FINNESETH	N02-GARBAGE -35 GALL	22000	0000	28.82
				N02-GARBAGE -35 GALL	22000	0000	2.82
		Check MAIN 141314	Total for Fund 603 Garbage Fund				31.64

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Check Date	Bank Account	Check #	Payee	Description	Account	Dept	Amount
Fund: 603 Garbage Fund							
Dept: 0000 Revenue							
06/19/2026	MAIN	141341*	PETE DYKEMA	N02-GARBAGE -35 GALL	22000	0000	52.06
				N02-GARBAGE -35 GALL	22000	0000	5.09
			Check MAIN 141341	Total for Fund 603 Garbage Fund			57.15
06/19/2026	MAIN	141366*	THOMAS CAMPBELL	N03-GARBAGE -64 GALL	22000	0000	36.35
				N03-GARBAGE -64 GALL	22000	0000	3.55
			Check MAIN 141366	Total for Fund 603 Garbage Fund			39.90
06/19/2026	MAIN	141371*	WAYNE KELLER	N03-GARBAGE -64 GALL	22000	0000	10.52
				N03-GARBAGE -64 GALL	22000	0000	1.03
			Check MAIN 141371	Total for Fund 603 Garbage Fund			11.55
06/19/2026	MAIN	141372*	WHITEFISH HOMES LLC	N01-GARBAGE -20 GALL	22000	0000	12.47
				N01-GARBAGE -20 GALL	22000	0000	1.22
			Check MAIN 141372	Total for Fund 603 Garbage Fund			13.69
Total For Dept: 0000							236.93
Dept: 6200 Garbage							
06/19/2026	MAIN	141259*#	BIG TOP TENT RENTAL, INC.	COMPOST PORTABLE	43300	6200	53.50
				COMPOST PORTABLE SERVICES	43300	6200	53.50
			Check MAIN 141259	Total for Fund 603 Garbage Fund			107.00
06/19/2026	MAIN	141283*#	DSI - DICK'S SANITATION INC	COMPOST SITE Refuse Disposal	43389	6200	410.42
06/19/2026	MAIN	141348	RICE COUNTY SOLID WASTE MANAGEMENT	APRIL 2026 LANDFILL CHARGES : 244.12 TON	43388	6200	14,891.32
				MAY 2026 LANDFILL CHARGES: 252.31 TONS	43388	6200	15,390.91
			Check MAIN 141348	Total for Fund 603 Garbage Fund			30,282.23
06/19/2026	MAIN	141384*#	XCEL ENERGY	MAY 2026 - GAS/ELECTRIC USAGE	43381	6200	46.48
Total For Dept: 6200							30,846.13
Total For Fund: 603							31,083.06
Fund: 604 Storm Water Drainage							
Dept: 0000 Revenue							
06/19/2026	MAIN	141246*	ALLAN COX	STW-STORM WATER	22000	0000	6.73
06/19/2026	MAIN	141257*	BERNICE C PULJU	STW-STORM WATER	22000	0000	24.36
06/19/2026	MAIN	141280*	DAVID SCHOENBAUER	STW-STORM WATER	22000	0000	3.19
06/19/2026	MAIN	141288*	GEORGE BROPHY	STW-STORM WATER	22000	0000	2.57
06/19/2026	MAIN	141314*	MARILYN FINNESETH	STW-STORM WATER	22000	0000	24.00
06/19/2026	MAIN	141341*	PETE DYKEMA	STW-STORM WATER	22000	0000	17.66
06/19/2026	MAIN	141366*	THOMAS CAMPBELL	STW-STORM WATER	22000	0000	10.40
06/19/2026	MAIN	141371*	WAYNE KELLER	STW-STORM WATER	22000	0000	2.63
06/19/2026	MAIN	141372*	WHITEFISH HOMES LLC	STW-STORM WATER	22000	0000	22.61
Total For Dept: 0000							114.15
Dept: 6300 Storm Water Drainage							

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Check Date	Bank Account	Check #	Payee	Description	Account	Dept	Amount
Fund: 604 Storm Water Drainage							
Dept: 6300 Storm Water Drainage							
06/19/2026	MAIN	141247**	AMAZON CAPITAL SERVICES	SPILL KITS	42218	6300	437.72
				SPILL KITS	42218	6300	132.94
				SPILL KIT	42218	6300	106.77
			Check MAIN 141247	Total for Fund 604 Storm Water Drainage			<u>677.43</u>
06/19/2026	MAIN	141344	PRAIRIE RESTORATIONS, INC.	Spring Seeding-Spring Crk wetland	43300	6300	2,235.00
Total For Dept: 6300							<u>2,912.43</u>
Total For Fund: 604							<u>3,026.58</u>
Fund: 609 Liquor Store							
Dept: 6400 Liquor Store - Purchases							
06/19/2026	MAIN	141253	ARTISAN BEER COMPANY	THC	42251	6400	140.80
				THC	42251	6400	64.25
				Beer Purchases	42251	6400	579.65
				Beer CREDIT	42251	6400	(36.96)
			Check MAIN 141253	Total for Fund 609 Liquor Store			<u>747.74</u>
06/19/2026	MAIN	141256	BELLBOY CORPORATION	Freight Costs	42259	6400	3.00
				Liquor Purchases	42251	6400	269.45
				THC	42251	6400	304.00
				Freight Costs	42259	6400	6.00
				Freight Costs	42259	6400	14.84
				Liquor Purchases	42251	6400	1,300.32
				Misc Taxable Purchases	42251	6400	22.40
				Freight Costs	42259	6400	2.66
				THC	42251	6400	164.00
				Freight Costs	42259	6400	4.00
				Liquor CREDIT	42251	6400	(4.50)
			Check MAIN 141256	Total for Fund 609 Liquor Store			<u>2,086.17</u>
06/19/2026	MAIN	141260	BREAKTHRU BEV MN BEER, INC	Liquor Purchases	42251	6400	700.03
				Misc Taxable Purchases	42251	6400	184.00
				Beer Purchases	42251	6400	111.00
				Beer Purchases	42251	6400	10,112.90
				Misc Taxable Purchases	42251	6400	215.00
				Liquor Purchases	42251	6400	2,142.86
				Beer Credit	42251	6400	(13.89)
				Beer Credit	42251	6400	(2.36)
				Beer Credit	42251	6400	(5.40)
				Beer Credit	42251	6400	(5.40)
			Check MAIN 141260	Total for Fund 609 Liquor Store			<u>13,438.74</u>
06/19/2026	MAIN	141261	BREAKTHRU BEV MN WINE & SPIRITS	Misc Non-Taxable Purchases	42251	6400	24.00
				Misc Taxable Purchases	42251	6400	30.11
				Freight Costs	42259	6400	21.86
				Wine Purchases	42251	6400	335.80
				Liquor Purchases	42251	6400	700.08
				Freight Costs	42259	6400	23.38
				Wine Purchases	42251	6400	307.88
				Liquor Purchases	42251	6400	776.52

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Fund: 609 Liquor Store							
Dept: 6400 Liquor Store - Purchases							
Check MAIN 141261 Total for Fund 609 Liquor Store							2,219.63
06/19/2026	MAIN	141265	CHAPEL BREWING	Beer Purchases	42251	6400	75.00
06/19/2026	MAIN	141273	COLLEGE CITY BEVERAGE, INC.	Misc Taxable Purchases	42251	6400	192.50
				Beer Purchases	42251	6400	9,152.55
				Freight Costs	42259	6400	7.00
				Wine Purchases	42251	6400	41.25
				Liquor Purchases	42251	6400	2,706.85
				Freight Costs	42259	6400	3.00
				Liquor Purchases	42251	6400	2,046.10
				Misc Taxable Purchases	42251	6400	321.40
				Beer Purchases	42251	6400	4,523.45
				Freight Costs	42259	6400	7.00
				Beer Credit	42251	6400	(35.40)
Check MAIN 141273 Total for Fund 609 Liquor Store							18,965.70
06/19/2026	MAIN	141289	GLOBAL RESERVE DISTRIBUTION	THC	42251	6400	384.00
				Liquor Purchases	42251	6400	228.00
Check MAIN 141289 Total for Fund 609 Liquor Store							612.00
06/19/2026	MAIN	141294	HOHENSTEIN'S INC	Beer Purchases	42251	6400	939.05
				Liquor Purchases	42251	6400	67.20
				Beer Purchases	42251	6400	461.00
Check MAIN 141294 Total for Fund 609 Liquor Store							1,467.25
06/19/2026	MAIN	141295	HOME CITY ICE COMPANY	Freight Costs	42259	6400	6.50
				Ice Purchases	42251	6400	135.32
Check MAIN 141295 Total for Fund 609 Liquor Store							141.82
06/19/2026	MAIN	141297	IMMINENT BREWING LLC	Beer Purchases	42251	6400	302.40
06/19/2026	MAIN	141302	JOHNSON BROTHERS WHOLESale	Wine Purchases	42251	6400	1,055.25
				Freight Costs	42259	6400	23.40
				Liquor Purchases	42251	6400	910.00
				Freight Costs	42259	6400	13.65
				Liquor Purchases	42251	6400	1,411.57
				Freight Costs	42259	6400	29.58
				Wine Purchases	42251	6400	320.00
				Freight Costs	42259	6400	9.75
				Misc Taxable Purchases	42251	6400	41.50
				Wine Purchases	42251	6400	942.35
				Freight Costs	42259	6400	23.90
				Liquor Purchases	42251	6400	2,867.77
				Freight Costs	42259	6400	25.84
Check MAIN 141302 Total for Fund 609 Liquor Store							7,674.56
06/19/2026	MAIN	141315	MEGA BEER LLC	BEER Purchases	42251	6400	249.75
06/19/2026	MAIN	141324	MONTGOMERY BREWING	Beer Purchases	42251	6400	62.00
06/19/2026	MAIN	141334	NORTH STAR HEMP LLC	Liquor Purchases	42251	6400	130.00
06/19/2026	MAIN	141338	OXFORD STREET MERCHANTS	Freight Costs	42259	6400	17.55

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Check Date	Bank Account	Check #	Payee	Description	Account	Dept	Amount
Fund: 609 Liquor Store							
Dept: 6400 Liquor Store - Purchases							
				Wine Purchases	42251	6400	912.00
				Freight Costs	42259	6400	5.85
				Wine Purchases	42251	6400	150.00
			Check MAIN 141338 Total for Fund 609 Liquor Store				<u>1,085.40</u>
06/19/2026	MAIN	141339	PAUSTIS & SONS WINE COMPANY	Freight Costs	42259	6400	10.50
				Wine Purchases	42251	6400	800.00
			Check MAIN 141339 Total for Fund 609 Liquor Store				<u>810.50</u>
06/19/2026	MAIN	141342	PHILLIPS WINE AND SPIRITS, INC.	Freight Costs	42259	6400	50.70
				Wine Purchases	42251	6400	1,173.75
				Liquor Purchases	42251	6400	493.50
				Freight Costs	42259	6400	13.65
				Liquor Purchases	42251	6400	154.35
				Wine Purchases	42251	6400	567.90
				Freight Costs	42259	6400	23.40
				Misc Taxable Purchases	42251	6400	176.00
				Freight Costs	42259	6400	9.75
				Liquor Purchases	42251	6400	564.65
				Freight Costs	42259	6400	40.95
				Liquor Purchases	42251	6400	3,468.21
				Misc Taxable Purchases	42251	6400	33.50
				Wine Purchases	42251	6400	705.25
				Liquor Purchases	42251	6400	268.50
			Check MAIN 141342 Total for Fund 609 Liquor Store				<u>7,744.06</u>
06/19/2026	MAIN	141345	PRYES BREWING COMPANY	Beer Purchases	42251	6400	120.00
06/19/2026	MAIN	141356	SOCIABLE CIDER WERKS	Beer Purchases	42251	6400	211.00
06/19/2026	MAIN	141358	SOUTHERN WINE & SPIRITS OF MN, LLC	Freight Costs	42259	6400	14.00
				Wine Purchases	42251	6400	525.08
				Freight Costs	42259	6400	2.33
				Freight Costs	42259	6400	32.13
				Liquor Purchases	42251	6400	4,052.66
				Freight Costs	42259	6400	8.40
				Wine Purchases	42251	6400	588.13
				Freight Costs	42259	6400	1.40
				Freight Costs	42259	6400	18.55
				Liquor Purchases	42251	6400	2,016.64
				Freight Costs	42259	6400	19.60
				Wine Purchases	42251	6400	1,264.13
			Check MAIN 141358 Total for Fund 609 Liquor Store				<u>8,543.05</u>
06/19/2026	MAIN	141362	SXSE BREWING	Beer Purchases	42251	6400	68.00
06/19/2026	MAIN	141373	WINE COMPANY	Misc Taxable Purchases	42251	6400	128.00
				Freight Costs	42259	6400	36.70
				Wine Purchases	42251	6400	1,305.33
			Check MAIN 141373 Total for Fund 609 Liquor Store				<u>1,470.03</u>
Total For Dept: 6400							<u>68,224.80</u>

CHECK DISBURSEMENT REPORT FOR CITY OF NORTHFIELD

CHECK DATE 06/15/2026 - 06/19/2026

Check Date	Bank Account	Check #	Payee	Description	Account	Dept	Amount
Fund: 609 Liquor Store							
Dept: 6410 Liquor Store - Operations							
06/19/2026	MAIN	141248**	AMPION PBC	Electricity	43381	6410	1,625.35
06/19/2026	MAIN	141269**	CINTAS	ENTRY RUGS	42220	6410	40.27
06/19/2026	MAIN	141323	MN MUNICIPAL BEVERAGE ASSOC.	MMBA MEMBERSHIP DUES 26-27	44463	6410	1,700.00
06/19/2026	MAIN	141384**	XCEL ENERGY	MAY 2026 - GAS/ELECTRIC USAGE	43380	6410	59.60
				MAY 2026 - GAS/ELECTRIC USAGE	43381	6410	1,235.04
			Check MAIN 141384	Total for Fund 609 Liquor Store			<u>1,294.64</u>
Total For Dept: 6410							<u>4,660.26</u>
Total For Fund: 609							<u>72,885.06</u>
Fund: 701 Information Tech							
Dept: 4140 Information Technology							
06/19/2026	MAIN	141247**	AMAZON CAPITAL SERVICES	Brother PJ-823 PocketJet printers for Po	42210	4140	2,229.50
				Phone case and mice	42218	4140	73.93
				Brother TN730 2-pk toner	42218	4140	96.98
				iPhone 17e case - IT	42218	4140	16.99
				Adjustable Laptop Stand for Risi	42218	4140	35.99
			Check MAIN 141247	Total for Fund 701 Information Tech			<u>2,453.39</u>
06/19/2026	MAIN	141267**	CHARTER COMMUNICATIONS	City Hall - backup internet	43320	4140	204.33
				Transit Hub - phone, internet	43320	4140	227.87
			Check MAIN 141267	Total for Fund 701 Information Tech			<u>432.20</u>
06/19/2026	MAIN	141271**	CITY OF NORTHFIELD	Google workspace - City	43300	4140	453.60
				LTT Truespec USB-C cables	42218	4140	68.53
				Shipping - failed seagate hard drive	42210	4140	19.89
				Safety glasses, drill bit, gloves - IT	42218	4140	49.90
				Canva Pro - Library	43300	4140	119.99
				ChatGPT - Library	43300	4140	20.00
				ChatGPT - IT	43300	4140	20.00
				Mailchimp - Library	43300	4140	60.00
				Extreme 5520-48W 48-port switches	42210	4140	1,768.73
				ChatGPT - Library 2	43300	4140	20.00
				ChatGPT - Administration	43300	4140	20.00
			Check MAIN 141271	Total for Fund 701 Information Tech			<u>2,620.64</u>
06/19/2026	MAIN	141279	CUSTOM ALARM	Video Camera SaaS Deluxe - Police	43300	4140	1,879.20
06/19/2026	MAIN	141318**	METRONET HOLDINGS LLC	Police - phones, internet, long distance	43320	4140	644.51
				City dark fiber connections	43320	4140	533.34
			Check MAIN 141318	Total for Fund 701 Information Tech			<u>1,177.85</u>
Total For Dept: 4140							<u>8,563.28</u>
Total For Fund: 701							<u>8,563.28</u>
Fund: 705 Insurance Fund							
Dept: 7000 Insurance							
06/19/2026	MAIN	141310	LEAGUE OF MN CITIES INS TRUST	3RD QTR WC PREMIUM	41151	7000	62,223.00
				CLAIM #00531156	41151	7000	176.02
				CLAIM #00529546	41151	7000	368.77

CHECK DISBURSEMENT REPORT FOR CITY OF NORTHFIELD

CHECK DATE 06/15/2026 - 06/19/2026

Check Date	Bank Account	Check #	Payee	Description	Account Dept	Amount
Fund: 705 Insurance Fund						
Dept: 7000 Insurance						
				PROP/CASUALTY PREMIUM	43361 7000	55,826.00
			Check MAIN 141310 Total for Fund 705 Insurance Fund			<u>118,593.79</u>
Total For Dept: 7000						<u>118,593.79</u>
Total For Fund: 705						<u>118,593.79</u>
Report Total:						<u>2,789,895.39</u>
'*'-INDICATES CHECK DISTRIBUTED TO MORE THAN ONE FUND						
'#'-INDICATES CHECK DISTRIBUTED TO MORE THAN ONE DEPARTMENT						



Legislation Text

File #: Res. 2026-064, **Version:** 1

City Council Meeting Date: July 7, 2026

To: Mayor and City Council
City Administrator

From: Lynette Peterson, City Clerk

Consider Resolution Appointing Election Judges for the 2026 Primary and General Elections.

Action Requested:

The Northfield City Council hereby:

1. Approves appointment of election judges as shown on Exhibit A for the 2026 Primary Election and General elections; and
2. Authorizes the City Clerk to appoint additional election judges as needed.

Summary Report:

The City Council is being asked to appoint election judges for the upcoming Primary and General elections and authorize the City Clerk to appoint additional judges as needed. The Primary election is August 11, 2026 and the General election is November 3, 2026.

Staff will continue to recruit judges during the weeks leading up to the Primary and General elections as needed. City staff members have also been named as election judges in order to assist with various election activities.

Absentee voting is available at Northfield City Hall for the Primary and General elections. In addition to all City of Northfield ballots, we have ballots for all precincts in Rice County. Rice County will continue to process all voted Rice County absentee ballots using their absentee ballot board. Dakota County will process all voted Dakota County absentee ballots using their absentee ballot board.

State law requires employers to give employees time off to serve as a poll worker on Election Day and to receive the mandatory training required to be an election judge if the training is held during an employee's regularly scheduled hours of work.

Alternative Options:

N/A

Financial Impacts:

The 2026 elections budget contains \$97,700.00 for election judge pay for the two elections.

Tentative Timelines:

N/A

CITY OF NORTHFIELD, MN
CITY COUNCIL RESOLUTION 2026-064
APPOINTING ELECTION JUDGES FOR THE 2026 PRIMARY
AND GENERAL ELECTIONS

WHEREAS, Minnesota Statute 204B.21 requires that election judges for precincts in a municipality shall be appointed by the governing body of the municipality; and

WHEREAS, Minnesota Statute 204B.21 permits the appointment of judges of election on an emergency basis by the Rice County Property Tax Administrator and Elections Director, Dakota County Auditor or the City of Northfield City Clerk; and

WHEREAS, the Rice County Property Tax Administrator and Elections Director and Dakota County Auditor has designated the City Clerk of the City of Northfield, Minnesota, as the responsible authority for the conduct of the 2026 Primary and General Elections in the City of Northfield, Minnesota;

NOW, THEREFORE BE IT RESOLVED, that the attached list of eligible voters, listed in Exhibit A, are hereby appointed election judges for the Primary Election held on August 11, 2026 and the General Election held on November 3, 2026.

ALSO, BE IT RESOLVED, that the City Clerk is hereby authorized and directed to determine the number of judges in each precinct and to fill vacancies in the event that any of the aforesaid appointed judges cannot fulfill their responsibilities as required by law.

PASSED by the City Council of the City of Northfield on this 7th day of July, 2026.

ATTEST

City Clerk

Mayor

VOTE: ___ ZWEIFEL ___ BEUMER ___ DAHLEN ___ HOLMES
 ___ NESS ___ PETERSON WHITE ___ SOKUP

Exhibit A
2026 Election Judges as of June 30, 2026

Grant Luther	Aaseng	Paula	Goode	Holly	Nordahl
Rick	Albin	Leota	Goodney	Kelli	Nowak
Laura Kay	Allen	Barb	Greenfield	Joan	Odd
Bruce	Anderson	John	Greenfield	Pam	O'Hara
David	Ashmore	Mary	Griep	Duane	Olawsky
Nancy	Ashmore	Robyn	Gunderson	Douglas	Olmanson
Martha	Baird	Debbie	Hadas	Mary	Olson
Katherine	Baker	Anne	Haga	Vickie	Patton
Nancy	Barbour	Robert	Hanson	Diane	Pearsall
Laura	Berdahl	Bradley	Haugen	Elizabeth	Pence
Ben	Berglund	Peggy Anne	Hawkins	Heidi	Peterson
Adam	Berliner	Katlin	Heidgerken-Greene	Lynette	Peterson
William	Bleckwehl	Katherine	Helgen	Tamarra	Peterson
Kari	Bonde	Melvin	Henrichs	Amy	Pfefferle
Mary Jo	Borden	Sara	Hoffman	Sandy	Pieri
Sara	Bright	Daniel	Hollerung	James	Pierret
Kate	Buckmeier	Paul	Jackson	Jane	Poskanzer
Merilyn	Calcutt	Susan	Jacobsen	James	Prichard
Linda	Campbell-Laman	Kristine	Jacobson	Susanne	Ratcliffe Wilson
Mary	Carlsen	Herman	Jass	Josie	Rawson
Paula	Case	Jane	Jeffrey	Ryan	Redetzke
James	Cederberg	Randolph	Jennings	Arleen	Roberts
Rodney	Christensen	Teresa	Jensen	Matthew	Rohn
Steven	Ciernia	Mary	Johnson	Tom	Rohs
Aisling	Cox	Patricia	Johnson	Paul	Ruppel
Kirsten	Croone	Patricia	Jorstad	Jane	Sarles Larson
Linda	Dahl	George	Kinney	Heather	Scott
Mary	Davidson	James	Koch	Deric	Selchow
Kathleen	Doran-Norton	Rose	Koktavy	Wendy	Sivanich
James	Driver	Kathy	Kramer	Candy	Taylor
Bonnie	DuPay	Cindy	Kreis	Richard	Truman
Wayne	Eisenhuth	Katie	Lane	Sherry	Truman
Christine	Ellison	Anne	Larson	Gerald	Ugland
Jim	Evans	Carrie	Lennox	David	Wagman
Kade	Evans	Edward	Malnar	Jean	Wakely
Mary Jill	Ewald	Natalie	Marfleet	Howard	White
Mary	Fiebiger	Stacey	McGowan Olson	Janet	White
Kirsten	Fjeld Zillmer	Susan	McKinstry	Bruce	Wiese
Will	Flannery	Gabriel	Meerts	Gary	Wilkerson
Barb	Fowler	Alyssa	Melby	Bob	Williams
Kathy	Fredrickson	Constance	Merrell	Warren	Winkelman
Stephen	Gammon	Rebecca	Messer	Margaret	Witt
Adrian	Garcia	Janet	Mitchell	Stephanie	Wolle
Sandra	Gates	Julianne	Moore	Robert	Yanda Jr.
Kristin	Gates Johnson	Hans	Muessig	Lynn	Ziegler
Ron	Glodfelty	Kari	Nelson	Timothy	Ziegler



Legislation Text

File #: 26-350, Version: 1

City Council Meeting Date: July 7, 2026

To: Mayor and City Council
City Administrator

From: Lynette Peterson, City Clerk
Jeff Schroepfer, Chief of Police

Consider Approval of a Temporary Liquor License for Tanzenwald Brewing Company, LLC dba Tanzenwald Brewing Company for August 20, 2026 for the Friends of Downtown Northfield Third Thursday Event.

Action Requested:

The Northfield City Council hereby approves a temporary on-sale intoxicating liquor license for Tanzenwald Brewing Company, LLC dba Tanzenwald Brewing Company for August 20, 2026 for the Friends of Downtown Northfield Third Thursday event subject to the following:

- a. Applicant is responsible to ensure compliance with all local and state regulations.
- b. Non-compliance with conditions will result in the license being revoked.
- c. License shall be issued upon:
 1. Completion and submission of all required documents.
 2. Receipt of approval from Alcohol & Gambling Enforcement Division.
 3. Approval of event layout and enclosures by the Chief of Police or designee.

Summary Report:

The City Council is being asked to consider approval of the above motion for a temporary liquor license for Tanzenwald Brewing Company, LLC dba Tanzenwald Brewing Company on August 20, 2026 at the Friends of Downtown Northfield Third Thursday event. Temporary on-sale liquor licenses are approved by the City and issued by the Minnesota Department of Public Safety Alcohol and Gambling Enforcement Division.

Staff discussed the event with representatives of Tanzenwald Brewing Company. The event will be held in Bridge Square and the surrounding streets as part of the Friends of Downtown Northfield Third Thursday event. Tanzenwald Brewing Company applied for a temporary liquor license in 2025 for one event. The licensed area will be monitored by event staff with barricades at entrances of the area alcohol will be served.

In addition to clubs, charitable, religious, or other nonprofit organizations, the City may issue to a brewer who manufactures fewer than 3,500 barrels of malt liquor in a year or a microdistillery, a temporary license for the on-sale of intoxicating liquor in connection with a social event within the municipality sponsored by the brewer or microdistillery. Temporary licenses are limited to a total of 12 days per year, to any one organization or any one location within a 12-month period. This is the first temporary license for Tanzenwald Brewing Company for 2026.

Alternative Options:

N/A

Financial Impacts:

The City receives \$50 for each temporary liquor license.

Tentative Timelines:

Licenses must be sent to the Minnesota Alcohol & Gambling Enforcement Division for review and approval a minimum of 30 days prior to the event.



Legislation Text

File #: 26-351, Version: 1

City Council Meeting Date: July 7, 2026

To: Mayor and City Council
City Administrator

From: Lynette Peterson, City Clerk
Jeff Schroepfer, Chief of Police

Consider Approval of Temporary Liquor Licenses for the Defeat of Jesse James Days Committee.

Action Requested:

The Northfield City Council hereby approves temporary on-sale intoxicating liquor licenses for the Defeat of Jesse James Days Committee as follows:

1. For the Defeat of Jesse James Days event, September 10 - September 13, 2026, at the following locations:
 - a. Entertainment Center - Fifth/Water Street Parking Lot
 - b. Park behind the Fire Station - Fifth Street
 - c. Historical Society - 408 Division Street South (9/10/2026)
 - d. Rodeo Site (North Babcock Park) - Highway #3 South (9/11/2026 - 9/12/2026 only)
2. The following events/locations shall be limited to the sale of wine and malt liquor:
 - a. Entertainment Center - Fifth/Water Street Parking Lot; and
 - b. Park behind the Fire Station - Fifth Street.
3. Hours of sale:
 - a. Thursday, September 10 - 5:00 p.m. - 12:00 midnight
 - b. Friday, September 11 - 4:00 p.m. - 1:00 a.m.
 - c. Saturday, September 12 - 12:00 noon - 1:00 a.m.
 - d. Sunday, September 13 - 12:00 noon - 6:00 p.m.
4. The applicant shall comply with the following conditions:
 - a. Comply with all conditions of the Defeat of Jesse James Days license agreement and community events policy.
 - b. Applicant is responsible to ensure compliance with all local and state regulations.
 - c. Non-compliance with conditions will result in the license being revoked.
 - d. Licenses shall be issued upon completion of successful background check and submission of all required documents.

Summary Report:

The City Council is being asked to consider the above motion for temporary liquor licenses for the Defeat of Jesse James Days Committee for the 2026 events as noted. Temporary on-sale liquor licenses are approved by

the City and issued by the Minnesota Department of Public Safety Alcohol and Gambling Enforcement Division.

DJJD representatives provided the following information related to the liquor licenses:

- The same security company will be used for the event.
- There will be two server training dates offered again this year. Training is conducted by Rice County Chemical Health Coalition. Noted that servers may receive training through other venues (proof must be provided). All servers and Committee members that may be involved with alcohol service are required to be trained.
- Setup at the Entertainment Center and rodeo will remain the same. No pitchers will be sold.
- Everyone must produce an ID to enter the entertainment center. No minors will be allowed after 7 pm.

Staff is in agreement with the conditions as noted above and recommends approval of the temporary licenses.

Alternative Options:

The City Council could delay action, deny the temporary liquor licenses, or amend or modify the conditions to the approval of the temporary liquor licenses.

Financial Impacts:

The City receives \$200 for these two temporary liquor licenses.

Tentative Timelines:

Licenses must be sent to the Minnesota Alcohol & Gambling Enforcement Division for review and approval at a minimum of 30 days prior to the event.



Legislation Text

File #: Res. 2026-065, **Version:** 1

City Council Meeting Date: July 7, 2026

To: Mayor and City Council
City Administrator

From: Lynette Peterson, City Clerk

Approve Application for Off-Site Gambling Permit for the Defeat of Jesse James Days Committee, Inc. at Northfield Ballroom, 450 Montessori Court, on September 9, 2026.

Action Requested:

The Northfield City Council is being asked to consider the attached resolution approving an off-site gambling permit application for the Defeat of Jesse James Days Committee to conduct off-site gambling activities at Northfield Ballroom, 450 Montessori Court, on September 9, 2026.

Summary Report:

The Defeat of Jesse James Days Committee is in the process of applying for a permit to conduct off-site charitable gambling at Northfield Ballroom on September 9, 2026. Pursuant to Gambling Control Board procedures, part of the process includes obtaining City approval of the permit. The off-site gambling permit will allow the Defeat of Jesse James Days Committee to conduct gambling activities at Northfield Ballroom, 450 Montessori Court on September 9, 2026 subject to the rules and regulations of the Minnesota Gambling Control Board. Staff recommends approval.

Alternative Options:

N/A

Financial Impacts:

The City of Northfield receives a \$25 fee for the off-site gambling permit.

Tentative Timelines:

N/A.

CITY OF NORTHFIELD, MN
RESOLUTION 2026-065
APPROVING OFF-SITE GAMBLING PERMIT APPLICATION FOR THE
DEFEAT OF JESSE JAMES DAYS COMMITTEE

WHEREAS, the Defeat of Jesse James Days Committee, Inc. is applying to the Gambling Control Board to conduct off-site gambling activities at Northfield Ballroom, 450 Montessori Court, on September 9, 2026; and

WHEREAS, the City must consider approval or denial of such applications.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL THAT:

The City Council of the City of Northfield hereby approves the application for the Defeat of Jesse James Days Committee, Inc. to conduct off-site gambling activities at Northfield Ballroom, 450 Montessori Court, on September 9, 2026.

PASSED by the City Council of the City of Northfield on this 7th day of July, 2026.

ATTEST

City Clerk

Mayor

VOTE: ___ ZWEIFEL ___ BEUMER ___ DAHLEN ___ HOLMES
 ___ NESS ___ PETERSON WHITE ___ SOKUP



Legislation Text

File #: Res. 2026-066, **Version:** 1

City Council Meeting Date: July 7, 2026

To: Mayor and City Council

From: Ben Martig, City Administrator
Tom Nelson, Northfield Fire Relief Association
Sean Simonson, Northfield Fire Relief Association

Approve the Northfield Fire Relief Association request for fire relief pension benefits

Action Requested:

The City Council approves the Resolution increasing the Pension Benefit Level from \$15,000 per year of service to \$20,000 per year of service to be effective as of January 1, 2027 and approve amendment of the NFRA bylaws Addendum A to reflect the approved benefit level.

Summary Report:

Over the past year plus, the Northfield Fire Relief Association (NFRA) Trustees have reviewed and discussed increasing the Lump Sum Service Pension Benefit from the current \$15,000 benefit level to \$20,000 as permitted by Minnesota Statute 424A.02. At its regular monthly meeting held on June 15, 2026, the Trustees voted unanimously in the affirmative to recommend approval of such a change in benefits referenced above and accordingly to draft the amendment to the NFRA by-laws reflecting same. Such by-law amendment will amend "Addendum A-Table LS-06" (Attachment 2).

The Trustees presented this by-law amendment to the full NFRA membership for approval at the NAFRS Joint Powers Board and their June 18, 2026 meeting.

With this pension benefit increase, the NFRA pension plan continues to fully fund operations and its obligations, requiring no municipal (NAFRS and Party) pension contributions (See Financial Summary below)

Summary Plan Description

A NAFRS paid, on-call fire fighter earns an annual pension benefit based upon each year of service (in good standing) as per the attached Addendum A schedule. Full vesting occurs after twenty (20) years of service vesting at a 40% level after the fifth year of service (no vesting prior to completion of year five (5) and increasing four (4) percentage points each year thereafter until full vesting at again, year twenty (20).

Investments

The benefits of this retirement plan which is a lump sum, defined benefit plan, are supported by investments managed by the State of Minnesota Investment Fund in a diversified investment portfolio. The Trustees monitor and review investment performance monthly. Such review encompasses, among other matters, known and potential fund liquidity needs (retirement distributions and deferred pension benefits (retirees under age

50)), current equity and bond market conditions and the investment allocation. At least annually, an independent investment professional specializing in employee retirement plans meets with the Trustees to review recent fund performance and investment allocation strategies.

Pension Plan Costs

As required by State of Minnesota rules and regulations, the Trustees utilize form “SC-24” obtained from the Minnesota Office of the State Auditor which computes not only the current pension plan cost but also individual member and total plan liabilities. Due to the substantial “over-funding” (plan assets in excess of liabilities), no plan contribution from NAFRS and/or its three (3) parties has been required for many years. NAFRS has not contributed a pension contribution since its inception on September 1, 2014. See accompanying plan financial summary below. In recent years, the only additions to the plan are derived from the State of Minnesota insurance premium tax (Fire and Supplemental Aid) which has resulted in recent years in an annual cash contribution of approximately \$286,047. This contribution, coupled with favorable net investment returns has resulted in a substantial pension plan “over-funding” status. Such “over-funding” status is true at both the \$15,000 and \$20,000 benefit levels (See Financial Summary below and see also accompanying NFRA investment statement as of April 30, 2021.)

2025 GASB Actuarial Audit

Due to City of Northfield financial statement and related audit requirements NFRA is required to engage an independent actuarial study of this pension plan in accordance with GASB 67 and 68 requirements (See GASB review report attached). As suspected, given the methods utilized as compared to a substantially more conservative liability computation method utilized and prescribed by Form SC-23 as referenced above, the resulting plan liabilities under GASB 67 and 68 are significantly less than computed under Form SC-24.

NAFRS engaged Hildi, Inc. to perform a professional study of the estimated Total Pension Liability (TPL or GASB 67) basis as well as on a Minnesota Statutory basis. Such information and the resulting report reflect NAFRS plan information as of January 1, 2026.

Paid On-Call Fire Fighter Compensation

The NFRA pension benefit is essentially the only employee benefit offered our NAFRS paid on- call fire fighters and of course, as referenced above, full vesting occurs only after twenty years of service in good standing. By way of background, there are no other employee benefits other than employer paid FICA/Medicare taxes (benefits) and a group accidental death and dismemberment insurance policy. The hourly wage for fire calls, meetings, and training is \$25.00 per hour. Annually, the average paid on-call NAFRS fire fighter earns less than \$5,000.

Thus, the NFRA Trustees believe this benefit increase is warranted, is feasible (adequate cushion in terms of assets substantially in excess of liabilities) and is a key factor in assuring that not only that we continue to attract outstanding individuals to join our NAFRS organization but provides some assurance that our paid on-call fire fighters will stay with the organization for a long period of time. As has been discussed previously, this favorable employment and fire fighter recruitment situation is uncommon across Minnesota and the Country.

Alternative Options:

N/A

Financial Impacts:

Plan financial status as of December 31, 2025 [\$15,000 annual benefit level]:

Plan assets (principally investments):	\$9,532,000
Plan liabilities, Form SC-26 method [\$15,000/year-benefit level]	\$4,791,000
Plan fund surplus, Form SC-26 method [\$15,000/year]	\$4,768,288
Plan fund surplus %	199%
Plan liabilities, GASB 67 & 68 method [\$15,000/year]	\$4,137,000
Plan fund surplus-GASB method \$5,395,000 [\$15,000/year]	
Plan fund surplus %	230%

Projected Plan financial status as of December 31, 2025 [\$20,000 benefit level]:

Plan assets (principally investments): Form SC-26 method	\$9,532,000
Plan liabilities, Form SC-26 method [\$20,000/year]	\$6,224,000
Plan fund surplus, Form SC26-method [\$20,000/year]	\$3,308,000
Plan fund surplus %	153%
Plan liabilities, GASB 67 & 68 method [\$20,000/year]	\$5,397,000
Plan fund surplus-GASB method [\$20,000/year]	\$4,135,000
Plan fund surplus %	177%

Form SC-26 Calculation of Required Contributions [\$15,000 BENEFIT LEVEL]-

Normal Cost	\$ 440,072
Projected Administrative Expense	\$ 15,991
Amortization of Deficit (none)	\$ 0
Total Pension Cost	\$303,000

10% of Surplus	\$476,829
Fire & Supplemental State Aid	\$294,877
Member Dues	\$ 0
5% of Projected Assets, 12/31/26	<u>\$490,521</u>
Total available to fund contrib.	<u>\$1,262,227</u>

NO REQUIRED CONTRIBUTION-CUSHION \$959,227

Tentative Timelines:

The benefit increase must be approved before year end to take effect on 01/01/2027.

CITY OF NORTHFIELD, MINNESOTA
CITY COUNCIL RESOLUTION 2026-066
NORTHFIELD FIRE RELIEF ASSOCIATION BENEFIT LEVEL INCREASE

WHEREAS, the Northfield Fire Relief Association (NFRA) provides retirement and other benefits to the members and beneficiaries of Northfield Area Fire and Rescue Service (NAFRS); and

WHEREAS, the NFRA recommends an increase in its benefits from the current amount of \$15,000 to \$20,000 per year of service; and

WHEREAS, the NFRA last increased Pension Benefits in 2024; and

WHEREAS, the sole purpose of these funds, managed by the State of Minnesota Investment Fund, is to provide retirement benefits to fire fighters; and

WHEREAS, the recommended benefit increase has been found to meet the definition of "fully funded" as defined in appropriate Minnesota Statutes as substantiated by an audit performed by a professional accounting firm in 2023, and

WHEREAS, the Joint Powers Agreement establishing the NAFRS, in paragraph 13, assigns to NAFRS the responsibility for supporting and funding the NFRA; and

WHEREAS, the NAFRS Board approved Resolution 2026-0601 an increase in its benefits from the current amount of \$15,000 to \$20,000 per year of service at their June 18, 2026 meeting; and

WHEREAS, State Statutes require the participating political subdivisions to also authorize any change in the pension levels.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL THAT:
the Northfield City Council finds this change to be responsible and prudent and approves the increase for the Northfield Fire Relief Association annual retirement benefit level for its paid-on-call fire fighters from \$15,000 to \$20,000 effective on January 1, 2027, and approve amendment to the NFRA bylaws Amendment A to reflect the approved benefit level.

PASSED by the City Council of the City of Northfield on this 7th day of July, 2026.

ATTEST

City Clerk

Mayor

VOTE: ___ ZWEIFEL ___ BEUMER ___ DAHLEN ___ HOLMES
 ___ NESS ___ PETERSON WHITE ___ SOKUP

Addendum A

Table LS-06

Date

Approved by NAFRS Board,

5/18/2026

LUMP SUM SERVICE PENSION

EFFECTIVE 1/1/2027

\$20,000 BENEFIT LEVEL

Formula (Years X Level X Percentage)

<u>Years of Service</u>	<u>\$ Level</u>	<u>Percentage</u>	<u>Amount</u>
5	\$20,000	40%	\$40,000
6	\$20,000	44%	\$52,800
7	\$20,000	48%	\$67,200
8	\$20,000	52%	\$83,200
9	\$20,000	56%	\$100,800
10	\$20,000	60%	\$120,000
11	\$20,000	64%	\$140,800
12	\$20,000	68%	\$163,200
13	\$20,000	72%	\$187,200
14	\$20,000	76%	\$212,800
15	\$20,000	80%	\$240,000
16	\$20,000	84%	\$268,800
17	\$20,000	88%	\$299,200
18	\$20,000	92%	\$331,200
19	\$20,000	96%	\$364,800
20	\$20,000	100%	\$400,000 BASE
21	BASE + \$20,000		\$420,000
22	BASE + \$40,000		\$440,000
23	BASE + \$60,000		\$460,000
24	BASE + \$80,000		\$480,000
25	BASE + \$100,000		\$500,000
26	BASE + \$120,000		\$520,000
27	BASE + \$140,000		\$540,000
28	BASE + \$160,000		\$560,000
29	BASE + \$180,000		\$580,000
30	BASE + \$200,000		\$600,000
31	BASE + \$220,000		\$620,000
32	BASE + \$240,000		\$640,000
33	BASE + \$260,000		\$660,000
34	BASE + \$280,000		\$680,000
35	BASE + \$300,000		\$700,000

No maximum years of service

NORTHFIELD AREA FIRE AND RESCUE SERVICE
JOINT POWERS BOARD RESOLUTION 2026-0601
NORTHFIELD FIRE RELIEF ASSOCIATION BENEFIT LEVEL INCREASE

WHEREAS, the Northfield Fire Relief Association (NFRA) provides retirement and other benefits to the members and beneficiaries of Northfield Area Fire and Rescue Service (NAFRS); and

WHEREAS, the NFRA recommends an increase in its benefits from the current amount of \$15,000 to \$20,000 per year of service; and

WHEREAS, the NFRA last increased Pension Benefits in 2024; and

WHEREAS, the sole purpose of these funds, managed by the State of Minnesota Investment Fund, is to provide retirement benefits to fire fighters; and

WHEREAS, the recommended benefit increase has been found to meet the definition of "fully funded" as defined in appropriate Minnesota Statutes as substantiated by an audit performed by a professional accounting firm in 2025, and

WHEREAS, the Joint Powers Agreement establishing the Northfield Fire and Rescue Service (NAFRS), in paragraph 13, assigns to NAFRS the responsibility for supporting and funding the NFRA.

NOW, THEREFORE, BE IT RESOLVED BY THE JOINT POWERS BOARD: that the NAFRS Board finds this change to be responsible and prudent and approves the increase for the Northfield Fire Relief Association annual retirement benefit level for its paid on-call fire fighters from \$15,000 to \$20,000 effective on January 1, 2027, and approve amendment to the NFRA bylaws Amendment A to reflect the approved benefit level.

PASSED by the Joint Powers Board of the Northfield Area Fire and Rescue Service on this 18th day of June, 2026.

ATTEST



Fire Chief



JPA Board Chairperson

VOTE: .

	YES	NO	ABSTAIN	ABSENT
Alderks	X			
Edwardsen	X			
Lawson	X			
Malecha	X			
Ness	X			
Peterson	X			
Robinson				X
Switzer				X

Northfield Fire Relief Association

Active Member Information

[Click here for instructions on how to complete this tab.](#)

Enter the Annual Benefit Level in effect for 2026:
 Enter the Minimum Retirement Age:
 Enter the Years in FD Required for Full Vesting:

\$15,000
50
20

(If the annual benefit level is changed before 12/31/2026, the SC must be recalculated and recertified at the new level.)

						2026		2027	
						Total Active Member Liabilities		4,549,249	4,989,321
Name	Member Status	Date of Birth	Fire Department Entry Date	Leaves of Absence and Breaks in Service (Months)	Return to Service Member?	Year-End 2026		Year-End 2027	
						2026 Years of Service	2026 Accrued Liability	2027 Years of Service	2027 Accrued Liability
1 [REDACTED]	Active	[REDACTED]	3/7/1988	0		39	585,000	40	600,000
2 [REDACTED]	Active	[REDACTED]	8/23/1993	0		33	495,000	34	510,000
3 [REDACTED]	Active	[REDACTED]	11/23/1997	0		29	435,000	30	450,000
4 [REDACTED]	Active	[REDACTED]	12/6/1999	0		27	381,751	28	407,767
5 [REDACTED]	Active	[REDACTED]	6/17/2002	0		25	375,000	26	390,000
6 [REDACTED]	Active	[REDACTED]	6/17/2002	0		25	343,178	26	367,612
7 [REDACTED]	Active	[REDACTED]	7/7/2008	0		18	254,501	19	276,699
8 [REDACTED]	Active	[REDACTED]	7/7/2008	0		18	206,933	19	224,982
9 [REDACTED]	Deferred	[REDACTED]	4/1/2013	12		13	0	14	0
10 [REDACTED]	Active	[REDACTED]	4/1/2013	0		14	175,872	15	194,087
11 [REDACTED]	Active	[REDACTED]	9/1/2015	0		11	126,459	12	142,094
12 [REDACTED]	Active	[REDACTED]	9/1/2015	0		11	126,459	12	142,094
13 [REDACTED]	Active	[REDACTED]	9/1/2017	0		9	97,527	10	111,614
14 [REDACTED]	Active	[REDACTED]	9/1/2017	0		9	97,527	10	111,614
15 [REDACTED]	Active	[REDACTED]	9/1/2017	0		9	94,686	10	108,363
16 [REDACTED]	Active	[REDACTED]	9/1/2017	0		9	74,746	10	85,543
17 Sorem, Thomas	Active	[REDACTED]	9/1/2017	0		9	97,527	10	111,614
18 Conroy, Micah	Active	[REDACTED]	8/5/2019	0		7	61,676	8	72,602
19 Landon, Kristoffer	Active	[REDACTED]	8/5/2019	0		7	71,500	8	84,166
20 Moore, Jamie	Active	[REDACTED]	8/5/2019	0		7	71,500	8	84,166
21 Simpson, Benjamin	Active	[REDACTED]	8/5/2019	3		7	71,500	8	84,166
22 Malecha, Noah	Active	[REDACTED]	8/1/2021	0		5	35,820	6	44,274
23 McCallum, Dylan	Active	[REDACTED]	8/1/2021	0		5	40,316	6	49,831
24 Sticha, Katelyn	Active	[REDACTED]	8/1/2021	3		5	45,376	6	56,085
25 Dee, Joseph	Active	[REDACTED]	8/7/2023	0		3	27,226	4	37,390
26 Ingham, James	Active	[REDACTED]	8/7/2023	16		2	17,622	3	27,226
27 Minar, Mark	Active	[REDACTED]	8/7/2023	0		3	27,226	4	37,390
28 Villanueva Lugo, Nelson	Active	[REDACTED]	8/7/2023	12		2	17,622	3	27,226
29 Busch, Aaron	Active	[REDACTED]	8/5/2024	0		2	17,622	3	27,226
30 Celis, Aaron	Active	[REDACTED]	8/5/2024	0		2	17,622	3	27,226
31 Hanuman, Christine	Active	[REDACTED]	8/5/2024	12		1	8,554	2	17,622
32 Kehren, Nicholas	Active	[REDACTED]	8/5/2024	0		2	17,622	3	27,226
33 McReynolds, Mickey	Active	[REDACTED]	8/5/2024	0		2	17,622	3	27,226
34 Prodoehl, Nicole	Active	[REDACTED]	8/5/2024	0		2	15,657	3	24,190
35	Choose Status						0		0
36	Choose Status						0		0
37	Choose Status						0		0
38	Choose Status						0		0
39	Choose Status						0		0
40	Choose Status						0		0
41	Choose Status						0		0
42	Choose Status						0		0

Northfield Fire Relief Association

Deferred Member Information (Fully or Partially Vested)

[Click here for instructions on how to complete this tab.](#)

Name	Status	Date of Birth	Entry Date	Separation Date	LOAs and BIS (Months)	Return to Service Member?	Benefit Level at Separation	Years of service	Months of Service	Total Deferred Member Liabilities		Minimum Years Required to Vest	Vesting Percent	Months of Service Paid	Deferred Interest Paid	Deferred Interest Type	Deferred Interest Credit Method	Member Notes
										2026 Estimated Liability	2027 Estimated Liability							
1 Swanson, Erik	Deferred		9/18/1993	1/22/2001	4		5,500	7	0	18,480	18,480	5	48	Yes	No	Choose Interest Type	Choose Interest Credit Method	
2 Quinell, William	Deferred		6/17/2002	10/1/2014	0		7,500	12	3	62,475	62,475	5	68	Yes	No	Choose Interest Type	Choose Interest Credit Method	
3 Hall, Josh	Deferred		7/7/2008	7/23/2022	48		10,000	10	0	60,000	60,000	5	60	Yes	No	Choose Interest Type	Choose Interest Credit Method	
4 Mulligan, Tommy	Deferred		7/7/2008	7/11/2023	0		13,000	15	0	156,000	156,000	5	80	Yes	No	Choose Interest Type	Choose Interest Credit Method	
5 Webber, Jeremy	Deferred		7/7/2008	1/8/2024	14		13,000	14	4	141,613	141,613	5	76	Yes	No	Choose Interest Type	Choose Interest Credit Method	
6 Wiese, Bart	Deferred		9/1/2016	9/1/2021	0		10,000	5	0	20,000	20,000	5	40	Yes	No	Choose Interest Type	Choose Interest Credit Method	
7 Parrott, Daniel	Deferred		9/1/2017	4/1/2025	12		13,000	6	7	37,657	37,657	5	44	Yes	No	Choose Interest Type	Choose Interest Credit Method	
8 Noreen, Steve	Deferred		4/1/2013	8/5/2025	12		13,000	11	4	88,400	88,400	5	60	Yes	No	Choose Interest Type	Choose Interest Credit Method	
9	Deferred									0	0			Choose	Choose	Choose Interest Type	Choose Interest Credit Method	
10	Deferred									0	0			Choose	Choose	Choose Interest Type	Choose Interest Credit Method	
11	Deferred									0	0			Choose	Choose	Choose Interest Type	Choose Interest Credit Method	
12	Deferred									0	0			Choose	Choose	Choose Interest Type	Choose Interest Credit Method	
13	Deferred									0	0			Choose	Choose	Choose Interest Type	Choose Interest Credit Method	
14	Deferred									0	0			Choose	Choose	Choose Interest Type	Choose Interest Credit Method	
15	Deferred									0	0			Choose	Choose	Choose Interest Type	Choose Interest Credit Method	
16	Deferred									0	0			Choose	Choose	Choose Interest Type	Choose Interest Credit Method	
17	Deferred									0	0			Choose	Choose	Choose Interest Type	Choose Interest Credit Method	
18	Deferred									0	0			Choose	Choose	Choose Interest Type	Choose Interest Credit Method	
19	Deferred									0	0			Choose	Choose	Choose Interest Type	Choose Interest Credit Method	
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65	Deferred									0	0			Choose	Choose	Choose Interest Type	Choose Interest Credit Method	
66	Deferred									0	0			Choose	Choose	Choose Interest Type	Choose Interest Credit Method	
67	Deferred									0	0			Choose	Choose	Choose Interest Type	Choose Interest Credit Method	
68	Deferred									0	0			Choose	Choose	Choose Interest Type	Choose Interest Credit Method	
69	Deferred									0	0			Choose	Choose	Choose Interest Type	Choose Interest Credit Method	

Office of the State Auditor - Pension Form SC-26

Northfield Fire Relief Association

Financial Projections

[Click here for instructions on how to complete this tab.](#)

	2026	2027
Total Active Member Liabilities	4,549,249	4,989,321
Total Deferred Member Liabilities	584,625	584,625
Total Unpaid Installments	0	0
Grand Total Special Fund Liability	A. 5,133,874	B. 5,573,946
Normal Cost (Line B - Line A)		C. 440,072

Projection of Net Assets for Year Ending December 31, 2026

Special Fund Assets at December 31, 2025 (FIRE-25 Form ending assets in Line E)	D. 9,530,998
---	---------------------

Projected Income for 2026

Fire State Aid (2025 fire state aid of \$252,299 may be increased by up to 3.5%)	1. 261,129
Supplemental State Aid (actual 2025 supplemental state aid)	2. 33,748
Municipal / Independent Fire Dept. Contributions	3. 0
Interest and Dividends	4.
Appreciation / (Depreciation)	5. 476,550
Other Revenues	6.
Total Projected Income for 2026 (Add Lines 1 through 6)	E. 771,427

Projected Expenses for 2026

Retirement, Long-Term/Permanent Disability, and Survivor Benefits	7. 0
---	-------------

Names:

Amounts:

Short-Term Disability Benefits	8.
Administrative Expenses	9. 15,450
Total Projected Expenses for 2026 (Add Lines 7, 8, and 9)	F. 15,450
Total Projected Net Assets at December 31, 2026 (Line D + Line E - Line F)	G. 10,286,975

Projection of Surplus or (Deficit) as of December 31, 2026

Projected Assets (Line G)	H. 10,286,975
2026 Accrued Liability (Line A)	I. 5,133,874
Projected Surplus or (Deficit) (Line H - Line I)	J. 5,153,101
Projected Funding Ratio (Line H / Line I)	K. 200%

Office of the State Auditor - Pension Form SC-26

Northfield Fire Relief Association

Calculation of Required Contribution

[Click here for instructions on how to complete this tab.](#)

Deficit Information - Original			Deficit Information - Adjusted		
Year Incurred	Original Amount	Amount Retired as of 12/31/2025	Original Amount	Amount Retired as of 12/31/2026	Amount Left to Retire 1/1/2027
2017	0	0			
2018	0	0			
2019	0	0			
2020	0	0			
2021	0	0			
2022	0	0			
2023	0	0			
2024	0	0			
2025	0	0			
2026					
Totals	0	0	0	0	0

Required Contribution Calculation

Normal Cost

Projected Special Fund Administrative Expenses

Amortization of Deficit (10% of Original Amount column total)

10% of Surplus

Fire and Supplemental State Aid

5% of Projected Assets at December 31, 2026

Required Contribution (Line L + Line M + Line N - Line O - Line P - Line Q)

L.		440,072
M.	15,450	15,991
N.		0
O.		515,310
P.		294,877
Q.		514,349
R.		0

No required contribution due in 2027.

Northfield Fire Relief Association

Benefit Level Projections Tool

[Click here for instructions on how to complete this tab.](#)

This page is being provided as an optional tool that a relief association may use as a resource to estimate the impact that benefit level changes or investment rate of return changes could have on the relief association's funded status. The calculated fields in the yellow shaded boxes below are locked, and the data is pulled from the Financial Projections page of this SC Form. See how the data in Lines 17-21 are impacted when different projections are entered in the editable white boxes.

Note that if a benefit level increase and a pension payment are both projected for 2026, any amount entered in Line 14A should be calculated at the increased benefit level entered in Line 1A.

Furthermore, if a benefit level increase and a pension payment are both projected for 2027, any amount entered in Line 14B should be calculated at the increased benefit level entered in Line 1B.

If you choose to complete this tool, please be aware that all projected data below are rough estimates, only. The calculated fields in the yellow shaded boxes below may be subject to amendment resulting from the Office of the State Auditor's annual review. This tool should not be relied upon in lieu of individualized services provided by a relief association's auditor, actuary, or financial advisor. **This page is not required to be completed; the SC Form can be submitted without completing this page.**

	2026 Benefit Increase Projections			2027 Benefit Increase Projections			
2026 Benefit Level:	1A.	\$	15,000	2027 Benefit Level:	1B.	\$	20,000
2026 Rate of Return:	2A.		5.00%	2027 Rate of Return:	2B.		5.00%
Projection of Liabilities for Year End		2026	2027		2027	2028	
Grand Total Special Fund Liability	3A.	5,133,874	4A. 5,573,946	3B.	7,237,053	4B. 7,851,023	
Normal Cost (Line 4 - Line 3)			5A. 440,072			5B. 613,970	
Projection of Net Assets for Year End							
Special Fund Assets on January 1 (Prior Year FIRE Form Ending Net Assets)			6A. 9,530,998			6B. 10,286,975	
<u>Projected Income</u>							
Fire State Aid (fire state aid of \$252,299 may be increased by up to 3.5%)			7A. 261,129			7B. 270,269	
Supplemental State Aid (actual supplemental state aid)			8A. 33,748			8B. 33,748	
Municipal / Independent Fire Dept. Contributions			9A. 0			9B.	
Investment Earnings			10A. 476,550			10B. 514,349	
Other Revenues			11A. 0			11B.	
Total Projected Income			12A. 771,427			12B. 818,366	
<u>Projected Expenses</u>							
Total Service Pensions and Benefit Payments from Financial Projections Tab			13A. 0				
Total Additional Service Pensions and Benefit Payments							
Administrative Expenses			15A. 15,450			15B.	
Total Projected Expenses			16A. 15,450			16B. 0	
Projected Net Assets at Year End			17A. 10,286,975			17B. 11,105,341	
Projection of Surplus or (Deficit) as of Year End							
Accrued Liability Less Projection Payouts (Line 3)			18A. 5,133,874			18B. 7,237,053	
Projected Surplus or (Deficit) (Line 17 - Line 18)			19A. 5,153,101			19B. 3,868,288	
Projected Funding Ratio (Line 17 / Line 18)			20A. 200%			20B. 153%	
Projected Required Municipal Contribution			21A. 0			21B. 0	



Northfield Fire Relief Association GASB 67 & 68 Rollforward Report

ACTUARIAL VALUATION REPORT

Valuation Date: January 1, 2025
Plan Fiscal Year Beginning: January 1, 2025
Plan Fiscal Year Ending: December 31, 2025
Employer Fiscal Year Beginning: January 1, 2026
Employer Fiscal Year Ending: December 31, 2026

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Actuarial Certification

We have prepared an actuarial rollforward of the Northfield Fire Relief Association Pension Plan as of December 31, 2025 to enable the plan sponsor to satisfy the accounting requirements under Statements of Governmental Accounting Standards Nos. 67 and 68. The results set forth in this report reflect the provisions of the plan communicated to us through December 31, 2025. This report should not be used for other purposes or relied upon by any other person without prior written consent from Hildi Incorporated.

This report is based on participant and financial data provided by Northfield Fire Relief Association and is summarized in this report. An audit of the financial and participant data provided was not performed, but we have checked the data for reasonableness as appropriate based on the purpose of the valuation. We have relied on all the information provided, including plan provisions and asset information, as complete and accurate.

All costs, liabilities and other factors under the plan were determined in accordance with generally accepted actuarial principles and procedures using assumptions that we believe reasonably estimate the anticipated experience of the plan. The calculations reported herein are consistent with our understanding of the provisions of GASB Statements 67 and 68.

Actuarial computations under Statements of Governmental Accounting Standards are for the purposes of fulfilling employer accounting requirements and trust accounting requirements. Computations for other purposes may differ significantly from the results shown in this report.

We are available to answer any questions on this material, or to provide explanations or further details, as may be appropriate. The undersigned credentialed actuaries meet the Qualification Standards of the American Academy of Actuaries to render the actuarial opinions contained in this report.



Michael J. Born, FSA

Hildi Incorporated, A Division of USI Consulting Group
8000 Norman Center Drive, Suite 400
Bloomington, MN 55437
P 952.934.5554
June 2026

Executive Summary

This report has been prepared for the Northfield Fire Relief Association Pension Plan, for the plan year beginning January 1, 2025 and ending December 31, 2025, to assist in complying with the reporting and disclosure requirements under GASB Statements 67 and 68. Northfield Fire Relief Association has implemented GASB 67 for the fiscal year beginning January 1, 2016.

Summary of Results

The results below reflect initial implementation in the fiscal year ending December 31, 2016. GASB liabilities have been valued using a split interest rate based on the estimated investment return on the pension fund for the funded portion of liabilities and the estimated yield of 20-Year AA-rated municipal bonds for the unfunded portion of liabilities. The overall discount rate is 6.50%.

GASB Accounting Summary	December 31, 2025
1. Liabilities	
a. Total Pension Liability	4,136,605
b. Gross Service Cost	180,628
c. Valuation Salary	N/A
2. GASB Funded Status	
a. Total Pension Liability (TPL)	4,136,605
b. Fiduciary Net Position (FNP)	<u>(9,530,998)</u>
c. Net Pension Liability (NPL), a. + b.	(5,394,393)
d. Funded Ratio	230%
e. NPL as % of Payroll, c. / 1.d.	N/A
3. Pension Expense Under GASB 68	
a. For Fiscal Year ending December 31, 2025	(145,451)
b. For Fiscal Year ending December 31, 2026	(636,456)
4. Discount Rate	6.50%

Events & Decisions

This report is an addendum to the actuarial valuation report issued for this plan as of January 1, 2025. Actuarial data, assumptions, and methods are as described in that previous report with the following exceptions:

- No changes to plan provisions, assumptions, or methods since the prior report.

Plan Accounting

Reconciliation of Changes in Net Pension Liability

	Total Pension Liability (a)	Fiduciary Net Position (b)	Net Pension Liability (a) – (b)
1. Balances at January 1, 2025	3,703,508	8,050,207	(4,346,699)
2. Changes from the prior year:			
a. Service Cost	180,628		180,628
b. Interest Cost	252,469		252,469
c. Assumption Changes	0		0
d. Plan Changes	0		0
e. Municipal Contributions		0	0
f. Nonemployer Contributions		286,047	(286,047)
g. Projected Investment Return		532,058	(532,058)
h. Gain or Loss	0	678,136	(678,136)
i. Benefit Payments	0	0	0
j. Administrative Expenses		(15,450)	15,450
k. Other Changes	0	0	0
3. Total Net Changes	433,097	1,480,791	(1,047,694)
4. Balances at December 31, 2025	4,136,605	9,530,998	(5,394,393)

Sensitivity to Changes in Discount Rate

	1% Decrease	Selected Discount Rate	1% Increase
1. Net Pension Liability	(5,299,218)	(5,394,393)	(5,485,965)
2. Discount Rate	5.50%	6.50%	7.50%

Note: These exhibits should be used as the basis for financial reporting under GASB 67 for the fiscal year ending December 31, 2025 and under GASB 68 for the fiscal year ending December 31, 2026. As described in the GASB 68 standard, a one-year lookback may be used when preparing financial disclosures under GASB 68.

GASB 68 Pension Expense

Fiscal Year Ending	December 31, 2026	December 31, 2025
1. Components Of Pension Expense		
a. Service Cost	180,628	157,020
b. Interest Cost	252,469	208,212
c. Plan Changes	-	449,259
d. Liability Gain or Loss	(10,753)	(10,752)
e. Assumption Changes	(4,120)	(4,120)
f. Nonemployer Contributions*	(286,047)	(247,678)
g. Projected Investment Return	(532,058)	(443,565)
h. Investment Gain or Loss	(252,025)	(262,112)
i. Administrative Expenses	15,450	8,285
j. Other Changes	<u>0</u>	<u>0</u>
k. Total	(636,456)	(145,451)
2. Deferred Outflows of Resources		
a. Liability Losses	-	30,678
b. Assumption Changes	14,349	17,937
c. Investment Losses	-	-
d. Employer Contributions**	<u>TBD</u>	<u>-</u>
e. Total	14,349	48,615
3. Deferred Inflows of Resources		
a. Liability Gains	265,066	306,497
b. Assumption Changes	61,664	69,372
c. Investment Gains	<u>933,554</u>	<u>507,443</u>
d. Total	1,260,284	883,312
4. Future Recognition of Deferred Flows in Pension Expense (Fiscal Years Ending)		
a. December 31, 2026	N/A	(131,270)
b. December 31, 2027	(159,467)	(23,839)
c. December 31, 2028	(461,368)	(325,740)
d. December 31, 2029	(313,748)	(178,120)
e. December 31, 2030	(181,178)	(45,554)
f. December 31, 2031	(36,912)	N/A
g. Thereafter	(93,262)	(130,174)

* If contributions are recorded as employer income, they should not also be recorded as plan income.

** Under GASB 68, employer contributions made after the Measurement Date and on or before the Reporting Date must be disclosed as Deferred Outflows of Resources. If the contribution amount is not available at the time of this report, "TBD" is shown temporarily.

GASB 67 Liability Summary

Liabilities are determined as of the valuation date, then adjusted as necessary to the fiscal year-end date using standard actuarial processes.

Liabilities at Valuation Date	
1. Plan Year Beginning	January 1, 2025
2. Valuation Date	January 1, 2025
3. Discount Rate	6.50%
4. Present value of benefits	5,268,868
5. Accrued liability at Valuation Date	
a. Actives	3,369,441
b. Vested Terminations and Transfers	334,067
c. Retirees and Beneficiaries	-
d. Total Pension Liability at Valuation Date	3,703,508
6. Total Pension Liability at Year-End	4,136,605
7. Gross Normal Cost at Valuation Date	180,628

GASB 68 Amortization Bases

Outstanding amortization bases for Deferred Inflows and Outflows of Resources as of the employer fiscal year-end:

Date Established	LongType	Original Amount	Original Years	Remaining Amount	Remaining Years
1/1/2019	LiabGLOutflow	245,431	8	-	0
1/1/2021	LiabGLInflow	(122,270)	10	(48,908)	4
1/1/2021	AssumpOutflow	35,877	10	14,349	4
1/1/2022	AssetGLInflow	(690,573)	5	-	0
1/1/2023	LiabGLInflow	(140,815)	12	(93,875)	8
1/1/2023	AssumpInflow	(92,496)	12	(61,664)	8
1/1/2023	AssetGLOutflow	1,509,526	5	301,902	1
1/1/2024	AssetGLInflow	(738,084)	5	(295,233)	2
1/1/2025	LiabGLInflow	(157,221)	9	(122,283)	7
1/1/2025	AssetGLInflow	(662,861)	5	(397,715)	3
1/1/2026	AssetGLInflow	(678,136)	5	(542,508)	4

Plan Assets

Plan Asset Reconciliation

Assets for Plan Year Ending	December 31, 2025	December 31, 2024
1. Value at Beginning of Year	8,050,207	6,704,388
a. Municipal Contributions	-	-
b. State Contributions	286,047	247,678
c. Employee Contributions	-	-
d. Other Nonemployer Contributions	-	-
e. Benefits paid	-	-
f. Non-investment expense paid	(15,450)	(8,285)
g. Return on plan assets	<u>1,210,194</u>	<u>1,106,426</u>
h. Value at End of Year	9,530,998	8,050,207
2. Rate of Return for Year	14.8%	16.2%

Development of Expected Long-Term Rate of Portfolio Return

Asset Class	Portfolio Weight	Expected Class Return
Cash	21.00%	3.25%
Fixed Income	10.00%	4.50%
Equities	69.00%	7.75%
	-	-
Total Portfolio	100.0%	6.50%

Glossary

Total Pension Liability / Funding Target Liability: The portion of the present value of prospective benefits allocated to service before the valuation date in accordance with the actuarial cost method.

Fiduciary Net Position / Actuarial Value of Assets – Plan assets based on market value as of the valuation date including receivable contributions and offset by plan payables. Market values are sometimes smoothed to soften the impact of investment gains and losses.

Net Pension Liability: The difference between Total Pension Liability and Net Financial Position.

Actuarial Cost Method: Sometimes called “funding method,” a particular technique used by actuaries to establish the amount and incidence of the annual actuarial cost of pension plan benefits, or normal cost, and the related unfunded liability. Ordinarily, the annual contribution to the plan comprises the normal cost and an amount for amortization of the unfunded liability.

Normal Cost: A component of the Annual Pension Expense. The actuarial present value of benefits attributed by the benefit formula to services rendered by employees during that period based on assumptions as to future compensation levels. The interest rate used in determining the present value is the discount rate.

Annual Pension Expense: An accrual-basis measure of the periodic cost of an employer’s participation in a defined benefit pension plan.

Discount Rate – The single interest rate that will calculate the same Total Pension Liability as the rates used to calculate the funded and unfunded portion of Total Pension Liability.

Investment Return Assumption: The rate used to adjust a series of future payments to reflect the time value of money.

Plan Members: The individuals covered by the terms of the plan. The plan membership generally includes employees in active service, terminated employees who have accumulated benefits but are not yet receiving them, and retired employees and beneficiaries currently receiving benefits.

Required Supplementary Information (RSI): Schedules, statistical data, and other information that are an essential part of financial reporting. RSI should be presented with, but is not part of, the basic financial statements of a governmental entity.

**BYLAWS
OF THE
NORTHFIELD FIRE RELIEF ASSOCIATION**

This instrument constitutes the Bylaws of the Northfield Fire Relief Association in conformance with Minn. Stat. Chapter 424A and adopted for the purpose of regulating and managing the internal affairs of the corporation and shall serve as the written defined benefit lump-sum pension plan for the relief association.

**ARTICLE I
NAME**

The name of this relief association is the Northfield Fire Relief Association (Association). It is a nonprofit organization incorporated under the laws of Minnesota. It is directly associated with a fire department operated as or by a joint-powers entity.

PURPOSE

The Purpose of the *Northfield Fire Relief Association (Association)* is to provide retirement relief and other benefits to its members and dependents. The *Association* is a governmental entity that receives and manages public money to provide retirement and ancillary benefits for individuals providing the governmental services of firefighting and emergency first response. All benefits issued by this association shall be governed by these bylaws and federal and state laws.

RECORDS

The Association shall keep, at a minimum, correct and complete copies of its articles of incorporation and bylaws, accounting records, records documenting Special Fund transactions, records necessary to determine benefits payable and paid to individual members and their beneficiaries, and minutes of each of its meetings that record the votes of actions taken. The Association’s records shall be retained in accordance with the Records Retention Schedule filed with the Minnesota Historical Society.

**ARTICLE II
MEMBERSHIP**

1.1 Any regular or probationary active member of the **Northfield Area Fire Rescue Services** shall be eligible to apply for membership in this *Association*. Membership fees and assessments shall be deposited in the General Fund of the *Association*.

1.2 Written application may be made at any regular or special meeting of the *Board of Trustees*.

1.3 **Classes of members.** There shall be the following classes of members in the *Association*:

1.3.1 Active members. Active members are the members who are serving on active duty as members in the performance of fire suppression duties or the supervision of fire suppression duties of the **Northfield Area Fire Rescue Services**.

- (a) Active Service Time shall be time served on active duty as a member of the **Northfield Area Fire Rescue Services** other than while on suspension or on Leave of Absence.
- (b) Members are considered to be in good standing other than while on suspension or on Leave of Absence from the *Association* or the **Northfield Area Fire Rescue Services**.
- (c) Annually, the Board of Trustees shall request from the chief of the **Northfield Area Fire Rescue Services** a written certification indicating whether each member has completed their active duty requirements for the prior year.

1.3.2 Deferred members. Deferred members are those members who have served at least 5 years of active duty as firefighters in the **Northfield Area Fire Rescue Services**, have separated from such service as firefighters and have been members in good standing of the *Association* at least 5 consecutive years immediately preceding separation from service, other than time on suspension and approved Leaves of Absence.

1.3.3 Retired members. Retired members are those members who have received service pensions from the *Association*.

1.3.4 Inactive members. Inactive members are those members who have separated from service as firefighters but have not met the minimum years of service to be vested in the plan.

1.4 Dues. Active, Deferred and retired members shall pay no dues.

1.5 Fraud. Any member who shall, in the opinion of a majority of the members of the *Board of Trustees*, fraudulently claim benefits from, or defraud or attempt to defraud the *Association* in any way, shall be suspended from membership by the *Board*, and shall forfeit all further rights to benefits from the *Association*.

1.6 Leave of Absence.

1.6.1* Any member who is granted a leave of absence by the **Northfield Area Fire Rescue Services** shall during such leave not be entitled to receive any benefit whatever. If, after expiration of such leave, the member again becomes active in the **Northfield Area Fire Rescue Services**, the member can be reinstated.

1.6.2* Leave of absence time is not considered active service time and shall be taken into account by the Chief in the annual certification to the Board of Trustees.

1.7* Military Leave. Any member who enlists or is drafted to enter the Armed Services of the United States of America shall retain all rights and benefits in the *Association*.

1.7.1 Subject to restrictions stated in Minn. Stat. §424A.021, a volunteer firefighter who is absent from firefighting service due to service in the uniformed services, as defined in United States Code, title 38, section 4303(13), may obtain service credit not to exceed five years, unless a longer period is required under United States Code, title 38, section 4312.

- (1) To be eligible for service credit under this section, the volunteer firefighter must return to firefighting service with coverage by the *Association* upon discharge from service in the uniformed service within the time frame required in United States Code, title 38, section 4312(e).
- (2) Service credit is not authorized if the firefighter separates from uniformed service with a dishonorable or bad conduct discharge or under other than honorable conditions.
- (3) Service credit is not authorized if the firefighter fails to provide notice to the fire department that the individual is leaving to provide service in the uniformed service, unless it is not feasible to provide that notice due to the emergency nature of the situation.

1.8 Termination of membership. Any member may be terminated from the Association for cause by a two-thirds vote of all members present at a special meeting of the membership. Cause for termination includes, but is not limited to, failure to account for money belonging to the Association, or feigning illness or injury for the purpose of defrauding the Association. A member may not be terminated except by a fair and reasonable process.

ARTICLE II
BOARD OF TRUSTEES

2.1 Board Composition. The Board of Trustees as specified under Minn. Stat. §424A.04, shall be composed of nine (9) persons; six members elected by the membership and three drawn from officials of the municipalities served by the **Northfield Area Fire Rescue Services**.

2.1.1 The elected Trustees shall serve staggered three-year terms, or until their successor has been elected and qualified. There will be two (2) Trustees elected at each annual meeting of the *Association* from its members.

2.1.11 The Board of Trustees shall elect the officers from their members at the first meeting of the *Board of Trustees* following the annual meeting of the *Association*. The terms shall be staggered and grouped as follows: (President and one Trustee), (Vice President and Secretary), (Treasurer and one Trustee).

2.1.2 The three municipal Trustees must be designated annually as municipal representatives by the Joint Powers Board of the **NAFRS Joint Powers Agreement**, one of which shall be the Chief of the **Northfield Area Fire Rescue Services**. In no event shall any municipal official hold a Board officer position. Municipal trustees are considered appointed trustees for Minnesota Statute Chapter 317A purposes and thus can only be removed by the NAFRS Joint Powers Board.

2.2 Vacancy. If a vacancy, other than a vacancy caused by removal for cause of an officer or trustee, occurs during the term of office of any officer or elected trustee, the remaining members of the *Board of Trustees* shall elect a member of the *Association* to serve for the unexpired term of the vacated position.

2.3* Removal. An elected trustee or officer may be removed for cause. Cause for removal shall include, but shall not be limited to, the breach of the duties as set forth in Articles II and III of these *Bylaws*. One or more of the Trustees or officers may be removed at a meeting of the membership which has been called for that purpose by two-thirds (2/3) vote of those present and voting at such meeting, provided a quorum is present. Notice of the meeting and a written statement of the particular charges shall be given to each board member and shall include the purpose of the meeting. The general trustee or officer shall be furnished with a statement of the particular charges at least 15 days, excluding the date of the meeting, in advance of the meeting. At the meeting, the general trustee or officer shall be given an opportunity to be fully heard as to each charge. If a general trustee or officer is removed, a replacement shall be elected at the same meeting, and such replacement shall serve out the unexpired term of the removed general trustee or officer.

2.4* It shall be the duty of the Board of Trustees to;

1. Prepare modes and plans for the safe and profitable investment of the unappropriated funds of the Association, and whenever investments are made, to investigate and pass upon the securities offered and to attend to the drawing up and execution of the necessary papers.
2. Develop and periodically revise a program for continuing education in accordance with Minn. Stat. §356A.13. The Trustees shall participate in continuing education to keep themselves abreast of their fiduciary responsibilities.
3. File a copy of the Association's investment policy, and all changes to the policy, with the Office of the State Auditor.
4. Order an audit of the books and accounts of the Secretary and the Treasurer annually, according to law, and
5. Submit a written report of the condition of the Association to the members at the annual meeting.

2.5 The investment of the funds of the *Association* shall be in the exclusive control of the *Board of Trustees*, in conformance with Minn. Stat. §69.775 and §356A.06.

2.5.1 The Board shall have on file a copy of the investment policy of the *Association*.

2.5.2 The *Association* shall provide annually to its broker, if used, a written statement of investment restrictions from the applicable state laws and the *Association's* investment policy. The broker must annually submit the Broker Certification form to the *Association* before the *Association* enters or continues business with said broker.

2.6* The members of the *Board of Trustees* shall act as Trustees with a fiduciary obligation to the members of the *Association*, to the **NAFRS Joint Powers Agreement** and to the **State of Minnesota**. In the discharge of their respective duties, each Trustee of the *Board of Trustees* is a fiduciary and shall be held to the standard of care enumerated in Minn. Stat. §11A.09. In addition, the Trustees must act in accordance with Minn. Stat. Chapter §356A. No Trustee of the *Association* shall cause the relief association to engage in a transaction if the fiduciary knows or should know that a transaction constitutes one of the following direct or indirect transactions:

- (1) sale, exchange, or leasing of any real property between the relief association and a board member;
- (2) lending of money or other extension of credit between the relief association and a board member or member of the relief association;
- (3) furnishing of goods, services, or facilities between the relief association and a board member; or
- (4) transfer to a board member, or use by or for the benefit of a board member, of any assets of the relief association. Transfer of assets does not mean the payment of relief association benefits or administrative expenses permitted by law.

2.6.1 Prudent Person Standard. A fiduciary with this *Association* shall act in good faith and shall exercise that degree of judgment and care, under circumstances then prevailing, that persons of prudence, discretion, and intelligence would exercise in the management of their own affairs, not for speculation, considering the probable safety of the plan capital as well as the probable investment return to be derived from the assets.

2.7 Board Meetings The *Board of Trustees* shall hold at least twelve (12) regular meetings during each year.

2.7.1 Place. A meeting of the *Board of Trustees* may be held at any place within this state designated by the *Board*.

2.7.2* Notice. Subject to waiver, notice of every meeting shall be sent or delivered by the Secretary to each Trustee entitled to vote at the meeting at least 5 but not more than 30 days before the meeting, excluding the date of the meeting, which sets forth the time, place, and in the case of a special meeting, purpose. A notice of meetings, including the date, time and location, shall be posted at Northfield Fire Station in accordance with the MN Open Meeting Law (§§ 13D.01, 13D.015, and 13D.04 through 13D.06).

2.7.3 Quorum. The presence of a majority of the members of the *Board* then serving shall constitute a quorum of the *Board*.

- (1) Subject to 2.7.3 (3), a quorum is necessary for the transaction of business at a meeting.
- (2) When a quorum is not present, any meeting may be adjourned from time to time for that reason.
- (3) When a quorum has been present at a meeting and members have withdrawn from the meeting so that less than a quorum remains, the members still present may continue to transact business until adjournment.

2.7.4 Act by majority. An act of the majority of the Trustees present at a meeting and entitled to vote on the matter shall be required for an action.

2.7.5 Special meetings of the *Board of Trustees* may be called by the President, or by 2 members of the *Board of Trustees*. Trustees shall be notified by the Secretary of such special meetings, and the object of the meeting shall be contained in such notice and no other business shall be conducted. Special meetings must be held within 30 days of the request.

ARTICLE III
DUTIES OF THE BOARD

- 3.1*** It shall be the duty of the President to:
- (1) Attend and preside at all meetings of the *Association* and the *Board of Trustees*.
 - (2) Enforce the due observance of the *Articles of Incorporation* and *Bylaws* and see that the other officers properly perform the duties assigned to them.
 - (3) Sign all documents requiring the signature of the President.
 - (4) Be a member of all committees.
 - (5) Exercise careful supervision over the affairs of the *Association*.

3.1.1 The President shall receive such salary as may be fixed from time to time by the *Board of Trustees*, subject to approval of the governing body under MS 69.80 (a)(2), and payable from the Special Fund of the *Association*.

- 3.2** It shall be the duty of the Vice President to:
- (1) Perform the duties of the President in the absence of the President. In the absence of both the President and the Vice President at any meeting of the *Association* and the *Board of Trustees*, it shall be the duty of the *Association* to elect a President Pro Tem, who shall perform the duties to preside over the meeting.
 - (2) Assist the President.

3.2.1 The Vice President shall receive such salary as may be fixed from time to time by the *Board of Trustees*, subject to approval of the governing body under MS 69.80 (a)(2), and payable from the Special Fund of the *Association*.

- 3.3*** It shall be the duty of the Secretary to:
- (1) Keep a true and accurate record of the proceedings of all meetings of the *Association* and of the *Board of Trustees*.
 - (2) Keep a correct record of all amendments, alterations, and additions to the *Articles of Incorporation* or the *Bylaws* in a separate book from the minute books of the *Association*.

- (3) Act as custodian of the records of the *Association*, sign its official papers, and perform such other duties as may be imposed by the *Board of Trustees*.
- (4) Cause due notice of all meetings of the *Association* and of the *Board of Trustees* to be given.
- (5) Submit a report in writing at each regular meeting of the *Board of Trustees* showing the names of all persons who have applied for membership or ceased to be members since the last report, the names of all persons to whom money has been paid, the amount, and the reason therefor, the amount of money received since the last report and the source thereof, the amount of money on hand, and where the same is invested or deposited, and such other information as will show the financial condition of the *Association*.
- (6) Keep a roll of membership, with the date of joining, resignation, discharge, leaves of absence, dues or assessments paid, and relief or pensions furnished.
- (7) The Secretary's books shall be at all times open to inspection by the *Board of Trustees* and jointly with the Treasurer prepare and file all reports and statements required by law.

3.3.1 The Secretary shall receive such salary as may be fixed from time to time by the *Board of Trustees*, subject to approval of the governing body under MS 69.80 (a)(2), and payable from the Special Fund of the *Association*.

3.4* It shall be the duty of the Treasurer to:

- (1) Receive all funds belonging to the *Association* and hold them subject to the order of the President and the *Board of Trustees*.
- (2) Keep separate and distinct accounts of the Special and General Funds, and shall prepare and present to the *Board of Trustees*, a full and detailed statement of the assets and liabilities of each fund at each meeting of the *Board of Trustees*, and prior to the annual meeting of the *Association*.
- (3) Deliver to their successor in office, or to any committee appointed by the *Board of Trustees* to receive the same, all moneys, books, papers and other items pertaining to the office immediately upon expiration of the term of office.
- (4) Prior to entering upon the duties of the office, give a bond in such amount as required by law, Minn. Stat. §69.051 subd. 2, and with such sureties as may be required and approved by the *Board of Trustees*, conditioned upon the faithful discharge of trust and the faithful performance of the duties of the office. Such bond shall be paid for from the Special Fund of the *Association*.
- (5) Jointly with the Secretary, the Treasurer shall prepare and file all reports and statements as required by law.

3.4.1 The Treasurer shall receive such salary as may be fixed by the *Board of Trustees* from time to time, subject to approval of the governing body under MS 69.80 (a)(2), and payable from the Special Fund of the *Association*.

3.5 It shall be the duty of the elected Trustees to assist the members of the *Board of Trustees* with their duties.

ARTICLE IV **MEETINGS of the ASSOCIATION**

4.1* Membership Meetings The annual meeting of the *Association*, for the election of trustees for the upcoming calendar year, and other business, shall be held during the month of July of each year.

4.2 Special meetings of the *Association* may be called by the President, or by 2 members of the *Board of Trustees*, and shall also be called upon written request of 6 or more active members of the *Association*. Members shall be notified by the Secretary of such special meetings, and the object of the meeting shall be contained in such notice and no other business shall be conducted. Special meetings must be held within 30 days of the request.

4.3* Notice of the *Association* meetings and elections shall be given to all members entitled to vote at the meeting or election. Such notice shall be in writing and state the time, place, and in case of a special meeting, the purpose, and be posted at fire station not less than 5 nor more than 30 days before the meeting, excluding the date of the meeting.

4.4 Meeting quorum.

- (1) A quorum for meetings of members is forty (40%) percent of the active members of the *Association*.
- (2) Subject to 4.4 (3), a quorum is necessary for the transaction of business at a meeting.

- (3) When a quorum has been present at a meeting and members have withdrawn from the meeting so that less than a quorum remains, the members still present may continue to transact business until adjournment.
- (4) When a quorum is not present, any meeting may be adjourned from time to time for that reason.

4.5 All reports and resolutions shall be submitted in writing, and no report shall be accepted unless it is the report of the majority of a committee, provided however, that the minority shall be permitted to present its view in writing.

4.6* All meetings shall be conducted according to Robert's Rules of Order, as revised. The Officer presiding over the meeting shall be the final arbiter of any dispute as to the specific application of Robert's Rules of Order.

4.7 Order of business. At the annual and at any other regular *Association* meetings the order of business shall be as follows:

1. Call to order
2. Roll call
3. Reading of minutes of previous meeting
4. Reports of Officers
5. Reports of Special Committees
6. Unfinished business
7. Election of Officers or Trustees (annual meeting)
8. New business
9. Adjournment

4.8 Voting. Each active member in good standing shall be entitled to vote on any matter which the members vote upon. Neither cumulative voting nor voting by proxy shall be allowed. All votes, unless specified prior to the vote, shall be by voice vote. If a majority cannot be determined by voice vote, the chair shall call for a show of hands or conduct a vote by ballot.

ARTICLE V FUNDS

5.1 Funds required. The *Association* shall maintain in its treasury a General Fund and a Special Fund.

5.1.1 General Fund. The General Fund shall be credited all moneys received from fines, entertainment revenues and any moneys or property donated, given, granted or devised by any person for unspecified uses. The General Fund may be used for any purpose including but not limited to the following: expenses of entertainment, dinners, dances, games, flowers for the sick or deceased members, expenses of administering the fund and for any and all purposes reasonably related to the welfare of the *Association* or its members as authorized by action of the *Board of Trustees* or by a majority of the members present and voting at any annual or special meeting of the members.

5.1.2 Special Fund. The Special Fund shall be credited with all fire state-aid moneys received pursuant to law, all taxes levied by or other revenue received from the municipalities pursuant to law providing for municipal support for the *Association*, any moneys or property donated, given, granted or devised by any person which is specified for use for the support of the Special Fund, and any interest earned upon assets of the Special Fund. No disbursement shall be made from the Special Fund for any purpose except a purpose for which such Special Fund is held in trust consistent with provisions in the *Articles of Incorporation* or *Bylaws*, and administrative expenses as limited by Minn. Stat. §69.80. All other expenses of the *Association* shall be paid out of the General Fund.

5.2 Deposits. All money belonging to this *Association* shall be deposited to the credit of the association in such banks, trust companies or other depositories as the *Board of Trustees* may designate. The *Board of Trustees* shall make deposits in conformance with state statutes, the *Bylaws* and the investment policy.

5.3* Disbursements. No disbursement of the funds of this *Association* shall be issued until the claim to which it relates has been approved by the *Board of Trustees*.

- (1) All Special Fund checks or expenditures drawn by the Treasurer must be countersigned by the President or

Vice President.

- (2) All General Fund checks or expenditures drawn by the Treasurer for more than \$500 must be countersigned by the President or Vice President.

ARTICLE VI
BENEFITS

6.1 Service Pensions.

6.1.1* Eligibility requirements. To be eligible to receive a service pension, a member must meet all of the following requirements:

- (1) Be at least 50 years of age;
- (2) Have separated from active service with the **Northfield Area Fire Rescue Services** of the **NAFRS Joint Powers Agreement** and ceased to perform or supervise fire suppression duties; unless, as specified in M.S. 424A.02, Subd. 1(d):
 - (a) the person is employed subsequent to retirement by the **NAFRS Joint Powers Agreement** to perform duties within the **Northfield Area Fire Rescue Services** on a full-time basis; and
 - (b) the governing body of the **NAFRS Joint Powers Agreement** has filed its determination with the board of trustees of the *Association* that the person's experience with and service to the **Northfield Area Fire Rescue Services** in that person's full-time capacity would be difficult to replace;
- (3) Have at least five (5) years of active service with such department before retirement; and
- (4) Have been a member of the *Association* in good standing at least five (5) consecutive years immediately preceding separation from service, other than time on suspension and approved Leaves of Absence.

6.1.2 Service pension. Because of varying circumstances in each member's retirement planning, optional benefit payment methods are offered. Selection should occur after consultation with a tax consultant, financial planner, or an attorney. Each member meeting the requirements of 6.1.1 shall be entitled to a lump sum service pension. 20 years of service shall be the base service pension. At the time of application for retirement, a qualified member shall be entitled to payments from the Special Fund according to the following tables attached as Addendum A:

LS-06

6.1.3* Application. Applications for service pensions or ancillary benefits shall be made in writing on forms supplied by the Secretary. The application shall be submitted to the *Board of Trustees* at a regular or special meeting of the *Board*. Applications shall be verified by an oath of the applicant and shall state the applicant meets each of the eligibility requirements set forth in 6.1.1.

6.1.4* Approval, amount of pension. It shall be the duty of the *Board* to approve applications for service pensions or ancillary benefits if the applicant meets all of the eligibility requirements set forth in 6.1.1. The service pension shall be payable at the rates set forth in 6.1.2. Payment shall be made from the Special Fund.

- (1) It shall also be the duty of the *Board* not to approve the application if any of the eligibility requirements are not met. If an application is not approved, the *Board* shall return the application to the applicant within 30 days, noting thereon, with particularity, which requirements the applicant does not meet.
- (2) Thereafter, the applicant shall be furnished the opportunity to be heard by the full *Board*, by filing a written intent to appeal with the Secretary within 30 days of receiving an adverse determination.
- (3) Upon receipt of the written intent to appeal, the *Board of Trustees* shall hold a special meeting within 60 days of receipt of the written intent to appeal. Timely notice of the meeting shall be given to the member at least 15 days prior to the special meeting. The member shall have the reasonable opportunity to be heard by the Board of Trustees at the special meeting with regard to the adverse determination.
- (4) The *Board of Trustees* reserve the right to engage the services of a mediator or arbitrator, acceptable to both parties, at any time during the appeal. The mediator or arbitrator shall be selected from the Rule 114 Supreme Court Roster. The cost of the mediator or arbitrator shall be split in half among both parties.
- (5) Determination of the *Board* shall be final after 6.1.4 (3) of such appeal.

6.1.5* Deferred service pension. A member of the *Association* who has completed at least five (5) years of active service with the municipal fire department and at least five (5) years of active membership in the *Association* and who separates from active service and membership shall be entitled to a deferred service pension to commence upon reaching at least the age of 50 years and upon making a valid written application to the

Association. The deferred service pension shall be payable as set forth in 6.1.2 except that:

- (1) Deferred members selecting the lump sum service pension as set forth in 6.1 (1) shall have the lump sum payment based on the Lump Sum table in effect at the time of separation.
- (2) As specified in MS 424A.02 subd. 7(c), no interest will be paid on the deferred lump sum service pension during the period of deferral.

6.1.6* Year of service. For the purpose of computing benefits, a "Year of Service" shall be defined as a period of 12 full months of active duty in the **Northfield Area Fire Rescue Services**, beginning on the anniversary date when the member became an active member of said Fire Department.

- (1) If a member's period of active service is not continuous, parts of years may be added together to complete full years.
- (2) Service credit for incomplete years of service, after the member's anniversary date, shall be prorated at the rate of 1/12 (8.333%) per complete month of active duty, pursuant to Minn. Stat. §424A.02, Subd. 1.

6.1.7 Surviving Spouse. "Surviving Spouse" means any person who was the dependent spouse of a deceased member who was legally married to the member at the time of death.

6.1.8 Lump Sum Payment Options. Each member meeting the requirements of 6.1.1 shall be entitled to receive a lump sum service pension. The *Board of Trustees* may allow up to 90 days from the date of approval to make the payment. Alternate payment methods shall include:

- (1) A single lump sum check payment payable to the eligible retiree.
- (2) Lump Sum payment by the *Association* directly to a recognized insurance carrier licensed to do business in this state and approved for this product by the Commerce Commissioner under Minn. Stat. §60A.40.
- (3) Upon written request, the *Association* shall directly transfer the eligible member's lump sum pension to the member's individual retirement account under Section 408(a) of the Internal Revenue Code, as amended, as provided for in Minn. Stat. § 424A.02, subd. 8b.
- (4) Direct transfer of the member's lump sum payment to the member's individual Minnesota deferred compensation account under Minn. Stat. § 424A.015, subd. 5.

6.1.9 Supplemental Benefit. As described in Minn. Stat. §424A.10, the *Association* must pay a supplemental benefit to individuals who receive a lump sum distribution of pension or ancillary benefits for service performed as a volunteer firefighter at the time that the lump sum benefit is paid. The supplemental benefit is calculated as ten percent of the regular lump sum distribution, but not to exceed \$1,000.

- (1) Upon the payment of a lump sum survivor benefit to the survivor of a deceased active or deferred member, a supplemental survivor benefit will be paid to the legally married surviving spouse or, if none, to the surviving child or children. The survivor supplemental benefit is calculated as twenty percent of the survivor benefit distribution, but not to exceed \$2,000.

6.2 Ancillary Benefits. "Ancillary Benefit" means a benefit other than the service pension. Upon the death of an active or deferred member of this *Association* there shall be paid a survivor or death benefit. Pursuant to Minn. Stat. §424.A02, subd. 9. (b), the sum of the ancillary benefit shall be calculated as of the date the active or deferred member died.

6.2.1 Active Member Survivor or Death Benefit. Pursuant to Minn. Stat. §424A.05, Subd. 3. (4), a survivor benefit may be paid to a surviving spouse of an active member, or if none, to a child or children regardless of age at time of death, or if none, to designated beneficiaries described in 6.2.3, or if no designated beneficiary, a death benefit to the estate of the deceased member. The sum shall be calculated using the Lump Sum Service Pension benefit in effect at the time of death as listed in 6.1.2, using years of service as determined in 6.1.6, without regard to minimum or partial vesting requirements but in no case shall be less than one year of service.

6.2.2 Deferred Member Survivor or Death Benefit. Pursuant to Minn. Stat. §424A.05, Subd. 3. (4), a survivor benefit may be paid to a surviving spouse of a deferred member, or if none, to designated child or children regardless of age at time of death, or if none, to designated beneficiaries described in 6.2.3, or if no designated beneficiary, a death benefit to the estate of the deceased member. The sum shall be calculated using the Lump Sum Service Pension table in effect at the time of separation, using years of service as determined in 6.1.6 and partial vesting requirements that may apply. The total benefits paid herein, cannot exceed the benefit earned by the member.

6.2.3 Designated Beneficiary. The member's designated beneficiary must be a natural person as identified in writing, on a form provided by and filed with the Secretary.

6.3 Limits on Benefits.

6.3.1* Domestic Relations Order. A qualified domestic relations or domestic relations order that complies

with the provisions of Minn. Stat. §§518.58, 518.581, or 518.611, shall be distribution made pursuant to a domestic relations order, shall be treated as made pursuant to qualified domestic relations order as specified by Internal Revenue Code 414 (p) (11), as amended. No benefits shall be paid under a domestic relations order which requires the plan to provide any type or form of benefit, or any option, not otherwise provided under the plan or under state law. The only benefit available to a former spouse of a member pursuant to a qualified domestic relations order is that of a lump sum service pension, which is distributable pursuant to the terms and conditions of Article VI herein. When a qualified domestic relations order is submitted to the *Association* for review and/or consideration, it must be accompanied with a fee of \$500.00 to help defray the cost of attorney fees and meeting costs of the *Board*.

6.3.2 Garnishment, Judgment or Legal Process. No service pension benefits paid or payable from the Special Fund of the relief association to any person receiving or entitled to receive a service pension shall be subject to garnishment, judgment, execution, or other legal process, except as provided in Minn. Stat. §§518.58, 518.581, or 518.611.

6.3.3 No person entitled to a service pension from the Special Fund of a relief association may assign any service pension benefit payments, nor shall the association have the authority to recognize any assignment or pay over any sum which has been assigned.

6.3.4 No provision which places limits on benefits as contained within Section 415 of the Internal Revenue Code shall be exceeded. Plan participants cannot receive an annual benefit greater than the amount specified in Section 415 of the code as may be subsequently amended.

6.3.5 No ancillary benefit or combination of benefits payable may exceed in amount the total earned service pension of the member or former member.

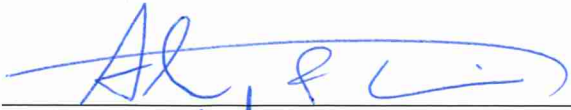
ARTICLE VII
AMENDMENTS

7.1 The Bylaws of this *Association* may be amended at any regular or special meeting of the *Association* by a favorable vote of two-thirds (2/3) of the members present and voting, providing a quorum is present; and provided further that notice of any proposed amendment or amendments has been given or mailed to each member at their last known address not more than 31 days preceding the date upon which such amendment or amendments are to be acted upon, and not less than 10 days prior to the scheduled date of such meeting; and provided further, that if such amendment or amendments shall change the amount of benefits or pensions, approval of the **Joint Powers Board** of the **NAFRS Joint Powers Agreement** must be obtained, as required by Minn. Stat. §69.772, subd. 4.

ARTICLE VIII
MUNICIPAL RATIFICATION

8.1 The adoption of, or any amendment to the *Articles* or *Bylaws* of this *Association* which increases or otherwise affects the retirement coverage provided by, or the service pensions or retirement benefits payable from the Special Fund of this *Association*, as required by Minn. Stat. §424A.02, subd. 10 shall not be effective until it is ratified by the **Joint Powers Board** of the **NAFRS Joint Powers Agreement**.

- A.** At a duly called regular meeting thereof, the *Northfield Fire Relief Association* did amend on the 11th day of March 2024, the foregoing *CODE OF BYLAWS*, said *Code* consisting of ten (10) pages, including this page. Which amendments were approved by the Northfield Fire Relief Association on the 11th day of March, 2024.
- B.** At a duly called regular meeting thereof, the **Northfield Joint Powers Board** did amend on the 20th day of June 2024, the foregoing *CODE OF BYLAWS*, said *Code* consisting of ten (10) pages, including this page. Which amendments were approved by the **Northfield Joint Powers Board** on the 20th day of June 2024,



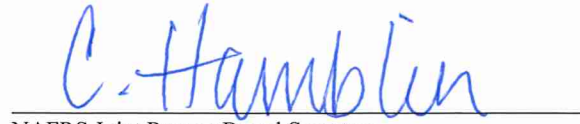
Relief Association President



Relief Association Secretary



NAFRS Joint Powers Board Chair



NAFRS Joint Powers Board Secretary

Addendum A

Table LS-06

Date

Approved by NAFRS Board,

6/20/2024

LUMP SUM SERVICE PENSION

EFFECTIVE 1/1/2025

\$15,000 BENEFIT LEVEL

Formula (Years X Level X Percentage)

<u>Years of Service</u>	<u>\$ Level</u>	<u>Percentage</u>	<u>Amount</u>
5	\$15,000	40%	\$30,000
6	\$15,000	44%	\$39,600
7	\$15,000	48%	\$50,400
8	\$15,000	52%	\$62,400
9	\$15,000	56%	\$75,600
10	\$15,000	60%	\$90,000
11	\$15,000	64%	\$105,600
12	\$15,000	68%	\$122,400
13	\$15,000	72%	\$140,400
14	\$15,000	76%	\$159,600
15	\$15,000	80%	\$180,000
16	\$15,000	84%	\$201,600
17	\$15,000	88%	\$224,400
18	\$15,000	92%	\$248,400
19	\$15,000	96%	\$273,600
20	\$15,000	100%	\$300,000 BASE
21	BASE + \$15,000		\$315,000
22	BASE + \$30,000		\$330,000
23	BASE + \$45,000		\$345,000
24	BASE + \$60,000		\$360,000
25	BASE + \$75,000		\$375,000
26	BASE + \$90,000		\$390,000
27	BASE + \$105,000		\$405,000
28	BASE + \$120,000		\$420,000
29	BASE + \$135,000		\$435,000
30	BASE + \$150,000		\$450,000
31	BASE + \$165,000		\$465,000
32	BASE + \$180,000		\$480,000
33	BASE + \$195,000		\$495,000
34	BASE + \$210,000		\$510,000
35	BASE + \$225,000		\$525,000

No maximum years of service



Legislation Text

File #: 26-352, Version: 1

City Council Meeting Date: July 7, 2026

To: Mayor and City Council
City Administrator

From: Risi Karim, Assistant City Administrator

Consider Approval of Service Agreement with EverStrive Solutions for City Administrator Performance Evaluation Facilitation.

Action Requested:

The Northfield City Council approves the service agreement with EverStrive Solutions to facilitate the 2026 City Administrator Performance Evaluation.

Summary Report:

The City of Northfield has an established policy and process for conducting an annual performance evaluation of the City Administrator. As part of that process, the City engages an outside facilitator to ensure the evaluation is conducted in a manner that is independent, confidential, and consistent with adopted policy.

To identify a qualified facilitator for the 2026 evaluation cycle, the City contacted the League of Minnesota Cities for recommendations and subsequently requested proposals from four firms: Employee Strategies, EverStrive Solutions, Ethical Leaders in Action, and Martin-McAllister. The Council Employment Policy Committee met on June 1, 2026 to review and discuss the proposals received.

Following that review, the Committee recommended moving forward with EverStrive Solutions, represented by Lauren Palmer, based on the following factors:

- Ability to conduct the full evaluation process as outlined in the City's policy
- Capacity to maintain an independent and confidential review process
- Competitive cost of \$7,500, representing a savings of \$1,000 compared to the \$8,500 the City previously paid for comparable facilitation services

Staff recommends approval of the service agreement with Lauren Palmer of EverStrive Solutions in the amount of \$7,500 and requests authorization for the Mayor and City Clerk to execute the agreement on behalf of the City.

Alternative Options:

None recommended.

Financial Impacts:

\$7,500- Funds for this expenditure are included in the adopted 2026 budget

Tentative Timelines:

City Administrator Performance Evaluation - November 10th, 2026 Closed City Council Meeting

CONSULTANT SERVICE CONTRACT

This Contract (the “Contract”) is made this 10 day of June, 2026, by and between the CITY OF NORTHFIELD, a Minnesota municipal corporation, 801 Washington Street, Northfield, MN 55057 (“CITY”), and EVERSTRIVE SOLUTIONS LLC, a limited liability company under the laws of the State of Missouri, 201 N. Forest Ave., Independence, Missouri 64050-2696 (“CONSULTANT”); (collectively the “PARTIES”).

WHEREAS, CITY requires certain professional services in conjunction with the City Administrator Performance Review (the “Project”); and

WHEREAS, CONSULTANT agrees to furnish the various professional services required by CITY.

NOW, THEREFORE, in consideration of the mutual covenants and promises contained herein, the Parties agree as follows:

SECTION I – CONSULTANT'S SERVICES AND RESPONSIBILITIES

- A. **Scope of Services.** CONSULTANT agrees to perform various Project services as detailed in Exhibit 1, Scope of Services, attached hereto and incorporated herein by reference (the “services”).
- B. **Changes to Scope of Services/Additional Services.** Upon mutual agreement of the PARTIES hereto pursuant to Section VI, Paragraph J of this Contract, a change to the scope of services detailed in Exhibit 1, attached hereto, may be authorized. In the event that such a change to the scope of services detailed in Exhibit 1 requires additional services by CONSULTANT, CONSULTANT shall be entitled to additional compensation consistent with Section III of this Contract. CONSULTANT shall give notice to CITY of any additional services prior to furnishing such additional services. CITY may request an estimate of additional cost from CONSULTANT, and upon receipt of the request, CONSULTANT shall furnish such cost estimate for such additional services prior to CITY’s authorization of the changed scope of services.
- C. **Changed Conditions.** If CONSULTANT determines that any services it has been directed or requested to perform by CITY are beyond the scope of services detailed in Exhibit 1, or that, due to changed conditions or changes in the method or manner of administration of the Project, CONSULTANT’s effort required to perform its services under this Contract exceeds the estimate that formed the basis for CONSULTANT’s compensation, CONSULTANT shall promptly notify CITY of that fact. Upon mutual agreement of the PARTIES hereto pursuant to Section VI, Paragraph J of this Contract, additional compensation for such services, and/or an extension of time for completion thereof, may be authorized. In the absence of such a mutual agreement, amounts of compensation and time for completion shall be equitably adjusted, provided that CONSULTANT first provides notice to CITY as required by this Paragraph and CITY has not terminated this Contract pursuant to Section IV, Paragraph B.

D. **Standard of Care.** Services provided by CONSULTANT or its subcontractors under this Contract will be conducted in a manner consistent with that level of care and skill ordinarily exercised by members of CONSULTANT’s profession or industry. CONSULTANT shall be liable to the fullest extent permitted under applicable law, without limitation, for any injuries, loss, or damages proximately caused by CONSULTANT's breach of this standard of care. CONSULTANT shall put forth reasonable efforts to complete its duties in a timely manner. CONSULTANT shall not be responsible for delays caused by factors beyond its control or that could not be reasonably foreseen at the time of execution of this Contract. CONSULTANT shall be responsible for costs, delays or damages arising from unreasonable delays in the performance of its duties or services.

E. **Insurance.** CONSULTANT shall not commence work under this Contract until CONSULTANT has obtained all insurance required herein and such insurance amounts specified herein have been verified by CITY, nor shall CONSULTANT allow any subcontractor to commence work on a subcontract until such subcontractor has obtained like insurance covering as to worker's compensation, liability, and automobile insurance. All such insurance coverage shall be maintained at all times while this Contract is in effect.

1. CONSULTANT agrees to procure and maintain, at CONSULTANT's expense, the following insurance policies, subject to the requirements in this Paragraph E and including the minimum coverages and limits of liability specified below, or as specified in the applicable insurance certificate(s), or as otherwise required by law, whichever is greater (coverages under umbrella or excess policies may be combined with primary policies to meet the below stated insurance coverage requirements):

Worker’s Compensation	Statutory Limits
Employer’s Liability	\$500,000 bodily injury by accident \$500,000 bodily injury by disease aggregate \$500,000 bodily injury by disease per employee
Commercial General Liability	\$2,000,000 property damage and bodily injury per occurrence \$3,000,000 annual aggregate \$2,000,000 annual aggregate Products – Completed Operations
Automobile Liability	\$1,000,000 per occurrence combined single limit for Bodily Injury and Property Damage (shall include

coverage for all owned, hired and non-owned vehicles

Umbrella or Excess Liability \$1,000,000 per occurrence

2. Except as provided below, CONSULTANT's Workers' Compensation insurance must provide coverage for all its employees. If Minnesota Statutes, section 176.041 exempts CONSULTANT from Workers' Compensation insurance, or if CONSULTANT has no employees in the City, CONSULTANT must provide a written statement, signed by an authorized representative, indicating the qualifying exemption that excludes CONSULTANT from the Minnesota Workers' Compensation requirements. If at any time while this Contract is in effect CONSULTANT ceases to be exempt from the requirement to maintain Workers' Compensation coverage, CONSULTANT must comply with the Workers' Compensation insurance requirements herein and provide CITY with a certificate of insurance documenting such coverage.
3. CONSULTANT's Commercial General Liability ("CGL") and business automobile liability insurance coverages shall insure CONSULTANT against claims for bodily injury or death, or for damage to property, including loss of use, which may arise out of operations by CONSULTANT or by any subcontractor or by anyone employed by any of them or by anyone for whose acts any of them may be liable (including automobile use). The following coverages shall, at a minimum, be included in the CGL insurance: Premises and Operations Bodily Injury and Property Damage, Personal and Advertising Injury, Blanket Contractual Liability, and Products and Ongoing and Completed Operations Liability. The required automobile liability coverage must include coverage for "any auto," which extends coverage to owned autos, non-owned autos, and hired autos. Such insurance shall include, but not be limited to, minimum coverages and limits of liability specified in this Paragraph, or as otherwise required by law. CITY shall have additional insured status and be listed by name on an endorsement attached to such policy(ies) (for purposes of clarity, CITY shall not be an additional insured on CONSULTANT's professional liability policy if such insurance is required in this Contract) for the services provided under this Contract and shall provide that CONSULTANT's coverage shall be primary and noncontributory in the event of a loss.
4. Professional/Technical (Errors and Omissions) Liability Insurance. CONSULTANT agrees to procure and maintain, at CONSULTANT's expense, Professional/Technical (Errors and Omissions) Liability Insurance. The required policy will provide coverage for all claims CONSULTANT may become legally obligated to pay resulting from any actual or alleged negligent act, error, or omission related to CONSULTANT's professional services required under the Contract. CONSULTANT is required to carry the following minimum limits: \$1,000,000 – per claim; \$1,000,000 – annual aggregate; or as specified in the applicable insurance certificate(s), or as otherwise required by law, whichever is

greater. Any deductible will be the sole responsibility of CONSULTANT and may not exceed \$75,000 without the written approval of CITY. If CONSULTANT desires authority from CITY to have a deductible in a higher amount, CONSULTANT shall so request in writing, specifying the amount of the desired deductible and providing financial documentation by submitting the most current audited financial statements so that CITY can ascertain the ability of CONSULTANT to cover the deductible from its own resources. The retroactive or prior acts date of such coverage shall not be after the effective date of this Contract and CONSULTANT shall maintain such insurance for a period of at least three (3) years, following completion of the services/work. If such insurance is discontinued, extended reporting period coverage must be obtained by CONSULTANT to fulfill this requirement.

5. True, accurate and current certificates of insurance, showing evidence of the required insurance coverages, are hereby provided to CITY by CONSULTANT and are attached hereto and incorporated herein by reference as Exhibit 2.
6. Any insurance limits in excess of the minimum limits specified herein above shall be available to CITY in the event of claims.
7. CONSULTANT's insurance policies and certificate(s) shall not be cancelled without at least Thirty (30) days' advance written notice to CITY, or Ten (10) days' prior written notice to CITY for nonpayment of premium.
8. CONSULTANT's policies shall be primary insurance and noncontributory to any other valid and collectible insurance available to CITY with respect to any claim arising out of CONSULTANT's performance under this Contract.
9. CONSULTANT is responsible for payment of Contract related insurance premiums and deductibles. If CONSULTANT is self-insured, a Certificate of Self-Insurance must be attached in Exhibit 2. Any program of self-insurance shall be subject to CITY's approval, which shall not be unreasonably withheld, conditioned or delayed.
10. CONSULTANT shall ensure that all subcontractors comply with the insurance provisions contained in this Contract and such insurance is maintained as specified.
11. CONSULTANT's policies shall include legal defense fees in addition to its liability policy limits, with the exception of the professional liability insurance and technology errors and omissions insurance, if applicable.
12. All policies listed above, except professional liability insurance (or other coverage not reasonably available on an occurrence basis), shall be written on a per "occurrence" basis ("claims made" and "modified occurrence" forms are not acceptable) and shall apply on a "per project" basis.

13. CONSULTANT shall obtain insurance policies from insurance companies having an “AM BEST” rating of A- (minus); Financial Size Category (FSC) VII or better, and authorized to do business in the State of Minnesota, or as approved by CITY.
14. CITY reserves the right to immediately terminate this Contract if CONSULTANT is not in compliance with the insurance requirements contained herein and retains all rights to pursue any legal remedies against CONSULTANT.

SECTION II – CITY’S RESPONSIBILITIES

- A. CITY shall promptly compensate CONSULTANT as services are performed to the satisfaction of the CITY’s Assistant City Administrator, in accordance with Section III of this Contract.
- B. CITY shall provide access to any and all previously acquired information relevant to the scope of services detailed in Exhibit 1 in its custody to CONSULTANT for its use, at CONSULTANT’s request.
- C. CITY will, to the fullest extent possible, grant access to and make all provisions for entry upon both public and private property as necessary for CONSULTANT’s performance of the services detailed in Exhibit 1.
- D. Risi Karim, CITY’s Assistant City Administrator, shall serve as the liaison person to act as CITY’s representative with respect to services to be rendered under this Contract. Said representative shall have the authority to transmit instructions, receive instructions, receive information, interpret and define CITY’s policies with respect to the Project and CONSULTANT’s services. Such person shall be the primary contact person between CITY and CONSULTANT with respect to the services performed by CONSULTANT under this Contract. CITY reserves the right to substitute the authorized contact person at any time and shall notify CONSULTANT thereof.

SECTION III – CONSIDERATION

- A. **Fees.** CITY will compensate CONSULTANT as detailed in Exhibit 3, Compensation, which is attached hereto and incorporated herein by reference, for CONSULTANT’s performance of services under this Contract.
- B. **Suspension for Nonpayment.** Except for a good faith dispute, if CITY fails to make any payment due CONSULTANT for services performed to the satisfaction of the CITY’s Assistant City Administrator and expenses within Thirty (30) days after the date of CONSULTANT’s invoice, CONSULTANT may, after giving Seven (7) days written notice to CITY, and without waiving any claim or right against CITY and without incurring liability to CITY, suspend services and withhold Project deliverables due under this Contract until CONSULTANT has been paid in full all amounts due for services rendered to the date of suspension along with applicable expenses and charges related to

the services rendered by CONSULTANT to CITY to the date of suspension.

SECTION IV – TERM AND TERMINATION

- A. **Term.** This Contract shall be in effect until such time as the Project is completed, December 31, 2026, or as otherwise provided in this Contract, whichever occurs first.
- B. **Termination.** This Contract may be terminated by either PARTY for any reason or for convenience by either PARTY upon Seven (7) days written notice. In the event of termination, CITY shall be obligated to CONSULTANT for payment of amounts due and owing, including payment for services performed or furnished to the date and time of termination to the satisfaction of the CITY's Assistant City Administrator, computed in accordance with Section III of this Contract. Termination shall not act to discharge any liability incurred by either PARTY during the term of this Contract. Such liability shall continue until discharged by law, this Contract, adjudication, or another subsequent agreement between the PARTIES discharging, settling, waiving, and/or releasing such liability.
- C. **Default.** If CONSULTANT fails to satisfy any of the provisions of this Contract, or so fails to perform and/or administer the services detailed in Exhibit 1 pursuant to the requirements of Section I of this Contract, in such a manner as to endanger the performance of this Contract or the services provided hereunder, this shall constitute default. Unless CONSULTANT's default is excused by CITY, CITY may, upon written notice, immediately cancel this Contract or exercise any other rights or remedies available to CITY under this Contract or law. In the event of CONSULTANT's default, CONSULTANT shall be liable to CITY for any and all costs, disbursements, attorneys and consultant fees reasonably incurred by CITY in enforcing this Contract.
- D. **Suspension of Services / Work.** If any services/work performed by CONSULTANT are abandoned or suspended in whole or in part by CITY, CONSULTANT shall be paid for any services/work performed to the satisfaction of the CITY's Assistant City Administrator prior to CONSULTANT's receipt of written notice from CITY of such abandonment or suspension, but in no event shall the total of CITY's payments to CONSULTANT under this Contract be required to exceed a percentage of the total contract price (calculated by either the Contract price or the maximum price set forth in Exhibit 3, attached hereto) equivalent to the percentage of the scope of services in Exhibit 1 completed by CONSULTANT to the satisfaction of the CITY's Assistant City Administrator, as determined by CITY.

SECTION V – INDEMNIFICATION

- A. CONSULTANT shall indemnify, protect, save, and hold harmless CITY, and its respective officials, directors, employees, and agents, from and against any claims, liability, damages, costs, judgments, or expenses, including reasonable attorney's fees, to the extent attributable to or caused by the negligent or otherwise wrongful acts or omissions, including breach of a specific contractual duty, of CONSULTANT or

CONSULTANT's subcontractors, agents, employees, members, vendors, or delegates with respect to this Contract, the Project, or the services. CONSULTANT shall defend CITY against the foregoing, or litigation in connection with the foregoing, at CONSULTANT's expense, with counsel reasonably acceptable to CITY, except that for professional liability claims, CONSULTANT shall have no upfront duty to defend CITY, but shall reimburse defense costs to CITY to the same extent of CONSULTANT's indemnity obligation herein. CITY, at its expense, shall have the right to participate in the defense of any claims or litigation and shall have the right to approve any settlement, which approval shall not be unreasonably withheld, conditioned, or delayed. The indemnification provisions of this Section shall not apply to damages or other losses proximately caused by or resulting from the negligence or willful misconduct of CITY. All indemnification obligations shall survive termination, expiration or cancellation of this Contract. CONSULTANT agrees, that in order to protect itself and CITY under the indemnity provisions set forth above, CONSULTANT will at all times during the term of this Contract keep in force policies of insurances required in Section I of this Contract. Nothing in this Contract shall be construed to waive any immunities, defenses, or limitations to which CITY is entitled under Minn. Stat. Chapter 466 or otherwise.

- B. CITY shall indemnify protect, save, and hold harmless CONSULTANT, and its respective officers, directors, employees, members, and agents, from and against any claims, liability, damages, costs, judgments, or expenses, including reasonable attorney's fees, to the extent attributable to or caused by the negligent or otherwise wrongful acts or omissions of CITY or its agents, employees, contractors or subcontractors with respect to CITY's performance of its obligations under this Contract. CITY shall defend CONSULTANT against the foregoing, or litigation in connection with the foregoing, at CITY's expense. CONSULTANT, at its expense, shall have the right to participate in the defense of any Claims or litigation. The indemnification provision of this Section shall not apply to damages or other losses proximately caused by or resulting from the negligence or willful misconduct of CONSULTANT. All indemnification obligations shall survive termination, expiration or cancellation of this Contract.
- C. Nothing contained in this Contract shall create a contractual relationship with or a cause of action in favor of a third party against CITY or CONSULTANT. CONSULTANT's services under this Contract are being performed solely for CITY's benefit, and no other entity shall have any claim against CONSULTANT because of this Contract or the performance or nonperformance of services by CONSULTANT provided hereunder.

SECTION VI – GENERAL TERMS

- A. **Voluntary and Knowing Action.** The PARTIES, by executing this Contract, state that they have carefully read this Contract and understand fully the contents hereof; that in executing this Contract they voluntarily accept all terms described in this Contract without duress, coercion, undue influence, or otherwise, and that they intend to be legally bound hereby.
- B. **Authorized Signatories.** The PARTIES each represent and warrant to the other that; (1)

the persons signing this Contract are authorized signatories for the entities represented, and (2) no further approvals, actions or ratifications are needed for the full enforceability of this Contract against it. Each PARTY indemnifies and holds the other harmless against any breach of the foregoing representation and warranty.

- C. **Notices.** All notices and other communications required or permitted under this Contract shall be in writing, and hand delivered or sent by registered or certified mail, postage prepaid, or by overnight delivery service and shall be effective upon receipt at the following addresses or as either PARTY shall have notified the other PARTY. The PARTIES' representatives for notification for all purposes are:

CITY:

Risi Karim, Assistant City Administrator
City of Northfield
801 Washington Street
Northfield, MN 55415
Phone: 507-645-3074
Email: risi.karim@northfieldmn.gov

CONSULTANT:

Lauren Palmer, Co-Founder & COO
EverStrive Solutions LLC
201 North Forest Avenue, Suite 120
Independence, MO 64050
Phone: (816) 286-4676
Email: lpalmer@everstrivesolutions.com

- D. **Dispute Resolution.** CITY and CONSULTANT agree to negotiate all disputes between them in good faith for a period of Thirty (30) days from the date of notice of dispute prior to proceeding to formal dispute resolution or exercising their rights under law.
- E. **Electronic/Digital Data.** Because of the potential instability of electronic/digital data and susceptibility to unauthorized changes, copies of documents that may be relied upon by CITY are limited to the printed copies (also known as hard copies) that are signed or sealed by CONSULTANT. Except for electronic/digital data, which is specifically identified as a Project deliverable by this Contract, or except as otherwise explicitly provided in this Contract, all electronic/digital data developed by CONSULTANT as part of the Project is acknowledged to be an internal working document for CONSULTANT's purposes solely and any such information provided to CITY shall be on an "as is" basis strictly for the convenience of CITY without any warranties of any kind. In the event of any conflict between a hard copy document and the electronic/digital data, the hard copy document governs. The electronic/digital data shall be prepared in the current software in use by CONSULTANT and is not warranted to be compatible with other systems or software.
- F. **Independent Contractor Status.** CONSULTANT, at all times and for all purposes

hereunder, shall be an independent contractor and is not an employee of CITY for any purpose. No statement contained in this Contract shall be construed so as to find CONSULTANT to be an employee of CITY, and CONSULTANT shall not be entitled to any of the rights, privileges, or benefits of employees of CITY, including but not limited to, workers' compensation, health/death benefits, and indemnification for third-party personal injury/property damage claims. CONSULTANT acknowledges that no withholding or deduction for State or Federal income taxes, FICA, FUTA, or otherwise, will be made from the payments due CONSULTANT under this Contract, and that it is CONSULTANT's sole obligation to comply with the applicable provisions of all Federal and State tax laws. CONSULTANT shall at all times be free to exercise initiative, judgment and discretion as to how to best perform or provide services identified herein. CONSULTANT is responsible for hiring sufficient workers to perform the services/work required by this Contract, withholding their taxes, and paying all other employment tax obligations on their behalf.

- G. **Acceptance of Deliverables.** Each deliverable shall be subject to a verification of acceptability by CITY to ensure such deliverable satisfies stated requirements. The acceptability of any deliverable will be based on CITY's satisfaction or non-satisfaction with the deliverable based on requirements of this Contract. If any deliverable is not acceptable, CITY will notify CONSULTANT specifying reasons in reasonable detail, and CONSULTANT will, at no additional cost, conform the deliverable to stated requirements of this Contract.
- H. **Subcontracting.** CONSULTANT shall not enter into any subcontract for performance of any services contemplated under this Contract without the prior written approval of CITY. CONSULTANT shall be responsible for the performance of all subcontractors. As required by Minn. Stat. § 471.425, CONSULTANT must pay all subcontractors, less any retainage, within Ten (10) calendar days of CONSULTANT's receipt of payment from CITY for undisputed services provided by the subcontractor(s) and must pay interest at the rate of one and one half percent per month or any part of a month to the subcontractor(s) on any undisputed amount not paid on time to the subcontractor(s).
- I. **Assignment.** This Contract may not be assigned by either PARTY without the written consent of the other PARTY.
- J. **Modifications/Amendment.** Any alterations, variations, modifications, amendments or waivers of the provisions of this Contract shall only be valid when they have been reduced to writing, and signed by authorized representative of CITY and CONSULTANT.
- K. **Records—Availability and Retention.** Pursuant to Minn. Stat. § 16C.05, subd. 5, CONSULTANT agrees that CITY, the State Auditor, or any of their duly authorized representatives at any time during normal business hours and as often as they may reasonably deem necessary, shall have access to and the right to examine, audit, excerpt, and transcribe any books, documents, papers, records, etc., which are pertinent to the accounting practices and procedures of CONSULTANT and involve transactions relating

to this Contract. CONSULTANT agrees to maintain these records for a period of six years from the date of termination of this Contract.

- L. **Force Majeure.** The PARTIES shall each be excused from performance under this Contract while and to the extent that either of them are unable to perform, for any cause beyond its reasonable control. Such causes shall include, but not be restricted to fire, storm, flood, earthquake, explosion, war, total or partial failure of transportation or delivery facilities, pandemic, raw materials or supplies, interruption of utilities or power, and any act of government or military authority. In the event either PARTY is rendered unable wholly or in part by force majeure to carry out its obligations under this Contract then the PARTY affected by force majeure shall give written notice with explanation to the other PARTY immediately.
- M. **Compliance with Laws.** CONSULTANT shall abide by all Federal, State and local laws, statutes, ordinances, rules and regulations now in effect or hereinafter adopted pertaining to this Contract or to the facilities, programs and staff for which CONSULTANT is responsible.
- N. **Covenant Against Contingent Fee.** CONSULTANT warrants that it has not employed or retained any company or person, other than a bona fide employee working solely for CONSULTANT to solicit or secure this Contract, and that it has not paid or agreed to pay any company or person, other than a bona fide employee, any fee, commission, percentage, brokerage fee, gift or any other consideration, contingent upon or resulting from award or making of this Contract.
- O. **Covenant Against Vendor Interest.** CONSULTANT warrants that it is not employed by any vendor of equipment or service provider that could result in a commission, percentage, brokerage, or contingent fee as a result of CONSULTANT's association with CITY.
- P. **Non-Discrimination.** The provisions of any applicable law or ordinance relating to civil rights and discrimination shall be considered part of this Contract as if fully set forth herein.
- Q. **Interest by City Officials.** No elected official, officer, or employee of CITY shall during their tenure or employment and for one year thereafter, have any interest, direct or indirect, in this Contract or the proceeds thereof.
- R. **Work Product.** All materials such as reports, exhibits, models, graphics, computer files, maps, charts, and supporting documentation produced under services/work authorized by this Contract ("Materials") shall become the property of CITY upon completion of the services/work. CITY may use the information for the Project for which they were prepared. Such use by CITY shall not relieve any liability on the part of CONSULTANT. Notwithstanding any of the foregoing to the contrary; (a) CONSULTANT may reuse standard details of its Materials in the normal course of its business, and (b) CITY understands that the Materials have been prepared for a specific project and are not intended to be reused for other purposes. If CITY reuses the Materials for any other purpose, CITY

waives any claims against CONSULTANT arising from such reuse and agrees to defend and indemnify CONSULTANT from any claims arising from such reuse.

- S. **Governing Law.** This Contract shall be deemed to have been made and accepted in Rice County, Minnesota, and the laws of the State of Minnesota shall govern any interpretations or constructions of the Contract without regard to its choice of law or conflict of laws principles.
- T. **Data Practices.** The PARTIES acknowledge that this Contract is subject to the requirements of Minnesota's Government Data Practices Act ("Act"), Minnesota Statutes, Section 13.01 *et seq.* CONSULTANT agrees to abide by the applicable provisions of the Act, HIPAA requirements, and all other applicable state or federal rules, regulations or orders pertaining to data privacy or confidentiality. CONSULTANT understands that all of the data created, collected, received, stored, used, maintained or disseminated by CONSULTANT in performing those services, work, and functions that the CITY would perform is subject to the requirements of the Act, and CONSULTANT must comply with those requirements as if it were a government entity. This does not create a duty on the part of CONSULTANT to provide the public with access to public data if the public data is otherwise available from CITY, except as required by the terms of this Contract.
- U. **Cybersecurity Incident Reporting.** CONSULTANT acknowledges that CONSULTANT by virtue of this Contract is subject to the requirements of Minn. Stat. § 16E.36 for reporting cybersecurity incidents impacting CITY.
- V. **No Waiver.** Any PARTY's failure in any one or more instances to insist upon strict performance of any of the terms and conditions of this Contract or to exercise any right herein conferred shall not be construed as a waiver or relinquishment of that right or of that PARTY's right to assert or rely upon the terms and conditions of this Contract. Any express waiver of a term of this Contract shall not be binding and effective unless made in writing and properly executed by the waiving PARTY.
- W. **Data Disclosure.** Under Minn. Stat. § 270C.65, Subd. 3, and other applicable law, CONSULTANT consents to disclosure of its social security number, federal employer tax identification number, and/or Minnesota tax identification number, already provided to CITY, to federal and state agencies and state personnel involved in the payment of CITY obligations. These identification numbers may be used in the enforcement of federal and state laws, which could result in action requiring CONSULTANT to file state tax returns, pay delinquent state tax liabilities, if any, or pay other CITY liabilities.
- X. **Patented Devices, Materials and Processes.** If this Contract requires, or CONSULTANT desires, the use of any design, device, material or process covered by letters, patent or copyright, trademark or trade name, CONSULTANT shall provide for such use by suitable legal agreement with the patentee or owner. If no such agreement is made as noted, CONSULTANT shall indemnify and hold harmless CITY from any and all claims for infringement by reason of the use of any such patented designed, device,

material or process, or any trademark or trade name or copyright in connection with the services agreed to be performed under the Contract by CONSULTANT, and shall indemnify and defend CITY for any costs, liability, expenses and attorney's fees that result from any such infringement.

- Y. **Mechanic's Liens.** CONSULTANT hereby covenants and agrees that CONSULTANT will not permit or allow any mechanic's or materialman's liens to be placed on CITY's interest in CITY property that is the subject of the Project during the term hereof. Notwithstanding the previous sentence, however, in the event any such lien shall be so placed on CITY's interest, CONSULTANT shall take all steps necessary to see that it is removed within Thirty (30) days of its being filed; provided, however, that CONSULTANT may contest any such lien provided CONSULTANT first posts a surety bond, in favor of and insuring CITY, in an amount equal to 125% of the amount of any such lien.
- Z. **Severability.** The invalidity or unenforceability of any provision of this Contract shall not affect the validity or enforceability of any other provision. Any invalid or unenforceable provision shall be deemed severed from this Contract to the extent of its invalidity or unenforceability, and this Contract shall be construed and enforced as if the Contract did not contain that particular provision to the extent of its invalidity or unenforceability.
- AA. **Entire Contract.** These terms and conditions constitute the entire agreement between the PARTIES regarding the subject matter hereof. All discussions and negotiations are deemed merged in this Contract.
- BB. **Headings and Captions.** Headings and captions contained in this Contract are for convenience only and are not intended to alter any of the provisions of this Contract and shall not be used for the interpretation of the validity of the Contract or any provision hereof.
- CC. **Survivability.** All covenants, indemnities, guarantees, releases, liability, representations and warranties by any PARTY or PARTIES, and any undischarged obligations of CITY and CONSULTANT arising prior to the expiration of this Contract (whether by completion or earlier termination), shall survive such expiration.
- DD. **Execution.** This Contract may be executed simultaneously in two or more counterparts that, when taken together, shall be deemed an original and constitute one and the same document. The signature of any PARTY to the counterpart shall be deemed a signature to the Contract, and may be appended to, any other counterpart. Facsimile and email transmissions of executed signature pages shall be deemed as originals and sufficient to bind the executing PARTY.

Remainder of page intentionally left blank.

SECTION VII –SIGNATURES

IN WITNESS WHEREOF, the PARTIES have hereunto executed this document the day and year first above written.

CONSULTANT:

EVERSTRIVE SOLUTIONS LLC

By: _____
(Signature)
Title: _____
Print Name: _____

Date: _____

CITY OF NORTHFIELD

By: _____
Erica Zweifel, Its Mayor

Date: _____

By: _____
Lynette Peterson, Its City Clerk

Date: _____

EXHIBIT 1

SCOPE OF SERVICES

Subject to the terms of this Contract, CONSULTANT shall perform the following services/work:

Project Kickoff & Planning | Pre-Work

Upon contract execution, EverStrive Solutions will meet with the City of Northfield to discuss the 2026 annual review process. The purpose of this meeting is to affirm the project timeline and approach and to gather direction from the City about desired outcomes. It ensures the City and consulting teams are aligned at the start of the project and sets the stage for a successful process. Following this meeting, EverStrive will prepare draft language for elected and appointed officials with instructions for participation. The City will review, finalize, and distribute instructions to participants.

Input Gathering | September 1 – 30

- Prepare and administer three distinct electronic Performance Evaluation Review surveys: one for City Council members, one for direct reports (Department Coordination Team), and one for the City Administrator as a self-assessment. Each will be tailored to the City Administrator's job duties and goals. Services include monitoring responses and conducting proactive outreach to maximize participation.
- Distribute the City Council survey with supporting materials (prior year performance review and annual goals) with instructions to complete and return.
- Complete a summary report with aggregated results and high level themes from survey responses and integrating input from the City Administrator's self-appraisal.

Interviews | October 1 - 21

- Conduct individual virtual meetings (30 minutes each) with each direct report and members of the governing body to gather qualitative feedback to supplement and enhance survey data. EverStrive will prepare an interview guide and distribute it to participants in advance of the interviews.
- Conduct a one-hour virtual meeting with the City Administrator to review the self-assessment, survey summary report, and impressions from individual interviews.

Draft Performance Appraisal and Meeting Facilitation | October 22 – November 9

- Draft a comprehensive performance appraisal report synthesizing all individual responses from City Council members, direct reports, and the City Administrator's self-assessment. The report will include:
 - Narrative description of the City Administrator's key strengths, areas of competency, and areas for improvement or reflection.
 - Performance on previous objectives
 - Summary of additional themes arising from the appraisal process.
 - Electronic survey results, including:

1. Average and distribution of all ratings.
 2. Anonymous and verbatim comments from surveys.
- Meet with the City Administrator to review the appraisal report before distribution to the Council.
 - Distribute the full report and executive summary to City Council, the City Administrator, and appropriate administrative staff prior to the closed meeting.
 - Facilitate a performance review dialogue in closed session with the City Council and City Administrator to discuss the results of the performance review and reach consensus among the Council on conclusions and goals for the following year.

Final Performance Appraisal Documents | November 10 - 24

- Revise the performance appraisal report following the closed session to incorporate the consensus direction of the City Council.
- Circulate the revised appraisal report to the Mayor and City Administrator for review and comment; finalize the report with responses to feedback.
- Provide a brief 1-3 page executive summary of the final appraisal report.

EXHIBIT 2

CERTIFICATES OF REQUIRED INSURANCE COVERAGES

[Certificates of Insurance attached hereto]

EXHIBIT 3

COMPENSATION

Subject to the limitations set forth in this Exhibit, CITY will compensate CONSULTANT in accordance with the schedule below for the time spent in performance of services/work under this Contract, provided that under no circumstances shall CONSULTANT's total charges to CITY, including expenses, exceed \$7,500.00 ("maximum price"), unless such charges in excess of the maximum price are authorized in writing by the Assistant City Administrator before they are incurred by CITY.

CITY will make periodic payment to CONSULTANT based upon the following schedule of payments for services/work completed by CONSULTANT to the satisfaction of the Assistant City Administrator, as determined by CITY:

1. Phase 1: Project Kickoff and Acceptance of Project Schedule \$1,500
2. Phase 2: Insight Gathering & Interviews \$3,500
 - Completion of Administration of Surveys (3)
 - Completion of DCT and Council Interviews
 - Completion of Meetings with City Administrator (2)
3. Phase 3: Facilitated Review in Closed Session \$2,500

CITY shall be entitled to withhold five percent (5%) of the Contract price until such time as CONSULTANT has fully performed the scope of services detailed in Exhibit 1 to the satisfaction of the Assistant City Administrator.

COVER LETTER

May 18, 2026 (Revised May 28, 2026)

Risi Karim
Assistant City Administrator
801 Washington Street
Northfield, MN 55057
Delivered via email: Risi.Karim@northfieldmn.gov

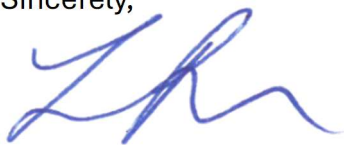
Dear Risi:

Thank you for the opportunity to submit this proposal from EverStrive Solutions, LLC, for a facilitated performance review for the city administrator. EverStrive Solutions is a full-service public sector consulting firm that specializes in strategic planning, facilitation, and organizational development. We proudly serve local governments, non-profits, and regional organizations across the country.

EverStrive Solutions was founded by two former city managers who have sat on both sides of this table, both as a city administrator being evaluated and as the staff facilitating the process. We know that a performance review is only as valuable as the consensus it produces. Our work is built around drawing out the full range of perspectives on the City Council and staff leadership team, creating the conditions where every perspective is heard and the final evaluation reflects genuine collective judgment, not just the loudest voices.

Our approach is confidential, structured, and respectful of the time constraints facing both elected officials and senior staff. We will partner with the City of Northfield to keep the process on track and ensure the City Administrator receives meaningful, actionable feedback aligned with the Council's expectations and the City's goals.

Sincerely,



Lauren Palmer
Co-Founder & COO

CONTACT INFORMATION

201 North Forest Avenue, Suite 120
Independence, MO 64050
(816) 286-4676
lpalmer@everstrivesolutions.com
www.everstrivesolutions.com
FEIN: 99-2319015

MEET EVERSTRIVE SOLUTIONS

Certified Woman-Owned Business Enterprise through the Missouri Office of Equal Employment Opportunity

EverStrive Solutions, LLC is a public sector consulting firm that specializes in supporting local governments, nonprofits, professional associations, and regional agencies. Founded by former local government executives, EverStrive Solutions provides coaching, strategic planning, facilitation, and project management to support the changemakers of the world. We offer a variety of solutions, including providing facilitation and consulting services in one-on-one and group environments that focus on process improvement, policy development, strategy, productivity, team dynamics, management training, and executive leadership.

OUR FACILITATOR



Lauren Palmer, EverStrive Solutions COO and Co-Founder, will serve as the project facilitator. She has held executive local government roles in four cities in three states including city administrator and assistant city manager. She previously served as the director of local government services for Mid-America Regional Council (MARC), the regional council of governments in the greater Kansas City area. Lauren led MARC’s work in economic development, emergency services, housing, workforce development and other shared services. At EverStrive, Lauren frequently works with local government and regional council clients on strategic planning and organizational improvement. Lauren is an ICMA Credentialed Manager who has a strong reputation for getting to the heart of the matter, maintaining high productivity across diverse service lines, and developing talent so teams achieve their best.

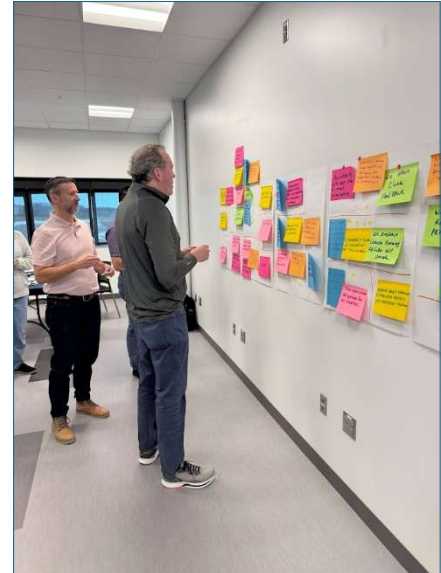
Lauren is based in the Twin Cities region of Minnesota.



EXPERIENCE AND REFERENCES

Below are examples of prior relevant experiences with similar services and organizations. References are available upon request.

- **Child Care Aware of Kansas** – Strategic Planning and Ongoing Strategic Advising (2024 – 2026)
- **City of Chanhassen, Minnesota** – Project Management Training for Staff Leadership (2026)
- **City of Grand Junction, Colorado** – City Council Retreat and Strategic Planning Process (2025)
- **City of Plymouth, Wisconsin** – Strategic Plan (2026 – in progress)
- **City of Springfield, Missouri** – City Council Priority Setting Workshop and Ongoing Advising (2025 – 2026)
- **City of Thornton, Colorado** – Council Strategic Planning Conference (2025 and 2026)
- **Clay County Public Health Center (Liberty, Missouri)** – Strategic Plan (2026 – present)
- **Engaging Local Government Leaders (ELGL)** – Strategic Plan (2025 – present)
- **Metropolitan Area Planning Commission (MAPA) Foundation (Omana, Nebraska)** – Strategic Plan and Organizational Assessment (2026 – in progress)
- **MidSouth Development District (Memphis, Tennessee)** – Community Roundtable Facilitation (2025 – 2026 – in progress)
- **Missouri City/County Managers Association** – Board Retreat & Strategic Plan (2025)
- **Missouri Municipal League** – Board Planning Retreat (2025)
- **Town of Windsor, Colorado** – Strategic Plan (2026 – in progress)
- **Unified Government of Wyandotte County/Kansas City, Kansas** – Two-Part Board Retreat (2025 and 2026)
- **Winnebago County, Wisconsin** – Strategic Plan and Governing Body Retreat (2025)



OUR APPROACH

WHY A FACILITATED REVIEW?

Leading a public sector organization means answering to an elected governing body. Multiple decision-makers each bring different priorities and perspectives to a performance review. The challenge for any chief administrative official is to listen carefully enough to find genuine consensus, so they have the guidance and support needed to lead effectively and thrive professionally.

A neutral, skilled facilitator transforms this inherently charged dynamic. Rather than letting emotion or reluctance derail the process, facilitation creates the conditions for candid, constructive dialogue that serves all parties: the administrator, the governing body, and the organization.

Our experience with local government leadership reveals a consistent pattern. Elected policy leaders are often reluctant to engage in performance reviews. Some assume everything is fine and see no urgency. Others do not prioritize the time. Still others lack prior supervisory experience and worry they do not know how to deliver feedback effectively. EverStrive Solutions excels at helping reluctant leaders find their voice in this process, ensuring the evaluation reflects the full range of viewpoints on the governing body, not just the most vocal ones.

OUR COMMITMENT TO CONFIDENTIALITY

Confidentiality is the foundation of our credibility and the prerequisite for an honest process. We hold the following standards on every engagement:

- We never discuss your performance evaluation outside of authorized participants, under any circumstances.
- To the extent possible, feedback gathered through one-on-one interviews is reported in the aggregate and not personally attributed. Where individual attribution is necessary to communicate feedback appropriately, or where individual attribution may be inferred by the nature of the feedback, EverStrive will exercise professional discretion in how that information is conveyed to the City Administrator.
- We follow strict security protocols to ensure all personnel information remains protected throughout and after the engagement.

SCOPE OF WORK

EverStrive Solutions will serve as the independent third party consultant for the city administrator's annual review. Our approach is grounded in partnership. We work alongside clients to design **flexible and adaptable** processes that produce results. We are pleased to modify our standard facilitated performance review engagement to align with the process



and guidelines already established for the City of Northfield (R2018-040). We anticipate a 10-week process that includes the following elements:

Project Kickoff & Planning | Pre-Work

Upon contract execution, EverStrive Solutions will meet with the City of Northfield to discuss the 2026 annual review process. The purpose of this meeting is to affirm the project timeline and approach and to gather direction from the City about desired outcomes. It ensures the City and consulting teams are aligned at the start of the project and sets the stage for a successful process. Following this meeting, EverStrive will prepare draft language for elected and appointed officials with instructions for participation. The City will review, finalize, and distribute instructions to participants.

Input Gathering | September 1 – 30

- Prepare and administer three distinct electronic Performance Evaluation Review surveys: one for City Council members, one for direct reports (Department Coordination Team), and one for the City Administrator as a self-assessment. Each will be tailored to the City Administrator’s job duties and goals. Services include monitoring responses and conducting proactive outreach to maximize participation.
- Distribute the City Council survey with supporting materials (prior year performance review and annual goals) with instructions to complete and return.
- Complete a summary report with aggregated results and high level themes from survey responses and integrating input from the City Administrator’s self-appraisal.

Interviews | October 1 - 21

- Conduct individual virtual meetings (30 minutes each) with each direct report and members of the governing body to gather qualitative feedback to supplement and enhance survey data. EverStrive will prepare an interview guide and distribute it to participants in advance of the interviews.
- Conduct a one-hour virtual meeting with the City Administrator to review the self-assessment, survey summary report, and impressions from individual interviews.

Draft Performance Appraisal and Meeting Facilitation | October 22 – November 9

- Draft a comprehensive performance appraisal report synthesizing all individual responses from City Council members, direct reports, and the City Administrator’s self-assessment. The report will include:
 - Narrative description of the City Administrator’s key strengths, areas of competency, and areas for improvement or reflection.
 - Performance on previous objectives



- Summary of additional themes arising from the appraisal process.
- Electronic survey results, including:
 1. Average and distribution of all ratings.
 2. Anonymous and verbatim comments from surveys.
- Meet with the City Administrator to review the appraisal report before distribution to the Council.
- Distribute the full report and executive summary to City Council, the City Administrator, and appropriate administrative staff prior to the closed meeting.
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Final Performance Appraisal Documents | November 10 - 24

- Revise the performance appraisal report following the closed session to incorporate the consensus direction of the City Council.
- Circulate the revised appraisal report to the Mayor and City Administrator for review and comment; finalize the report with responses to feedback.
- Provide a brief 1-3 page executive summary of the final appraisal report.

Mid-Year Check-In | Supplemental Service

EverStrive Solutions is available to participate in a mid-year performance appraisal check-in as a facilitator, contributor, or passive listener.



PROJECT SCHEDULE



City of Northfield, MN Facilitated Review		WEEKS										
PHASE	PROJECT COMPONENT	0	1	2	3	4	5	6	7	8	9	10
Input Gathering	Project Kickoff	█										
	Develop Survey Tools		█									
	Administer Council and DCT Surveys			█	█							
	Administer Self-Assessment					█						
Interviews	DCT Interviews					█	█					
	City Council Interviews					█	█					
	City Administrator Meeting							█				
Draft Performance Appraisal and Meeting Facilitation	Draft Appraisal Report								█			
	Meet with City Administrator - Review Report									█		
	Facilitate Closed Session Dialogue										█	
	Update Report with Meeting Conclusions											█

All dates are subject to change based on input and availability from City of Northfield

FEE PROPOSAL

EverStrive Solutions proposes the following lump-sum pricing based on estimated hours and expenses to complete the deliverables. We will submit incremental invoices at each milestone as indicated in the table below.

TOTAL FEE: \$7,500	
<i>Milestone #1: Project Kickoff and Acceptance of Project Schedule</i>	\$1,500
<i>Milestone #2: Insight Gathering & Interviews</i> <ul style="list-style-type: none">• Completion of Administration of Surveys (3)• Completion of DCT and Council Interviews• Completion of Meetings with City Administrator (2)	\$3,500
<i>Milestone #3: Facilitated Review in Closed Session</i> <ul style="list-style-type: none">• Delivery of Final Report with Meeting Conclusions	\$2,500
Total	\$7,500

EverStrive Solutions will provide all standard materials needed (standard technology, flip charts, etc.). The client will retain responsibility for any direct expenses associated with the project outside of these standard materials, including securing space, printing, and any desired meals/refreshments. While no additional purchases are anticipated, if needed, EverStrive Solutions will work with the Client to approve any purchases in advance and ensure that all applicable purchasing policies are followed. Pricing is all-inclusive and covers development, preparation, travel, and meetings. EverStrive Solutions charges a \$200.00 hourly rate for supplemental services that constitute a change to the approved scope of work. Supplemental charges will only be applied when approved in writing in advance.

INCLUDED TRAVEL

This proposal includes two trips to Northfield, MN for one consultant:

- Project kickoff or summary report debrief with City Administrator
- Facilitated review in closed session

Travel days are flexible and may be scheduled as needed to support project activities. If additional trips are required, they will be billed at cost with no mark-up, using U.S. General Services Administration (GSA) per diem rates for meals and mileage.

SUPPORTING MATERIALS

The following supporting materials are attached as exhibits to the proposal.

1. Lauren Palmer Resume
2. WBE Certification





RELEVANT EXPERIENCE

- **EverStrive Solutions, LLC** | Public Sector Consultants **2024 - Present**
COO and Co-Founder
- **Mid-America Regional Council** **2018 – 2024**
Director of Local Government Services | 2021 – 2024
Assistant Director of Community Development/Local Government Services Program Director | 2020 – 2021
Local Government Services Program Director | 2018 - 2020
- **City of Independence, Missouri** **2016 - 2018**
Assistant City Manager
- **City of Parkville, Missouri** **2013 – 2016**
City Administrator
- **City of Manhattan, Kansas** **2008 - 2013**
Assistant City Manager
- **City of Des Moines, Iowa** **2004 - 2008**
Management Analyst | 2006 – 2008
Management Assistant | 2005 – 2006
Management Intern | 2004 - 2005

PROFESSIONAL DEVELOPMENT

- **Centurions Leadership Program.** Kansas City Area Chamber of Commerce. Class of 2019.
- **International City-County Management Association Credentialed Manager (ICMA-CM).** Since 2015.
- **Flint Hills Regional Leadership Program,** Class of 2008.
- **Emerging Leaders Development Program,** International City/County Management Association. Class of 2008 (Inaugural Class).

VOLUNTEERISM

- **Engaging Local Government Leaders (ELGL) GovLove Podcast,** Host. 2021 – present.
- **Independence Square Association,** Board Member. 2025.
- **Women’s Employment Network (WEN),** Annual Luncheon Committee. 2025.
- **Truman Library Institute,** Wild About Harry Annual Fundraising Committee. 2022 – 2025.
- **Local Initiative Support Corporation (LISC) Greater Kansas City,** Local Advisory Board. 2020 – 2025.
- **United Way of Greater Kansas City,** Women United Advisory Cabinet. 2016 – 2020.
- **United Way of Riley County,** Board Chair, 2013, and Board Member, 2012.
- **Awards Evaluation Committee,** Vice Chair. International City/County Management Association. 2007 – 2010.

EDUCATION

Master of Public Affairs
Indiana University School of Public and Environmental Affairs

Bachelor of Arts in Political Science
University of Missouri



*Kenneth J. Zellers
Commissioner*

*Claudia Browner
Acting Director*

STATE OF MISSOURI
OFFICE OF ADMINISTRATION
OFFICE OF EQUAL OPPORTUNITY

THIS CERTIFIES THAT

EverStrive Solutions

Qualifies as a Woman-Owned Business Enterprise which has met the eligibility criteria established by the State of Missouri, Office of Administration.



Claudia Browner, Acting Director, Office of Equal Opportunity

<i>Certification Number: 22737</i>	<i>Date of Issue: 10/17/2025</i>	<i>Date of Expiration: 10/17/2028</i>
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- ❖ *Date of Expiration is only valid with completion of Annual Update / Recertification prior to the anniversary date.*
- ❖ *Current certification status of the above mentioned firm can be verified on the Office of Equal Opportunity Directory's website at: <https://apps1.mo.gov/MWBCertifiedFirms/>*



1.02 CITY ADMINISTRATOR PERFORMANCE REVIEW POLICY CITY COUNCIL

Enabling Legislation: R2018-040

Date Adopted: 04/17/18

Revised: 08/05/24; 08/04/25

PURPOSE

The purpose of the City Administrator Performance Review Process policy is to establish clear guidelines and procedures for the City Administrator's regular annual performance review and a mid-year check-in. The performance review process is intended to establish and communicate performance expectations, goals and objectives for the City Administrator, identify the City Administrator's strengths and areas for improvement in meeting these expectations, and foster the City Administrator's professional development.

The Annual City Administrator Performance Review will provide helpful, real-time feedback from the Mayor and City Council and direct reports. This process is an effective means to meet the objectives of a performance evaluation of establishing and communicating performance expectations, goals, and objectives and to provide recognition of accomplishments and to have a discussion regarding expectations and goals for the upcoming year. This process also identifies the City Administrator's strengths and areas for improvement in meeting these expectations and fosters the City Administrator's professional development. When used for professional development, the review offers a number of benefits, including increased self-awareness, identification of potential problem areas and gaps in perception of professional development.

The mid-year check-in is intended to provide the opportunity for more consistent and productive feedback from City Council to the Northfield City Administrator throughout the year and continue to strengthen the process for Annual Performance Review. A mid-year personal and professional development check-in is intended for the City Administrator to report progress on established goals during the previous Annual Performance Review. In contrast, the Annual Performance Review is intended to be a full year assessment of progress on strategic initiatives, opportunities for growth and development, and includes deeper assessments and feedback from the City Administrator, City Staff, and City Council. The Annual Performance Review also contemplates a salary increase while the mid-year check-in does not.

PROCESS

The Council Employment Policy Committee will work with the Communications and Human Resources Director to recommend to the City Council the City Administrator performance review timeline, review tool(s) to be used, and a professional and independent third party as retained by the City Council to assist with the review process. Each year, the performance review process and third-party consultant will be reviewed shortly after the evaluation is completed to finalize the process for the upcoming performance review year.

The following is a summary of the intended Annual Performance Review process:

1. Each year, a third-party, in collaboration with the Communications and Human Resources Director submits to City Council members and the City Administrator: (1) a copy of the previous year's Performance Review Summary; (2) a summary of the City Administrator's update on goals from the current review period; and (3) a Performance Evaluation Review form via an electronic evaluation tool.
2. Approximately four weeks prior to the City Administrator's performance review, a third-party, in collaboration with the Communications and Human Resources Director will send to all direct reports a Performance Evaluation Review form via an electronic evaluation tool.
3. City Council members, all direct reports, and City Administrator individually complete the Performance Evaluation Review forms.
 - a. Note that there will be one Performance Evaluation Review form for City Council members to complete, one for direct reports, and another form for the City Administrator to complete as a self-assessment.¹ All forms will solicit competency ratings, comments, and narrative feedback in specific areas relevant to the City Administrator's job duties and goals and provide specific instructions and guidelines for feedback.
 - b. City Council members to consider the City Administrator's job description and goals in evaluating the performance of the City Administrator.
 - c. The identity of the individual City Council members completing the forms will be provided to the City Administrator but otherwise anonymous to others, including the City Council.
 - d. Direct reports will complete a performance review survey form and meet individually with third party consultant. The feedback of the direct reporting staff will be in aggregate form. If there is a need for addressing

individual responses from direct reports by way of identifying such individual responses, the third party will determine, in their discretion, how to appropriately communicate such feedback to the City Administrator.

4. A third-party in collaboration with the Communications and Human Resources Director, drafts aggregate evaluation responses into one comprehensive report and an executive summary from all individual responses received and submits such to City Council, City Administrator, and appropriate administrative staff prior to the special meeting. The City Administrator will also be submitted individual evaluation responses concurrent with their aggregated results.
5. City Administrator meets with a third-party to review City Administrator's review form (i.e., self-assessment) and goals for the current review period.
6. On the date of the special meeting, the City Council will discuss with the City Administrator the aggregate review responses, their responses, their individual responses if they wish, City Administrator's comments, and/or any other comments City Council members have.
 - a. The meeting will be closed and electronically recorded, unless the City Administrator requests that it be open under Minn. Stat. sec. 13d.05, subd. 3(a).
 - b. The meeting can proceed as follows:
 - i. Communications & Human Resources Director presents compensation information as provided in the special meeting agenda packet, which includes compensation increase options and answers questions from City Council.
 - ii. The third-party consultant and City Council discuss performance evaluation provided in executive summary, review recommended goals, and third-party consultant answer questions from City council without City Administrator in attendance, or at minimum, not participating.
 - iii. The Mayor, or in their absence the meeting chairperson, solicits feedback on the summary of conclusions provided by the third-party consultant in the executive summary. The Mayor, or in their absence the meeting chairperson, asks each member to state their concurrence or not with such conclusions. If there are changes to the summary of conclusions, the third-party consultant modifies the summary as directed by the City Council.

**1.02 CITY ADMINISTRATOR PERFORMANCE REVIEW POLICY
CITY COUNCIL**

Enabling Legislation: R2018-040

Date Adopted: 04/17/18

Revised: 08/05/24; 08/04/25

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- iv. Communications & Human Resources Director leaves the meeting. City Administrator is invited into the meeting to discuss the performance review with the City Council.
 - v. With City Administrator in attendance, the Mayor or in their absence, the meeting chairperson, simply reference or summarize the executive summary and then allow each City Council member to state anything they wish about their evaluation of City Administrator.
 - vi. City Administrator comment as they wish on statements on the review responses and statements from City Council Members.
- c. Evaluation of the City Administrator generally includes the intertwined issue of ratings and comments on specific area of the City Administrator's job, goals, application of the employment agreement, and salary change.
- i. Though the City Council can reference and discuss a potential salary change or adjustment as part of the performance evaluation (e.g., City Council is discussing the adequacy of performance in order to receive a salary increase), it should not negotiate such a change or otherwise make any decision on such a change outside an open meeting based on Minnesota Department of Administration, Data Practices Office, Advisory Opinion 15-002 stating:
The Open Meeting Law does not contain a provision allowing public bodies to close meetings for general personnel reasons; meetings can only be closed in the specific circumstances described in section 13D.05 or by other statutes. As discussed in Issue 1, a performance evaluation may naturally include references to "compensation and prospective extension of [an] employment agreement." However, once a public body has determined that the employee will remain employed with a possible change in pay based on their performance, and the discussion logically turns to the specifics about the employment agreement, the City Council is no longer evaluating the performance of an individual per section 13D.05, subdivision 3(a). In these circumstances, contract negotiations must be done in an open meeting.
7. At the next open meeting following the closed session, the City Council:

-
- a. Summarizes its conclusions regarding the evaluation under Minn. Stat. sec. 13D.05, subd. 3(a) and take action on any salary change.
 - i. The Mayor, or in their absence, the meeting chairperson reads a statement summarizing the conclusions from the meeting.
 - ii. The Minnesota Department of Administration Data Practices Office opined in Advisory Opinion 02-021 as follows related to the summary:

Clearly, the language of the Open Meeting Law indicates that the City Council ought to summarize each salient point of the evaluation so that the public is given the opportunity to get the best possible sense of the performance - good, bad, or indifferent - of the public employee.
 - b. Take a motion and vote for any salary increase. The Communications and Human Resources Director will prepare resolutions for consideration of compensation of the City Administrator in the open meeting. The following options *may* be included in the resolutions for consideration:
 - i. One step increase if performance meets or exceeds expectations.
 - ii. Other option – more than one step increase (such as a two-step increase or more) if performance meets or exceeds expectations. If the City Council action directs another salary change concept, the Communications and Human Resources Director will add the appropriate language in the resolution(s) as directed by Council with the salary change that was proposed.

The City Council will also conduct a mid-year check-in with the City Administrator, typically 6 months prior to the Annual Performance Review, as follows:

1. City Council holds a closed meeting pursuant to Minn. Stat. sec. 13D.05, subd. 3(a).
 - a. The meeting will be closed and electronically recorded, unless the City Administrator requests that it be open under Minn. Stat. sec. 13D.05, subd. 3(a).
 - b. City Administrator to inform the City Council about progress on current personal and professional growth and goals from the current review period. The City Council may then have an open dialogue with the City Administrator, providing feedback, but without conducting any formal evaluation.



**1.02 CITY ADMINISTRATOR PERFORMANCE REVIEW POLICY
CITY COUNCIL**

Enabling Legislation: R2018-040

Date Adopted: 04/17/18

Revised: 08/05/24; 08/04/25

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2. At the next open meeting following the closed session, the City Council:
 - a. Summarizes its conclusions regarding the mid-year check-in under Minn. Stat. sec. 13D.05, subd. 3(a) on whether the City Administrator fulfilled the expectation to present on goals per 1.b. above of this City Administrator Performance Review Policy.
 - b. The City Council will not take any motion and vote on a salary increase.



Legislation Text

File #: 26-353, Version: 1

City Council Meeting Date: July 7, 2026

To: Mayor and City Council

From: Jeff Schroepfer, Chief of Police

Consider Approval of Contract for Civil Legal Services - Extreme Risk Protection Orders (ERPOs)

Action Requested:

The Northfield City Council approves a Motion approving the attached Contract for Civil Legal Services - Extreme Risk Protection Orders (ERPOs) with Eckberg Lammers, P.C.

Summary Report:

Minnesota law authorizes law enforcement agencies to petition the court for an Extreme Risk Protection Order (ERPO) when an individual poses a significant danger of causing bodily harm to self or others through possession of a firearm. ERPO proceedings require legal review, preparation of court filings, legal research, and representation during court hearings.

Historically, ERPO matters have been handled through the City's civil legal services attorney. Staff is recommending that responsibility for ERPO proceedings be assigned to Eckberg Lammers, the City's prosecuting attorney.

Although ERPO proceedings are civil matters under Minnesota law, they are initiated by law enforcement and frequently arise from incidents involving criminal investigations, domestic violence, threats of violence, mental health crises, and other public safety concerns. Due to the close relationship between ERPO proceedings and law enforcement operations, staff believes these matters align more appropriately with the services provided by the City's prosecuting attorney.

Eckberg Lammers works closely with the Northfield Police Department on criminal prosecutions, legal consultation, officer training, and court proceedings. Their familiarity with police operations, evidence, court processes, and public safety issues will provide greater continuity and efficiency when evaluating and pursuing ERPO petitions.

The proposed agreement provides legal representation at ERPO hearings, training, process development, legal research, drafting of documents and orders, appeals, and related services. While the number of ERPO cases is expected to be relatively small, approximately four to five matters annually, staff believes it is important that these time-sensitive public safety cases be handled by attorneys who regularly work with the Police Department and the criminal court system.

The proposed agreement would be effective August 1, 2026, through December 31, 2027. Staff recommends approval of the agreement.

Alternative Options:

The Council may choose to continue utilizing the City's civil legal services attorney for ERPO proceedings. Staff believes assigning ERPO responsibilities to the prosecuting attorney better aligns the work with the nature of the proceedings and the Police Department's operational responsibilities.

Financial Impacts:

The agreement establishes an hourly rate of \$350 for attorney services and \$175 for paralegal/legal assistant services, plus reimbursement of actual costs and expenses as outlined in the agreement. Services will be utilized on an as-needed basis and no minimum expenditure or retainer is required. The Police Department anticipates approximately four to five ERPO matters per year, resulting in a relatively modest annual cost that will be paid from existing police department budget.

Tentative Timelines:

If approved, the agreement will become effective August 1, 2026, and continue through December 31, 2027, unless terminated by either party pursuant to the agreement.

**CONTRACT FOR CIVIL LEGAL SERVICES
EXTREME RISK PROTECTION ORDERS**

This CONTRACT FOR CIVIL LEGAL SERVICES – EXTREME RISK PROTECTION ORDERS (the "Agreement") is entered into by and between the City of Northfield, a Minnesota municipal corporation, 801 Washington Street, Northfield, MN 55057 (the "City") and the law firm of Eckberg Lammers, P.C., with its principal office located at 1809 Northwestern Avenue, Stillwater, Minnesota, 55082 (the "Law Firm"), for the purpose of utilizing the Law Firm to provide Civil Legal Services – Extreme Risk Protection Orders to the City.

RECITALS

A. The City and the Law Firm desire to enter into a contract for a term beginning August 1, 2026 through December 31, 2027, with the hourly rates outlined as follows:

Attorney Hourly Rate	\$350
Paralegal/Legal Assistant Hourly Rate	\$175

NOW THEREFORE, IN CONSIDERATION OF the mutual promises contained herein and other good and sufficient consideration, incorporating the Recitals in full the parties agree to the following:

TERMS

ARTICLE I: SERVICES

1.1 Scope and Nature of General Counsel Services: The parties agree to the following description of the nature of the legal services to be provided by the Law Firm to the City:

- Legal Representation at Extreme Risk Protection Order (ERPO) hearings
- Training, advising on processes, drafting of post-hearing orders, research, filing of exhibits and documents, appeals

1.2 Routine Phone Calls. As part of the Law Firm’s comprehensive civil legal services, no charges are imposed for routine phone calls. If a phone call evolves into a project or work item, that item will transition to the appropriate billing options.

ARTICLE II: REIMBURSABLE COSTS AND EXPENSES.

21 General Rule: The City will reimburse the Law Firm for actual, necessary, and reasonable costs and expenses incurred by the Law Firm in the performance of the legal services contained in this Agreement.

22 Specific Rates:

Mileage	No Charge
Postage, Courier/Delivery	Actual Cost
Process Server	Actual Cost
Messenger	Actual Cost
Court Costs/Filing Fees	Actual Cost
Arbitration Costs	Actual Cost
Other Contested Case Costs	Actual Cost
Westlaw Research Fees	No Charge
Publication Fees	Actual Cost
Document Recording & Closing Fees	Actual Cost

ARTICLE III: CONFLICT OF INTEREST AND ATTORNEY/CLIENT PRIVILEGE

3.1. Conflict of Interest: The Law Firm will notify the City if the Law Firm represents or has ever represented an opposing party in a legal matter.

3.2. Attorney/Client Privilege: The Law Firm is authorized to utilize e-mail without encryption to transmit and receive confidential client information. The City specifically acknowledges that it understands the confidentiality risks associated with inadvertent interception of such information.

3.3. Work Product: Pursuant to Rule 1.16(d) of the Minnesota Rules of Professional Responsibility, upon termination of the professional relationship all retained records, information, and materials prepared or developed in connection with the services provided shall be provided to the City.

3.4. Insurance: The Law Firm shall maintain professional liability (malpractice) insurance at a minimum coverage level of \$1,000,000 per claim, and \$3,000,000 annual aggregate.

ARTICLE IV: BILLING FORMAT, CYCLE, PAYMENT EXPECTATIONS, AND INTERESTS.

41 Billing Format: The Law Firm will submit monthly statements to the City, itemizing legal services rendered for the prior month broken down into easily understandable categories.

42 Billing Cycle: The Law Firm will bill monthly for legal services rendered in the prior month. Generally, bills will go out approximately 10 days after the end of the prior month.

43 Payment Expectations: The City will pay the bill of the Law Firm routinely according to its internal payment procedures by forwarding a check to the Law Firm paying for both legal services and expenses shown on the Law Firm's bill.

44 Disputes: In the event that the City disputes any aspect of the Law Firm's bill, the appropriate City representative will contact Joseph Van Thomme at the Law Firm stating the nature of the dispute.

45 Term and Renewal:

- A. The City and the Law Firm desire to enter into a contract beginning August 1, 2026 until December 31, 2027.
- B. During the term of the Agreement including renewal terms, either party may terminate the Agreement at any time. The Parties agree, when reasonably possible, to provide 60 calendar days' written notice to the other party in recognition of the importance of providing for an organized transition.

46 Authorized Contact Persons: Joseph Van Thomme will act as the lead attorney for the City. However, due to the nature and timelines associated with this work, other attorneys and staff from the firm will perform services under the contract.

47 City Approval: The Law Firm is authorized to commence performing services under this contract effective as of the date this agreement is fully executed by the parties.

ARTICLE V: MISCELLANEOUS PROVISIONS.

51 Audit. Pursuant to Minn. Stat. 16C.05, Subd. 5, the Law Firm agrees that the books, records, documents, and accounting procedures and practices of the Law Firm or other party that are relevant to the Agreement or transaction, are subject to examination by the City and either the legislative auditor or the state auditor, as appropriate, for a minimum of six years. The Law Firm agrees to maintain these records for a period of six years from the date of termination of this Agreement.

52 Choice of Law and Venue. All issues concerning this Agreement will be governed by and construed in accordance with the laws of the State of Minnesota, without giving effect to any choice of law or conflict of law provision or rule (whether of the State of Minnesota or any other jurisdiction) that would cause the application of the law of any jurisdiction other than the State of Minnesota. All legal proceedings shall be venued in the County of Washington. The prevailing party in any dispute arising from or relating to this Agreement, whether by judgment, summary judgment, dismissal, settlement or otherwise, shall be entitled to an award of reasonable attorney's fees and costs from the non- prevailing party.

53 Entire Agreement. This Agreement is intended by the parties as a final expression of their agreement, which cancels, supersedes and revokes all prior negotiations, representation and agreements between the parties, whether oral or written, relating to the subject matter of this Agreement.

54 Modifications. This Agreement can only be modified in writing signed by the City and the Law Firm.

55 Severability. Whenever possible, each provision of this Agreement will be interpreted in such a manner to be effective and valid under applicable law. If any provision of this Agreement is held to be invalid, illegal, or unenforceable in any respect under any applicable law or rule, in any jurisdiction, such invalidity, illegality, or unenforceability will not affect any other provision or the effectiveness or validity of any provision in any other jurisdiction, and the remaining provisions of this Agreement will continue in full force without being impaired or invalidated in any way.

56 Waiver. Any waiver by either party of a breach of any provision of this Agreement will not affect, in any respect, the validity of the remainder of this Agreement.

57 Headings. The headings contained in this Agreement have been inserted for convenience of reference only and shall in no way define, limit, or affect the scope and intent of this Agreement.

58 Third Party Rights. The Parties to this Agreement do not intend to confer on any third party any rights under this Agreement.

(remainder of page intentionally left blank, signature page to follow)

IN WITNESS WHEREOF, the parties hereto have executed or caused to be executed by their duly authorized officials, this Agreement as of the date first written above.

By: _____ Dated: _____
Erica Zweifel, Mayor

By: _____ Dated: _____
Lynette Peterson, City Clerk

ECKBERG LAMMERS, P.C.

By: _____ Dated: _____



Legislation Text

File #: 26-354, Version: 1

City Council Meeting Date: July 7, 2026

To: Mayor and City Council

From: Ben Martig, City Administrator
Jeff Schroeffer, Chief of Police

Consider Approval of Contract Extension for Prosecuting City Attorney Services.

Action Requested:

The Northfield City Council is asked to approve a Motion authorizing the attached Amendment to the Contract for Criminal Legal Services with Eckberg Lammers, P.C.

Summary Report:

The current agreement with Eckberg Lammers, P.C. for prosecuting city attorney services expires on July 31, 2027. The attached amendment extends the existing agreement and all of its current terms and conditions through December 31, 2027.

The extension aligns the agreement with the City's budget cycle (calendar year) and brings the contract term into alignment with other City professional services agreements, providing greater consistency for budgeting, contract administration, and future contract renewals.

Eckberg Lammers has served as the City's prosecuting attorney since 2014 and has consistently provided responsive, knowledgeable, and effective legal representation. The firm maintains a strong working relationship with the Police Department and City staff, provides timely legal advice and training, and remains available for consultation on criminal matters as needed.

Staff has been satisfied with the firm's performance and recommends approval of the contract extension.

Alternative Options:

The City Council could decline to approve the contract extension and direct staff to explore alternative options for prosecuting city attorney services upon expiration of the current agreement.

Financial Impacts:

The amendment maintains the current fee arrangement through December 31, 2027, with no increase to the annual flat fee during the extension period. Reimbursable disbursements, such as subpoena service expenses and postage, will continue as provided under the existing agreement.

The current contract rate for attorney services from Eckberg Lammers is \$ 98,805.38 annual flat fee rate (paid prorated at a monthly rate of \$ 8,233.78) plus disbursements (i.e. subpoena service expenses, postage).

Tentative Timelines:

If approved, the amendment will take effect upon expiration of the current agreement on July 31, 2027, and will extend prosecuting city attorney services through December 31, 2027

AMENDMENT TO CONTRACT FOR CRIMINAL LEGAL SERVICES

THIS AMENDMENT is made this ___ day of _____, 2026, by and between the City of Northfield (hereinafter “City”), and the law firm of Eckberg Lammers P.C. (hereinafter “Law Firm”), for the purpose of extending the present services contract and all its the terms and conditions until December 31, 2027.

In consideration of an extension of ongoing legal services, the parties agree as follows:

1. Effective Dates

The Firm shall continue to provide prosecution legal services described under the existing contract through December 31, 2027.

2. Fees and Rates

(a) The existing fee arrangement for the duration of the extension term shall remain the same as the existing fee arrangement for the most recent year of the contract.

3. All Other Terms Unchanged

Except as expressly modified in this Amendment, all other terms, conditions, and obligations of the Contract for Prosecution Legal Services remain unchanged and in full force and effect.

THE CITY OF NORTHFIELD

ECKBERG LAMMERS, P.C.

By: _____

By: _____

Mayor

Joe Van Thomme, City Attorney

By: _____

City Administrator



Legislation Text

File #: Res. 2026-067, **Version:** 1

City Council Meeting Date: July 7, 2026

To: Mayor and City Council
City Administrator

From: Sean Simonson, Engineering Manager
Dave Bennett, Public Works Director/City Engineer

Consider Resolution Accepting Public Improvements and Approving Final Payment for the Jefferson Parkway West Mill and Overlay and Mill Towns State Trail Improvements Project (STRT2024-A78).

Action Requested:

The Northfield City Council approves the attached Resolution - Jefferson Parkway West Mill and Overlay and Mill Towns State Trail Improvements Project (STRT2024-A78) and Approving Final Payment for the Project.

Summary Report:

The City Council is being asked to accept the public improvements for the Jefferson Parkway West Mill and Overlay and Mill Towns State Trail Improvements Project STRT2024-A78 and approve final payment to McNamara Contracting Inc in the amount of \$52,535.85 (Attachment 2). The contract was awarded to McNamara Contracting Inc at the March 12, 2024, City Council Meeting in the amount of \$2,521,489.17. There were three Change Orders during construction that brought the final construction contract amount to \$2,554,536.13 which was within the approved project budget.

Alternative Options:

This project is completed and the final acceptance and payment is required to close out the construction contract.

Financial Impacts:

The total project costs for the project were \$3,054,983.94. This is compared to \$3,249,594.38 that was approved for total project costs at the time of project award. The table below details the total project approved costs and funding at the time of project award, along with the final total project costs and final total project funding.

FINAL PROJECT COSTS			
	APPROVE PLANS	AWARD	FINAL
Street	\$2,410,704	\$2,095,859.29	\$2,087,274.33
Storm Sewer	\$503,133	\$384,741.00	\$398,729.73
Sanitary Sewer	\$7,700	\$6,406.00	\$7,396.00
Watermain	\$25,164	\$34,482.88	\$29,205.88
Construction Subtotal	\$2,946,701	\$2,521,489.17	\$2,522,605.94
Construction Contingency (10%)	\$294,670	\$252,148.92	\$0.00
Art (1%)	\$32,414	\$27,736.38	\$27,736.00
Total with Art	\$3,273,785	\$2,801,374.47	\$2,550,341.94
Overhead(16%)	\$491,068	\$448,219.91	\$504,642.00
Total Project Costs	\$3,764,852	\$3,249,594.38	\$3,054,983.94

FINAL TOTAL PROJECT FUNDING			
	APPROVE PLANS	AWARD	FINAL
Bonding	\$2,822,291	\$2,301,059.62	\$2,104,830.01
Franchise Fees	\$400,000	\$400,000.00	\$400,000.00
Storm Fund	\$493,238	\$495,838.81	\$482,726.91
Sanitary Fund	\$23,811	\$8,255.80	\$8,945.56
Watermain Fund	\$25,512	\$44,440.16	\$35,427.46
Capital Reserve			\$23,054.00
Total Project Costs	\$3,764,852	\$3,249,594.38	\$3,054,983.94

Additionally, there was \$27,736 in 1% for the Public Arts Policy funding allocated at the time of project award from the following funding sources:

Art 1% Funding Allocation		
	APPROVE PLANS	AWARD
Capital Reserve Fund (Street Share)	\$26,518	\$23,054
Storm Fund	\$5,534	\$4,232
Sanitary Fund	\$85	\$70
Water Fund	\$277	\$379
Total Project Costs	\$32,414	\$27,736

Tentative Timelines:

Upon acceptance by the City Council, the final payment will be processed and sent to the Contractor. At that point, the two-year maintenance bond will begin if warranty work is required.

CITY OF NORTHFIELD, MN
CITY COUNCIL RESOLUTION 2026-067
ACCEPTING PUBLIC IMPROVEMENTS
AND APPROVING FINAL PAYMENT
JEFFERSON PARKWAY WEST MILL AND OVERLAY AND MILL TOWNS STATE TRAIL
IMPROVEMENTS PROJECT

WHEREAS, pursuant to the contract between the City of Northfield and McNamara Contracting Inc. of Rosemount, Minnesota, as approved by City Council on March 12, 2024, all work has been satisfactorily completed on STRT2027-A78 – Jefferson Parkway West Mill and Overlay and Mill Towns State Trail Improvements Project in accordance with said contract.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL THAT:

1. The work completed under said contract is hereby accepted and approved.
2. The city clerk and mayor are hereby directed to issue a proper order for final payment on said contract in exchange for the contractor’s receipt evidencing payment in full.

PASSED by the City Council of the City of Northfield on this 7th day of July 2026.

ATTEST

City Clerk

Mayor

VOTE: ___ ZWEIFEL ___ BEUMER ___ DAHLEN ___ HOLMES
 ___ NESS ___ PETERSON WHITE ___ SOKUP

Contract Number: 2024STRT-A78 - Jefferson Pkwy M&O and MTT Improvements Pay Request Number: 7
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Project Number	Project Description
2024STRT-A78	Jefferson Parkway West Mill and Overlay and Mill Towns Trail Improvements

Contractor: McNamara Contracting Inc 16700 Chippendale Ave Rosemount, MN 55068	Vendor Number: N/A Up To Date: 05/08/2026
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Contract Amount		Funds Encumbered	
Original Contract	\$2,520,285.71	Original	\$2,520,285.71
Contract Changes	\$34,250.42	Additional	N/A
Revised Contract	\$2,554,536.13	Total	\$2,520,285.71

Work Certified To Date	
Base Bid Items	\$2,485,136.38
Contract Changes	\$37,469.56
Material On Hand	\$0.00
Total	\$2,522,605.94

Work Certified This Request	Work Certified To Date	Less Amount Retained	Less Previous Payments	Amount Paid This Request	Total Amount Paid To Date
\$2,126.26	\$2,522,605.94	\$0.00	\$2,470,070.09	\$52,535.85	\$2,522,605.94
Percent: Retained: 0%			Percent Complete: 98.75%		

This is to certify that the items of work shown in this certificate of Pay Estimate have been actually furnished for the work comprising the above-mentioned projects in accordance with the plans and specifications heretofore approved.

Approved By
Sean Simonson
 Project Manager
2026-06-25T11:55:50.405Z
 Date

Approved By McNamara Contracting Inc
[2#first_name#3] [2#last_name#4]
 Contractor
[2#obtained#5]
 Date

Approved By
[3#first_name#6] [3#last_name#7]
 City Engineer
[3#obtained#8]
 Date

Payment Summary				
No.	Up To Date	Work Certified Per Request	Amount Retained Per Request	Amount Paid Per Request
1	2024-06-28	\$220,849.77	\$11,042.49	\$209,807.28
2	2024-07-31	\$962,469.23	\$48,123.46	\$914,345.77
3	2024-08-30	\$954,939.99	\$47,747.00	\$907,192.99
4	2024-10-14	\$288,795.80	\$14,439.79	\$274,356.01
5	2024-12-19	\$73,334.49	(\$71,344.95)	\$144,679.44
6	2025-08-30	\$20,090.40	\$401.80	\$19,688.60
7	2026-05-08	\$2,126.26	(\$50,409.59)	\$52,535.85

Funding Category Name	Funding Category Number	Work Certified to Date	Less Amount Retained	Less Previous Payments	Amount Paid this Request	Total Amount Paid to Date
Sanitary Fund	4	\$7,396.00	\$0.00	\$7,248.07	\$147.93	\$7,396.00
Storm Fund	3	\$398,729.73	\$0.00	\$390,755.13	\$7,974.60	\$398,729.73
Street Fund	2	\$2,087,274.33	\$0.00	\$2,043,445.12	\$43,829.21	\$2,087,274.33
Water Fund	5	\$29,205.88	\$0.00	\$28,621.77	\$584.11	\$29,205.88

Accounting Number	Funding Source	Amount Paid this Request	Revised Contract Amount	Funds Encumbered to Date	Paid Contractor to Date
1	Local / Other[1]	\$52,535.85	\$2,554,536.13	\$2,520,285.71	\$2,522,605.94

Contract Item Status										
Project	Line	Item	Description	Units	Unit Price	Contract Quantity	Quantity This Request	Amount This Request	Quantity To Date	Amount To Date
2024STRT-A78	1	2021.501	MOBILIZATION	LS	\$54,300.00	1	0	\$0.00	1	\$54,300.00
2024STRT-A78	2	2101.502	CLEARING	EACH	\$735.00	20	0	\$0.00	20	\$14,700.00
2024STRT-A78	3	2101.502	GRUBBING	EACH	\$210.00	20	0	\$0.00	20	\$4,200.00
2024STRT-A78	4	2104.502	REMOVE CONCRETE APRON	EACH	\$700.00	1	0	\$0.00	1	\$700.00
2024STRT-A78	5	2104.502	REMOVE CASTING	EACH	\$100.00	7	0	\$0.00	6	\$600.00
2024STRT-A78	6	2104.502	REMOVE GATE VALVE & BOX	EACH	\$265.00	1	0	\$0.00	0	\$0.00
2024STRT-A78	7	2104.502	REMOVE VALVE BOX	EACH	\$265.00	1	0	\$0.00	2	\$530.00
2024STRT-A78	8	2104.502	REMOVE HYDRANT	EACH	\$530.00	1	0	\$0.00	1	\$530.00

Contract Item Status										
Project	Line	Item	Description	Units	Unit Price	Contract Quantity	Quantity This Request	Amount This Request	Quantity To Date	Amount To Date
2024STRT-A78	9	2104.502	REMOVE DRAINAGE STRUCTURE	EACH	\$700.00	13	0	\$0.00	12	\$8,400.00
2024STRT-A78	10	2104.502	REMOVE SIGN	EACH	\$42.00	14	0	\$0.00	19	\$798.00
2024STRT-A78	11	2104.502	SALVAGE DELINEATOR	EACH	\$31.50	1	0	\$0.00	1	\$31.50
2024STRT-A78	12	2104.502	SALVAGE SIGN	EACH	\$42.00	37	0	\$0.00	37	\$1,554.00
2024STRT-A78	13	2104.503	SAWING CONCRETE PAVEMENT (FULL DEPTH)	L F	\$1.00	430	0	\$0.00	430	\$430.00
2024STRT-A78	14	2104.503	SAWING BIT PAVEMENT (FULL DEPTH)	L F	\$1.00	2541	0	\$0.00	2679	\$2,679.00
2024STRT-A78	15	2104.503	REMOVE WATER MAIN	L F	\$30.00	13	0	\$0.00	3	\$90.00
2024STRT-A78	16	2104.503	REMOVE SEWER PIPE (STORM)	L F	\$15.00	310	0	\$0.00	326	\$4,890.00
2024STRT-A78	17	2104.503	REMOVE CURB & GUTTER	L F	\$7.00	5094	0	\$0.00	5183	\$36,281.00
2024STRT-A78	18	2104.504	REMOVE CONCRETE PAVEMENT	S Y	\$30.00	420	0	\$0.00	458	\$13,740.00
2024STRT-A78	19	2104.504	REMOVE BITUMINOUS PAVEMENT	S Y	\$3.30	5965	0	\$0.00	6137.764	\$20,254.62
2024STRT-A78	20	2104.507	REMOVE GROUTED RIPRAP	C Y	\$10.00	20	0	\$0.00	20	\$200.00
2024STRT-A78	21	2104.518	REMOVE BITUMINOUS WALK	S F	\$0.50	12500	0	\$0.00	13069.5	\$6,534.75
2024STRT-A78	22	2104.518	REMOVE CONCRETE WALK	S F	\$0.70	38797	0	\$0.00	39147	\$27,402.90
2024STRT-A78	23	2106.507	EXCAVATION - COMMON (EV) (P)	C Y	\$31.00	9296	0	\$0.00	9296	\$288,176.00
2024STRT-A78	24	2106.507	EXCAVATION - SUBGRADE (EV)	C Y	\$23.00	911	0	\$0.00	355.08	\$8,166.84

Contract Item Status										
Project	Line	Item	Description	Units	Unit Price	Contract Quantity	Quantity This Request	Amount This Request	Quantity To Date	Amount To Date
2024STRT-A78	25	2106.507	SELECT GRANULAR EMBANKMENT (CV)	C Y	\$23.00	1048	0	\$0.00	355.08	\$8,166.84
2024STRT-A78	26	2106.507	STABILIZING AGGREGATE (CV)	C Y	\$40.34	911	0	\$0.00	0	\$0.00
2024STRT-A78	27	2123.510	COMMON LABORERS	HOUR	\$50.00	20	0	\$0.00	0	\$0.00
2024STRT-A78	28	2123.610	EXPLORATORY EXCAVATION	HOUR	\$500.00	4	0	\$0.00	0	\$0.00
2024STRT-A78	29	2123.610	STREET SWEEPER (WITH PICKUP BROOM)	HOUR	\$200.00	40	0	\$0.00	51.5125	\$10,302.50
2024STRT-A78	30	2211.507	AGGREGATE BASE (CV) CLASS 5 (P)	C Y	\$40.00	1994	0	\$0.00	1994	\$79,760.00
2024STRT-A78	31	2231.604	BITUMINOUS PATCH SPECIAL	S Y	\$54.00	50	0	\$0.00	12	\$648.00
2024STRT-A78	32	2232.504	MILL BITUMINOUS SURFACE (2.0") (P)	S Y	\$2.00	12135	0	\$0.00	11994.8	\$23,989.60
2024STRT-A78	33	2232.618	MILL AND PATCH BITUMINOUS PAVEMENT	S F	\$6.00	2817	0	\$0.00	3460.4	\$20,762.40
2024STRT-A78	34	2301.504	CONCRETE PAVEMENT 8.0"	S Y	\$95.00	388	0	\$0.00	530	\$50,350.00
2024STRT-A78	35	2357.506	BITUMINOUS MATERIAL FOR TACK COAT	GAL	\$2.50	1060	0	\$0.00	1255	\$3,137.50
2024STRT-A78	36	2360.504	TYPE SP 9.5 WEARING COURSE MIXTURE (2,B) 3.0" THICK	SY	\$30.00	7258	0	\$0.00	7276.2	\$218,286.00
2024STRT-A78	37	2360.509	TYPE SP 9.5 WEARING COURSE MIX (3,C)	TON	\$88.00	3030	0	\$0.00	3150.81	\$277,271.28
2024STRT-A78	38	2501.502	48" RC PIPE APRON W/ ENERGY DISSIPATOR	EACH	\$7,325.00	1	0	\$0.00	1.7209324 232	\$12,605.83
2024STRT-A78	39	2503.503	15" RC PIPE SEWER CLASS V	L F	\$93.00	287	0	\$0.00	295	\$27,435.00
2024STRT-A78	40	2503.503	21" RC PIPE SEWER CLASS V	L F	\$95.00	8	0	\$0.00	8	\$760.00

Contract Item Status										
Project	Line	Item	Description	Units	Unit Price	Contract Quantity	Quantity This Request	Amount This Request	Quantity To Date	Amount To Date
2024STRT-A78	41	2503.503	27" RC PIPE SEWER CLASS V	L F	\$170.00	8	0	\$0.00	8	\$1,360.00
2024STRT-A78	42	2503.503	30" RC PIPE SEWER CLASS III	L F	\$170.00	6	0	\$0.00	8	\$1,360.00
2024STRT-A78	43	2503.503	42" RC PIPE SEWER CLASS III	L F	\$215.00	73	0	\$0.00	73	\$15,695.00
2024STRT-A78	44	2503.503	48" RC PIPE SEWER CLASS III	L F	\$260.00	55	0	\$0.00	57	\$14,820.00
2024STRT-A78	45	2503.602	CONNECT TO EXISTING STORM SEWER	EACH	\$1,250.00	16	0	\$0.00	17	\$21,250.00
2024STRT-A78	46	2503.602	CONNECT INTO EXISTING DRAINAGE STRUCTURE	EACH	\$1,475.00	1	0	\$0.00	1	\$1,475.00
2024STRT-A78	47	2503.603	36" HDPE PIPE SEWER (PERFORATED)	L F	\$155.00	80	0	\$0.00	80	\$12,400.00
2024STRT-A78	48	2503.603	54" HDPE PIPE SEWER (PERFORATED)	L F	\$240.00	209	0	\$0.00	218.82	\$52,516.80
2024STRT-A78	49	2504.602	REPLACE GATE VALVE BOLTS	EACH	\$2,450.00	4	0	\$0.00	2	\$4,900.00
2024STRT-A78	50	2504.602	CONNECT TO EXISTING WATER MAIN	EACH	\$2,000.00	1	0	\$0.00	1	\$2,000.00
2024STRT-A78	51	2504.602	HYDRANT	EACH	\$6,750.00	1	0	\$0.00	1	\$6,750.00
2024STRT-A78	52	2504.602	VALVE BOX	EACH	\$1,212.97	4	0	\$0.00	4	\$4,851.88
2024STRT-A78	53	2504.602	ADJUST VALVE BOX	EACH	\$780.00	4	0	\$0.00	4	\$3,120.00
2024STRT-A78	54	2504.602	6" GATE VALVE & BOX	EACH	\$3,800.00	1	0	\$0.00	1	\$3,800.00
2024STRT-A78	55	2504.602	INSTALL SPRINKLER HEAD	EACH	\$42.80	130	0	\$0.00	114.687	\$4,908.60
2024STRT-A78	56	2504.603	INSTALL SPRINKLER SYSTEM	L F	\$5.58	2000	0	\$0.00	1759.36	\$9,817.23

Contract Item Status										
Project	Line	Item	Description	Units	Unit Price	Contract Quantity	Quantity This Request	Amount This Request	Quantity To Date	Amount To Date
2024STRT-A78	57	2504.603	6" WATERMAIN DUCTILE IRON CL 52	L F	\$100.00	13	0	\$0.00	9	\$900.00
2024STRT-A78	58	2504.608	DUCTILE IRON FITTINGS	LB	\$17.00	29	0	\$0.00	64	\$1,088.00
2024STRT-A78	59	2504.618	4" POLYSTYRENE INSULATION	S F	\$4.25	64	0	\$0.00	0	\$0.00
2024STRT-A78	60	2506.502	CONSTRUCT DRAINAGE STRUCTURE WITH SUMP & SAFL BAFFLE	EACH	\$23,800.00	1	0	\$0.00	1	\$23,800.00
2024STRT-A78	61	2506.502	RECONSTRUCT DRAINAGE STRUCTURE	EACH	\$1,100.00	1	0	\$0.00	1	\$1,100.00
2024STRT-A78	62	2506.502	CASTING ASSEMBLY (STORM)	EACH	\$1,050.00	24	0	\$0.00	24	\$25,200.00
2024STRT-A78	63	2506.502	CASTING ASSEMBLY (SANITARY)	EACH	\$1,260.00	3	0	\$0.00	3	\$3,780.00
2024STRT-A78	64	2506.502	ADJUST FRAME & RING CASTING (SANITARY)	EACH	\$790.00	2	0	\$0.00	3	\$2,370.00
2024STRT-A78	65	2506.502	ADJUST FRAME & RING CASTING (STORM)	EACH	\$350.00	9	0	\$0.00	10	\$3,500.00
2024STRT-A78	66	2506.503	CONSTRUCT DRAINAGE STRUCTURE DESIGN 48-4022	L F	\$670.00	49	0	\$0.00	48.86	\$32,736.20
2024STRT-A78	67	2506.503	CONSTRUCT DRAINAGE STRUCTURE DESIGN 60-4020	L F	\$865.00	8	0	\$0.00	7.93	\$6,859.45
2024STRT-A78	68	2506.503	CONSTRUCT DRAINAGE STRUCTURE DESIGN 60-4022	L F	\$915.00	27	0	\$0.00	26.37	\$24,128.55
2024STRT-A78	69	2506.503	CONSTRUCT DRAINAGE STRUCTURE DESIGN 72-4020	L F	\$1,150.00	16	0	\$0.00	27.43	\$31,544.50
2024STRT-A78	70	2506.503	CONSTRUCT DRAINAGE STRUCTURE DESIGN 72-4022	L F	\$1,075.00	17	0	\$0.00	16.6	\$17,845.00
2024STRT-A78	71	2506.503	CONSTRUCT DRAINAGE STRUCTURE DESIGN 84-4020	L F	\$1,350.00	18	0	\$0.00	9.14	\$12,339.00
2024STRT-A78	72	2506.503	CONSTRUCT DRAINAGE STRUCTURE DESIGN H	L F	\$450.00	5	0	\$0.00	4.87	\$2,191.50

Contract Item Status										
Project	Line	Item	Description	Units	Unit Price	Contract Quantity	Quantity This Request	Amount This Request	Quantity To Date	Amount To Date
2024STRT-A78	73	2506.503	CONSTRUCT DRAINAGE STRUCTURE DESIGN SPECIAL (2' X 3')	L F	\$550.00	17	0	\$0.00	16.15	\$8,882.50
2024STRT-A78	74	2506.602	SEAL MANHOLE (SPINCAST)	EACH	\$8,350.00	1	0	\$0.00	1	\$8,350.00
2024STRT-A78	75	2506.602	GROUT CATCH BASIN OR MANHOLE	EACH	\$315.00	3	0	\$0.00	2	\$630.00
2024STRT-A78	76	2506.603	SNOUT (18R)	EACH	\$1,180.00	3	0	\$0.00	2	\$2,360.00
2024STRT-A78	77	2511.507	RANDOM RIPRAP CLASS III	C Y	\$100.00	38	0	\$0.00	30.77	\$3,077.00
2024STRT-A78	78	2521.518	4" CONCRETE WALK	S F	\$7.50	6086	0	\$0.00	6473.75	\$48,553.13
2024STRT-A78	79	2521.518	6" CONCRETE WALK	S F	\$15.50	8927	0	\$0.00	9895.45	\$153,379.48
2024STRT-A78	80	2531.503	CONCRETE CURB & GUTTER DESIGN S418	L F	\$35.00	478	0	\$0.00	478	\$16,730.00
2024STRT-A78	81	2531.503	CONCRETE CURB & GUTTER DESIGN B618	L F	\$24.00	5065	0	\$0.00	5056	\$121,344.00
2024STRT-A78	82	2531.503	CONCRETE CURB & GUTTER DESIGN R412	L F	\$26.70	148	0	\$0.00	148	\$3,951.60
2024STRT-A78	83	2531.504	4" CONCRETE MEDIAN	S F	\$6.25	2233	0	\$0.00	2349.1	\$14,681.88
2024STRT-A78	84	2531.504	6" CONCRETE DRIVEWAY PAVEMENT	S Y	\$93.00	36	0	\$0.00	49	\$4,557.00
2024STRT-A78	85	2531.602	CONCRETE MEDIAN NOSE	EACH	\$730.00	14	0	\$0.00	14	\$10,220.00
2024STRT-A78	86	2531.603	CONCRETE CURB DESIGN V	L F	\$50.00	133	0	\$0.00	212.41	\$10,620.50
2024STRT-A78	87	2531.604	7" CONCRETE VALLEY GUTTER	S Y	\$100.00	330	0	\$0.00	351.22	\$35,122.00
2024STRT-A78	88	2531.605	CONCRETE MEDIAN SPECIAL	S Y	\$300.00	7	0	\$0.00	10	\$3,000.00

Contract Item Status										
Project	Line	Item	Description	Units	Unit Price	Contract Quantity	Quantity This Request	Amount This Request	Quantity To Date	Amount To Date
2024STRT-A78	89	2531.618	TRUNCATED DOMES	S F	\$50.00	848	0	\$0.00	866.6	\$43,330.00
2024STRT-A78	90	2540.621	LANDSCAPING RESTORATION ALLOWANCE	DOL	\$0.01	10000	0	\$0.00	130603	\$1,306.03
2024STRT-A78	91	2563.601	TRAFFIC CONTROL	LS	\$10,300.00	1	0	\$0.00	1.294757282	\$13,336.00
2024STRT-A78	92	2564.502	INSTALL DELINEATOR	EACH	\$240.00	1	0	\$0.00	2.4325	\$583.80
2024STRT-A78	93	2564.518	SIGN PANELS TYPE C	S F	\$48.00	176	0	\$0.00	176	\$8,448.00
2024STRT-A78	94	2564.518	SIGN PANELS TYPE D	S F	\$160.00	9	0	\$0.00	9	\$1,440.00
2024STRT-A78	95	2564.602	INSTALL SIGN	EACH	\$160.00	37	0	\$0.00	37	\$5,920.00
2024STRT-A78	96	2565.602	APS RELOCATE PUSH BUTTON	EACH	\$8,900.00	1	0	\$0.00	1	\$8,900.00
2024STRT-A78	97	2565.602	RIGID PVC LOOP DETECTOR 6'X6'	EACH	\$1,300.00	4	0	\$0.00	1	\$1,300.00
2024STRT-A78	98	2565.616	PEDESTRIAN CROSSWALK FLASHER SYSTEM	SYS	\$20,500.00	5	0	\$0.00	5	\$102,500.00
2024STRT-A78	99	2571.502	DECIDUOUS TREE 2.5" CAL B&B	EACH	\$750.00	28	0	\$0.00	28	\$21,000.00
2024STRT-A78	100	2572.602	TREE PRUNING	HOURL	\$420.00	30	0	\$0.00	0	\$0.00
2024STRT-A78	101	2573.501	STABILIZED CONSTRUCTION EXIT	LS	\$4,400.00	1	0	\$0.00	0.75	\$3,300.00
2024STRT-A78	102	2573.502	STORM DRAIN INLET PROTECTION	EACH	\$216.00	70	0	\$0.00	65	\$14,040.00
2024STRT-A78	103	2573.503	SILT FENCE, TYPE MS	L F	\$3.75	5818	0	\$0.00	5380	\$20,175.00
2024STRT-A78	104	2573.503	SEDIMENT CONTROL LOG TYPE WOOD FIBER	L F	\$4.20	3213	0	\$0.00	392	\$1,646.40

Contract Item Status										
Project	Line	Item	Description	Units	Unit Price	Contract Quantity	Quantity This Request	Amount This Request	Quantity To Date	Amount To Date
2024STRT-A78	105	2574.507	COMMON TOPSOIL BORROW	C Y	\$45.00	2010	0	\$0.00	2108	\$94,860.00
2024STRT-A78	106	2575.523	RAPID STABILIZATION METHOD 3	MGAL	\$1,110.00	1	0	\$0.00	0	\$0.00
2024STRT-A78	107	2575.604	ROLLED EROSION PREVENTION CATEGORY 30 AND SEED MIXTURE 25-141	S Y	\$3.75	17800	0	\$0.00	21503.33	\$80,637.49
2024STRT-A78	108	2582.503	12" DOTTED LINE MULTI COMP	L F	\$15.00	99	0	\$0.00	49	\$735.00
2024STRT-A78	109	2582.503	4" DOUBLE SOLID LINE MULTI COMP	L F	\$3.70	2661	0	\$0.00	2835	\$10,489.50
2024STRT-A78	110	2582.503	4" SOLID LINE MULTI COMP	L F	\$1.85	650	0	\$0.00	1268	\$2,345.80
2024STRT-A78	111	2582.503	6" SOLID LINE MULTI COMP	L F	\$2.10	31	0	\$0.00	40	\$84.00
2024STRT-A78	112	2582.503	12" SOLID LINE MULTI COMP	L F	\$15.20	294	0	\$0.00	205	\$3,116.00
2024STRT-A78	113	2582.503	24" SOLID LINE MULTI COMP	L F	\$20.00	49	0	\$0.00	46	\$920.00
2024STRT-A78	114	2582.518	CROSSWALK MULTI COMP PREFORM THERMOPLASTIC GROUND IN (GREEN W/ WHITE)	S F	\$40.00	96	0	\$0.00	64	\$2,560.00
2024STRT-A78	115	2582.518	PAVEMENT MESSAGE MULTI COMP	S F	\$19.50	293	0	\$0.00	176	\$3,432.00
2024STRT-A78	116	2582.518	CROSSWALK MULTI COMP (WHITE)	S F	\$9.00	1849	0	\$0.00	1578	\$14,202.00
Base Bid Totals:								\$0.00		\$2,485,136.38

Project Category Totals			
Project	Category	Amount This Request	Amount To Date
2024STRT-A78		\$0.00	\$2,485,136.38

Contract Change Item Status

Project	CC	CC#	Line	Item	Description	Units	Unit Price	Contract Quantity	Quantity This Request	Amount This Request	Quantity To Date	Amount To Date
2024STRT-A78	CO	1	117	2301.602	DRILL AND GROUT DOWEL BAR (EPOXY COATED)	EACH	\$11.00	606	0	\$0.00	385	\$4,235.00
2024STRT-A78	CO	1	118	2108.504	GEOTEXTILE FABRIC TYPE 5	S Y	\$1.35	5550	0	\$0.00	1770	\$2,389.50
2024STRT-A78	CO	2	119	2557.603	INSTALL CHAIN LINK FENCE	L S	\$8,628.40	1	0	\$0.00	1	\$8,628.40
2024STRT-A78	CO	3	120	2104.601	SALVAGE & REINSTALL LIGHTING SYSTEM	LS	\$20,090.40	1	0	\$0.00	1	\$20,090.40
2024STRT-A78	BK	1	121	93677	PAVEMENT DENSITY INCENTIVE	LS	\$2,126.26	1	1	\$2,126.26	1	\$2,126.26
Contract Change Totals:										\$2,126.26		\$37,469.56

Contract Total	\$2,522,605.94
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Contract Change Totals			
Number	Description	Amount This Request	Amount To Date
1	Pavement Density Incentive	\$2,126.26	\$2,126.26
3	Relocate existing lights in Riverside Park to the new trail location.	\$0.00	\$20,090.40
2	Needed to add a chain link fence near Structure 1666A due to steep slope.	\$0.00	\$8,628.40
1	After MnDOT's plan review, changes were made to the final design to meet MnDOT requirements, which changed some bid quantities	\$0.00	\$6,624.50

Material On Hand Additions					
Line	Item	Description	Date	Added	Comments

Material On Hand Balance						
Line	Item	Description	Date	Added	Used	Remaining



CERTIFICATE OF FINAL ACCEPTANCE

Jefferson Parkway West Mill and Overlay and Mill Towns State Trail

1. Name of Project: Improvements

2. Name of Contractor: McNamara Contracting Inc.

3. Division Approval: The following staff have viewed the work under contract for Improvement No. 2024STRT-A78, the Improvement of:

- Jefferson Parkway from TH 3 to TH 246 (Mill and Overlay)
- TH 3 from Riverside Park to Jefferson Parkway, and Jefferson Parkway from TH 3 to TH 246 (MTT Trail Installation)

Division	Name	Ready for Acceptance	Date
Engineering	Sean Simonson		8/28/25
Streets	Andrew Tussing		8/28/25
Utilities	Justin Wagner		10/30/2025
Storm Sewer	James McDermott		6/2/26
Parks	Andrew Tussing		11/3/25

*Attach reduced size copy of plans.

4. Department Approval: Date: 6-25-26
Public Works Director/City Engineer

The public improvements associated with this Improvement Project are hereby accepted by the City Council of the City of Northfield on this ___ day of _____, 2025. Submission of the required maintenance bond with the effective date above will signal the start of the two (2) year warranty period.

Attest:

City Clerk

Mayor



Legislation Text

File #: Res. 2026-068, **Version:** 1

City Council Meeting Date: July 7, 2026

To: Mayor and City Council
City Administrator

From: Justin Wagner, Utilities Manager
David Bennett, P.E., Public Works Director/City Engineer

Consider Resolution Accepting Bids and Awarding Contract for Northwest Area Water Tower Site.

Action Requested:

The Northfield City Council considers the attached Resolution accepting bids and awarding contract for the Northwest Area Water Tower Site Project (WATR2025-J37)

Summary Report:

The City Council is being asked to accept bids and award contract for the Northwest Area Water Tower Site Project (WATR2025-J37). The plans and specifications were completed by SEH, Inc. At the May 19, 2026 City Council meeting, the Council authorized advertisement for bids for the above-referenced project via Resolution 2026-053. The project was advertised as required by Minnesota Statute and published in the Northfield News.

The City received 15 responsive, competitive bids, which were publicly opened and tabulated on June 18, 2026, at 2:00 p.m. The lowest responsive bidder is James Bros Construction with a bid total of \$245,889.84. The bids ranged from \$245,889.84 to \$542,878.29. The bid was under the engineers' estimate of \$422,193.77 by roughly \$175,000.

SEH, Inc. reviewed the bids, and staff recommends approval of the lowest bid.

Please note this is only the sitework of the project. The Army Corps of Engineers will be managing the remaining portion of the project.

Alternative Options:

The City Council could choose not to approve the bids; however, staff does not recommend this since site access and connection to the City's water system is required for the NW water tower.

Financial Impacts:

The bid came in at \$245,889.84 by James Bros Construction.

The project was planned and in the Capital Improvement Plan (CIP). The project will be paid for through the water fund.

The total cost of the Northwest Water Tower (including site work, tower and all other costs) is estimated at just

over \$7.3 million as of April 2026. Approximately \$3.9M coming from a Federal Grant through the Army Corps of Engineers and remaining \$3.4 million from City water funds.

Tentative Timelines:

Construction July through September 26, 2026

Final Completion by June 11, 2027.

Future phases for tower development scheduled for construction in 2027-2028.

CITY OF NORTHFIELD, MINNESOTA
CITY COUNCIL RESOLUTION 2026-068
ACCEPTING BIDS AND AWARDING CONTRACT
NORTHWEST AREA WATER TOWER SITE PROJECT WATR2025-J37

WHEREAS, pursuant to an advertisement for bids for Northwest Area Water Tower Site Project WATR2025-J37; bids were received, opened and tabulated according to law complying with the advertisement; and,

WHEREAS, it appears that James Bros Construction is the lowest responsible bidder with a total bid amount of \$245,889.84

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL THAT:

1. The bid of James Bros Construction of Elysian, Minnesota, in the amount of \$245,889.84 for the Bid construction of said improvements in accordance with the plans and specifications and advertisement for bids is the lowest responsible bid and shall be and hereby is accepted.
2. The Mayor and City Clerk are hereby authorized and directed to enter into a contract with James Bros Construction of Elysian, Minnesota, in the name of the City of Northfield for the construction of WATR2025-J37, Northwest Area Water Tower Site Project; according to the plans and specifications therefore approved by the City Council and on file in the office of the City Clerk.
3. The City Clerk is hereby authorized and directed to return forthwith to all bidders the deposits made with the bids, except that the deposits of the successful bidder and the next lowest bidder shall be retained until a contract has been signed.

PASSED by the City Council of the City of Northfield on this 7th day of July, 2026.

ATTEST

City Clerk

Mayor

VOTE: ___ ZWEIFEL ___ BEUMER ___ DAHLEN ___ HOLMES
 ___ NESS ___ PETERSON WHITE ___ SOKUP



TABULATION OF BIDS

Low Bidder

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Northwest Area Water Tower Site CP # W-2026-001 City of Northfield, MN SEH No.: NFIEL 186507 Bid Date: June 18, 2026				Engineer's Estimate SEH \$422,193.77		James Bros Construction Elysian, MN \$245,889.84		Borneke Construction Inc. Janesville, MN \$259,726.76		Friedges Contracting, Inc. Lakeville, MN \$268,056.18		Northwest Asphalt Shakopee, MN \$288,497.75		ICON, LLC Dodge Center, MN \$296,471.94	
Item No.	Item	Unit	Est. Quantity	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price
1	MOBILIZATION	LS	1	\$55,000.00	\$55,000.00	\$2,400.00	\$2,400.00	\$12,500.00	\$12,500.00	\$6,500.00	\$6,500.00	\$10,800.00	\$10,800.00	\$1.00	\$1.00
2	CLEARING	EA	3	650.00	1,950.00	1,008.40	3,025.20	725.00	2,175.00	750.00	2,250.00	362.90	1,088.70	1,000.00	3,000.00
3	GRUBBING	EA	3	400.00	1,200.00	608.00	1,824.00	775.00	2,325.00	750.00	2,250.00	218.60	655.80	1,000.00	3,000.00
4	REMOVE CURB & GUTTER	LF	27	20.00	540.00	17.78	480.06	8.35	225.45	35.00	945.00	8.80	237.60	7.00	189.00
5	REMOVE BITUMINOUS PAVEMENT	SY	61	70.00	4,270.00	218.20	13,310.20	2.60	158.60	40.00	2,440.00	10.70	652.70	10.00	610.00
6	EXCAVATION - COMMON (CV)	CY	3589	25.00	89,725.00	11.96	42,906.50	5.95	21,354.55	4.00	14,356.00	8.50	30,506.50	5.00	17,945.00
7	COMMON EMBANKMENT (CV)	CY	2480	20.00	49,600.00	8.67	21,501.60	8.50	21,080.00	3.30	8,184.00	7.20	17,856.00	6.00	14,880.00
8	GEOTEXTILE FABRIC, TYPE 11	SY	1303	7.00	9,121.00	3.65	4,755.95	3.55	4,625.65	6.50	8,469.50	6.20	8,078.60	7.00	9,121.00
9	AGGREGATE BASE, CLASS 5	TON	1077.23	25.00	26,930.75	13.90	14,973.50	20.25	21,813.91	22.50	24,237.68	23.40	25,207.18	28.00	30,162.44
10	TYPE SP 9.5 WEARING COURSE MIX (2;C)	TON	13	120.00	1,560.00	479.23	6,229.99	175.00	2,275.00	500.00	6,500.00	330.80	4,300.40	250.00	3,250.00
11	GRANULAR BACKFILL, CV (UTILITY TRENCH	CY	85	40.00	3,400.00	31.90	2,711.50	46.85	3,982.25	12.00	1,020.00	27.30	2,320.50	1.00	85.00
12	GRANULAR BEDDING, CV (UTILITY TRENCH	CY	85	60.00	5,100.00	31.90	2,711.50	48.00	4,080.00	12.00	1,020.00	86.90	7,386.50	1.00	85.00
13	HYDRANT	EA	1	8,500.00	8,500.00	10,609.00	10,609.00	8,050.00	8,050.00	9,400.00	9,400.00	8,787.60	8,787.60	10,500.00	10,500.00
14	6" GATE VALVE & BOX	EA	1	3,500.00	3,500.00	1,854.87	1,854.87	3,400.00	3,400.00	3,650.00	3,650.00	3,001.30	3,001.30	3,700.00	3,700.00
15	12" GATE VALVE & BOX	EA	2	7,000.00	14,000.00	4,736.48	9,472.96	6,800.00	13,600.00	7,850.00	15,700.00	7,041.54	14,083.08	8,700.00	17,400.00
16	12" WET TAP	EA	1	8,500.00	8,500.00	11,273.00	11,273.00	4,950.00	4,950.00	12,740.00	12,740.00	10,061.00	10,061.00	4,500.00	4,500.00
17	12" WATERMAIN DUCTILE IRON CL 52	LF	716	125.00	89,500.00	75.18	53,828.88	118.10	84,559.60	133.00	95,228.00	132.30	94,726.80	170.00	121,720.00
18	DUCTILE IRON FITTINGS	LB	410	22.00	9,020.00	11.97	4,907.70	17.25	7,072.50	19.50	7,995.00	21.50	8,815.00	15.00	6,150.00
19	CONCRETE CURB & GUTTER DESIGN B618 (HIGH	LF	24	50.00	1,200.00	108.34	2,600.16	108.50	2,604.00	85.00	2,040.00	100.00	2,400.00	100.00	2,400.00
20	TRAFFIC CONTROL	LS	1	9,000.00	9,000.00	2,500.00	2,500.00	2,700.00	2,700.00	2,500.00	2,500.00	2,572.60	2,572.60	1,000.00	1,000.00
21	DECIDUOUS TREE 2.5" CAL B&B	EA	4	900.00	3,600.00	865.00	3,460.00	750.00	3,000.00	800.00	3,200.00	603.80	2,415.20	1,200.00	4,800.00
22	ORNAMENTAL TREE 1.5" CAL B&B	EA	8	675.00	5,400.00	715.00	5,720.00	450.00	3,600.00	700.00	5,600.00	472.50	3,780.00	1,200.00	9,600.00
23	DECIDUOUS SHRUB SPECIAL	EA	24	100.00	2,400.00	120.00	2,880.00	67.00	1,608.00	75.00	1,800.00	99.80	2,395.20	75.00	1,800.00
24	PERENNIAL 1 GAL CONT	EA	34	50.00	1,700.00	35.00	1,190.00	38.00	1,292.00	25.00	850.00	33.60	1,142.40	75.00	2,550.00
25	CLEAN ROOT CUTTING	LF	50	10.00	500.00	5.00	250.00	5.50	275.00	10.00	500.00	6.10	305.00	1.00	50.00
26	SILT FENCE, TYPE MS	LF	1502	2.00	3,004.00	2.50	3,755.00	3.50	5,257.00	2.10	3,154.20	2.10	3,154.20	3.00	4,506.00
27	SEDIMENT CONTROL LOG TYPE COMPOST	LF	162	3.00	486.00	3.50	567.00	4.50	729.00	5.00	810.00	5.25	850.50	3.00	486.00
28	FERTILIZER TYPE 4	LB	602	2.00	1,204.00	1.00	602.00	2.50	1,505.00	0.85	511.70	2.10	1,264.20	2.00	1,204.00
29	ROLLED EROSION PREVENTION CATEGORY 30	SY	446	2.25	1,003.50	0.53	236.38	2.50	1,115.00	3.00	1,338.00	2.10	936.60	3.00	1,338.00
30	MULCH MATERIAL TYPE 6	CY	14	50.00	700.00	156.00	2,184.00	200.00	2,800.00	100.00	1,400.00	163.80	2,293.20	350.00	4,900.00
31	SEEDING	ACRE	5.02	500.00	2,510.00	200.00	1,004.00	700.00	3,514.00	2,200.00	11,044.00	525.00	2,635.50	1,000.00	5,020.00
32	SOIL BED PREPARATION	ACRE	4.8	400.00	1,920.00	100.00	480.00	500.00	2,400.00	750.00	3,600.00	525.00	2,520.00	500.00	2,400.00
33	SEED MIXTURE TYPE SOUTHERN BOULEVARD	LB	40	7.00	280.00	4.00	160.00	6.00	240.00	5.00	200.00	10.50	420.00	15.00	600.00
34	HYDRAULIC REINFORCED FIBER MATRIX	LB	987	2.00	1,974.00	4.00	3,948.00	3.00	2,961.00	1.50	1,480.50	3.15	3,109.05	3.00	2,961.00
35	SEED MIXTURE BEE LAWN	LB	1.29	88.00	113.52	275.00	354.75	825.00	1,064.25	160.00	206.40	569.10	734.14	150.00	193.50
36	SEED MIXTURE TYPE MIXED HEIGHT	LB	64	52.00	3,328.00	80.00	5,120.00	72.00	4,608.00	75.00	4,800.00	102.00	6,528.00	15.00	960.00
37	SEED MIXTURE TYPE WINTER WHEAT	LB	227	2.00	454.00	0.45	102.15	1.00	227.00	0.60	136.20	2.10	476.70	15.00	3,405.00
TOTAL BID PRICE				\$422,193.77		\$245,889.84		\$259,726.76		\$268,056.18		\$288,497.75		\$296,471.94	



TABULATION OF BIDS

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Northwest Area Water Tower Site CP # W-2026-001 City of Northfield, MN SEH No.: NFIEL 186507 Bid Date: June 18, 2026				S.M. Hentges & Sons, Inc. Jordan, MN \$302,384.78		Heselton Construction, LLC. Faribault, MN \$305,078.80		K.A. Witt Construction Inc. New Prague, MN \$325,169.86		BCM Construction, Inc. Faribault, MN \$334,431.80		Swan Companies Columbia Heights, MN \$339,020.09		A-1 Excavating LLC Bloomer, WI \$346,653.40	
Item No.	Item	Unit	Est. Quantity	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price
1	MOBILIZATION	LS	1	\$20,000.00	\$20,000.00	\$25,000.00	\$25,000.00	\$16,500.00	\$16,500.00	\$41,000.00	\$41,000.00	\$23,060.00	\$23,060.00	\$30,130.00	\$30,130.00
2	CLEARING	EA	3	525.00	1,575.00	500.00	1,500.00	810.00	2,430.00	800.00	2,400.00	466.67	1,400.01	500.00	1,500.00
3	GRUBBING	EA	3	221.00	663.00	215.00	645.00	590.00	1,770.00	400.00	1,200.00	300.00	900.00	1,000.00	3,000.00
4	REMOVE CURB & GUTTER	LF	27	18.00	486.00	20.00	540.00	6.00	162.00	12.00	324.00	9.26	250.02	40.00	1,080.00
5	REMOVE BITUMINOUS PAVEMENT	SY	61	12.00	732.00	20.00	1,220.00	4.00	244.00	9.00	549.00	12.79	780.19	20.00	1,220.00
6	EXCAVATION - COMMON (CV)	CY	3589	10.00	35,890.00	11.00	39,479.00	8.00	28,712.00	8.50	30,506.50	13.74	49,312.86	11.00	39,479.00
7	COMMON EMBANKMENT (CV)	CY	2480	7.00	17,360.00	3.75	9,300.00	15.50	38,440.00	7.00	17,360.00	9.91	24,576.80	7.00	17,360.00
8	GEOTEXTILE FABRIC, TYPE 11	SY	1303	6.00	7,818.00	6.00	7,818.00	6.75	8,795.25	7.00	9,121.00	6.28	8,182.84	7.50	9,772.50
9	AGGREGATE BASE, CLASS 5	TON	1077.23	26.00	28,007.98	25.00	26,930.75	23.50	25,314.91	30.00	32,316.90	31.24	33,652.67	30.00	32,316.90
10	TYPE SP 9.5 WEARING COURSE MIX (2:C)	TON	13	400.00	5,200.00	510.00	6,630.00	427.00	5,551.00	550.00	7,150.00	527.07	6,851.91	640.00	8,320.00
11	GRANULAR BACKFILL, CV (UTILITY TRENCH	CY	85	42.00	3,570.00	54.00	4,590.00	46.50	3,952.50	28.00	2,380.00	47.16	4,008.60	1.00	85.00
12	GRANULAR BEDDING, CV (UTILITY TRENCH	CY	85	42.00	3,570.00	72.50	6,162.50	117.00	9,945.00	28.00	2,380.00	94.48	8,030.80	1.00	85.00
13	HYDRANT	EA	1	8,300.00	8,300.00	7,600.00	7,600.00	8,875.00	8,875.00	7,900.00	7,900.00	8,406.00	8,406.00	11,000.00	11,000.00
14	6" GATE VALVE & BOX	EA	1	2,800.00	2,800.00	2,650.00	2,650.00	3,050.00	3,050.00	2,800.00	2,800.00	2,953.00	2,953.00	4,000.00	4,000.00
15	12" GATE VALVE & BOX	EA	2	6,800.00	13,600.00	6,350.00	12,700.00	7,250.00	14,500.00	6,200.00	12,400.00	7,301.10	14,602.20	8,000.00	16,000.00
16	12" WET TAP	EA	1	13,300.00	13,300.00	11,500.00	11,500.00	14,550.00	14,550.00	5,700.00	5,700.00	10,732.00	10,732.00	6,000.00	6,000.00
17	12" WATERMAIN DUCTILE IRON CL 52	LF	716	126.00	90,216.00	126.50	90,574.00	127.00	90,932.00	151.00	108,116.00	137.37	98,356.92	160.00	114,560.00
18	DUCTILE IRON FITTINGS	LB	410	20.00	8,200.00	17.50	7,175.00	17.50	7,175.00	22.00	9,020.00	21.27	8,720.70	20.00	8,200.00
19	CONCRETE CURB & GUTTER DESIGN B618 (HIGH	LF	24	91.00	2,184.00	180.00	4,320.00	180.00	4,320.00	230.00	5,520.00	60.00	1,440.00	130.00	3,120.00
20	TRAFFIC CONTROL	LS	1	2,700.00	2,700.00	2,565.40	2,565.40	5,500.00	5,500.00	2,700.00	2,700.00	2,695.00	2,695.00	10,000.00	10,000.00
21	DECIDUOUS TREE 2.5" CAL B&B	EA	4	950.00	3,800.00	745.00	2,980.00	970.00	3,880.00	900.00	3,600.00	831.33	3,325.32	1,000.00	4,000.00
22	ORNAMENTAL TREE 1.5" CAL B&B	EA	8	850.00	6,800.00	280.00	2,240.00	870.00	6,960.00	805.00	6,440.00	732.33	5,858.64	1,000.00	8,000.00
23	DECIDUOUS SHRUB SPECIAL	EA	24	65.00	1,560.00	86.00	2,064.00	65.00	1,560.00	100.00	2,400.00	94.05	2,257.20	100.00	2,400.00
24	PERENNIAL 1 GAL CONT	EA	34	26.00	884.00	31.00	1,054.00	26.00	884.00	40.00	1,360.00	29.34	997.56	40.00	1,360.00
25	CLEAN ROOT CUTTING	LF	50	22.00	1,100.00	55.00	2,750.00	6.00	300.00	6.00	300.00	14.00	700.00	10.00	500.00
26	SILT FENCE, TYPE MS	LF	1502	3.70	5,557.40	2.15	3,229.30	3.50	5,257.00	3.25	4,881.50	2.48	3,724.96	1.00	1,502.00
27	SEDIMENT CONTROL LOG TYPE COMPOST	LF	162	5.70	923.40	5.35	866.70	3.70	599.40	3.50	567.00	4.13	669.06	4.00	648.00
28	FERTILIZER TYPE 4	LB	602	1.20	722.40	2.50	1,505.00	1.30	782.60	1.50	903.00	1.16	698.32	1.50	903.00
29	ROLLED EROSION PREVENTION CATEGORY 30	SY	446	4.00	1,784.00	2.15	958.90	3.80	1,694.80	3.90	1,739.40	2.48	1,106.08	3.00	1,338.00
30	MULCH MATERIAL TYPE 6	CY	14	128.00	1,792.00	125.00	1,750.00	130.00	1,820.00	105.00	1,470.00	104.66	1,465.24	350.00	4,900.00
31	SEEDING	ACRE	5.02	700.00	3,514.00	550.00	2,761.00	585.00	2,936.70	550.00	2,761.00	1,001.61	5,028.08	100.00	502.00
32	SOIL BED PREPARATION	ACRE	4.8	700.00	3,360.00	530.00	2,544.00	585.00	2,808.00	500.00	2,400.00	330.00	1,584.00	100.00	480.00
33	SEED MIXTURE TYPE SOUTHERN BOULEVARD	LB	40	6.00	240.00	10.60	424.00	6.10	244.00	6.00	240.00	3.91	156.40	4.00	160.00
34	HYDRAULIC REINFORCED FIBER MATRIX	LB	987	2.10	2,072.70	3.25	3,207.75	2.50	2,467.50	2.50	2,467.50	1.45	1,431.15	1.50	1,480.50
35	SEED MIXTURE BEE LAWN	LB	1.29	650.00	838.50	575.00	741.75	720.00	928.80	500.00	645.00	33.26	42.91	50.00	64.50
36	SEED MIXTURE TYPE MIXED HEIGHT	LB	64	15.50	992.00	103.00	6,592.00	16.50	1,056.00	15.00	960.00	13.27	849.28	15.00	960.00
37	SEED MIXTURE TYPE WINTER WHEAT	LB	227	1.20	272.40	2.25	510.75	1.20	272.40	2.00	454.00	0.94	213.38	1.00	227.00
TOTAL BID PRICE					\$302,384.78		\$305,078.80		\$325,169.86		\$334,431.80		\$339,020.09		\$346,653.40



TABULATION OF BIDS

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Northwest Area Water Tower Site CP # W-2026-001 City of Northfield, MN SEH No.: NFIEL 186507 Bid Date: June 18, 2026				JL Theis, Inc. Jordan, MN \$349,593.07		Krueger Excavating Inc. Prior Lake, MN \$396,284.90		Land Pride Construction Paynesville, MN \$420,622.37		Urban Companies St. Paul, MN \$542,878.29	
Item No.	Item	Unit	Est. Quantity	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price
1	MOBILIZATION	LS	1	\$20,200.00	\$20,200.00	\$30,687.00	\$30,687.00	\$50,000.00	\$50,000.00	\$50,000.00	\$50,000.00
2	CLEARING	EA	3	500.00	1,500.00	500.00	1,500.00	700.00	2,100.00	550.00	1,650.00
3	GRUBBING	EA	3	500.00	1,500.00	500.00	1,500.00	700.00	2,100.00	225.00	675.00
4	REMOVE CURB & GUTTER	LF	27	15.00	405.00	10.00	270.00	30.00	810.00	20.00	540.00
5	REMOVE BITUMINOUS PAVEMENT	SY	61	30.00	1,830.00	10.00	610.00	20.00	1,220.00	20.00	1,220.00
6	EXCAVATION - COMMON (CV)	CY	3589	10.00	35,890.00	20.00	71,780.00	17.80	63,884.20	25.00	89,725.00
7	COMMON EMBANKMENT (CV)	CY	2480	10.25	25,420.00	10.00	24,800.00	12.00	29,760.00	20.00	49,600.00
8	GEOTEXTILE FABRIC, TYPE 11	SY	1303	6.50	8,469.50	5.00	6,515.00	6.70	8,730.10	7.00	9,121.00
9	AGGREGATE BASE, CLASS 5	TON	1077.23	39.00	42,011.97	35.00	37,703.05	31.50	33,932.75	38.00	40,934.74
10	TYPE SP 9.5 WEARING COURSE MIX (2;C)	TON	13	525.00	6,825.00	890.00	11,570.00	527.50	6,857.50	500.00	6,500.00
11	GRANULAR BACKFILL, CV (UTILITY TRENCH	CY	85	61.00	5,185.00	23.00	1,955.00	20.00	1,700.00	60.00	5,100.00
12	GRANULAR BEDDING, CV (UTILITY TRENCH	CY	85	61.00	5,185.00	23.00	1,955.00	20.00	1,700.00	60.00	5,100.00
13	HYDRANT	EA	1	15,000.00	15,000.00	8,623.00	8,623.00	7,999.00	7,999.00	13,000.00	13,000.00
14	6" GATE VALVE & BOX	EA	1	3,800.00	3,800.00	3,625.00	3,625.00	2,682.00	2,682.00	5,000.00	5,000.00
15	12" GATE VALVE & BOX	EA	2	8,800.00	17,600.00	7,581.00	15,162.00	10,991.00	21,982.00	10,000.00	20,000.00
16	12" WET TAP	EA	1	5,500.00	5,500.00	17,660.00	17,660.00	12,996.00	12,996.00	17,000.00	17,000.00
17	12" WATERMAIN DUCTILE IRON CL 52	LF	716	114.80	82,196.80	150.00	107,400.00	175.69	125,794.04	175.00	125,300.00
18	DUCTILE IRON FITTINGS	LB	410	40.00	16,400.00	19.00	7,790.00	21.00	8,610.00	25.00	10,250.00
19	CONCRETE CURB & GUTTER DESIGN B618 (HIGH	LF	24	120.00	2,880.00	93.00	2,232.00	182.00	4,368.00	150.00	3,600.00
20	TRAFFIC CONTROL	LS	1	3,500.00	3,500.00	2,750.00	2,750.00	2,700.00	2,700.00	5,000.00	5,000.00
21	DECIDUOUS TREE 2.5" CAL B&B	EA	4	1,100.00	4,400.00	952.00	3,808.00	831.25	3,325.00	1,000.00	4,000.00
22	ORNAMENTAL TREE 1.5" CAL B&B	EA	8	1,000.00	8,000.00	787.00	6,296.00	732.31	5,858.48	800.00	6,400.00
23	DECIDUOUS SHRUB SPECIAL	EA	24	66.00	1,584.00	132.00	3,168.00	94.00	2,256.00	100.00	2,400.00
24	PERENNIAL 1 GAL CONT	EA	34	40.00	1,360.00	39.00	1,326.00	29.32	996.88	30.00	1,020.00
25	CLEAN ROOT CUTTING	LF	50	2.00	100.00	12.00	600.00	25.00	1,250.00	10.00	500.00
26	SILT FENCE, TYPE MS	LF	1502	3.00	4,506.00	3.00	4,506.00	2.50	3,755.00	5.00	7,510.00
27	SEDIMENT CONTROL LOG TYPE COMPOST	LF	162	4.00	648.00	4.00	648.00	4.12	667.44	8.00	1,296.00
28	FERTILIZER TYPE 4	LB	602	1.50	903.00	2.00	1,204.00	1.15	692.30	4.00	2,408.00
29	ROLLED EROSION PREVENTION CATEGORY 30	SY	446	1.90	847.40	2.00	892.00	2.50	1,115.00	6.50	2,899.00
30	MULCH MATERIAL TYPE 6	CY	14	88.00	1,232.00	172.00	2,408.00	104.60	1,464.40	70.00	980.00
31	SEEDING	ACRE	5.02	4,000.00	20,080.00	1,100.00	5,522.00	1,001.50	5,027.53	6,000.00	30,120.00
32	SOIL BED PREPARATION	ACRE	4.8	200.00	960.00	275.00	1,320.00	330.00	1,584.00	2,500.00	12,000.00
33	SEED MIXTURE TYPE SOUTHERN BOULEVARD	LB	40	7.00	280.00	8.00	320.00	3.90	156.00	10.00	400.00
34	HYDRAULIC REINFORCED FIBER MATRIX	LB	987	2.20	2,171.40	2.00	1,974.00	1.45	1,431.15	6.50	6,415.50
35	SEED MIXTURE BEE LAWN	LB	1.29	100.00	129.00	165.00	212.85	33.03	42.61	145.00	187.05
36	SEED MIXTURE TYPE MIXED HEIGHT	LB	64	10.00	640.00	83.00	5,312.00	13.25	848.00	75.00	4,800.00
37	SEED MIXTURE TYPE WINTER WHEAT	LB	227	2.00	454.00	3.00	681.00	1.00	227.00	1.00	227.00
TOTAL BID PRICE				\$349,593.07		\$396,284.90		\$420,622.37		\$542,878.29	



Building a Better World
for All of Us®

June 18, 2026

RE: City of Northfield, MN
Northwest Area Water Tower Site
SEH No. NFIEL 186507

City of Northfield
801 Washington Street
Northfield, MN 55057

Bids on the referenced project were opened via Microsoft Teams at 2:00 PM on Thursday, June 18, 2026. Fifteen bids were received and are summarized with the Engineer’s estimate below.

Shortly before the bid opening, SEH identified that the estimated quantity for Line Item 29 – Rolled Erosion Prevention Category 30 required correction from 4,014 SY to 446 SY. Due to the timing of this discovery, with bids already being received, SEH determined that bids would be accepted as submitted based on the originally issued quantity. For purposes of evaluation, the bids shown below reflect the corrected quantity of 446 SY for Line Item 29. SEH verified that the apparent low bidder would have remained the lowest responsible bidder under either quantity.

Contractor	Bid
1. James Bros Construction	\$245,889.84
2. Borneke Construction Inc.	\$259,726.76
3. Friedges Contracting, Inc.	\$268,056.18
4. Northwest Asphalt	\$288,497.75
5. ICON, LLC	\$296,471.94
6. S.M. Hentges & Sons, Inc.	\$302,384.78
7. Heselton Construction, LLC.	\$305,078.80
8. K.A. Witt Construction Inc.	\$325,169.86
9. BCM Construction, Inc.	\$334,431.80
10. Swan Companies	\$339,020.09
11. A-1 Excavating LLC	\$346,653.40
12. JL Theis, Inc.	\$349,593.07
13. Krueger Excavating Inc.	\$396,284.90
14. Land Pride Construction	\$420,622.37
15. Urban Companies	\$542,878.29
Engineer’s Estimate	\$422,193.77

SEH has reviewed the bids and recommends that the City award a contract to James Bros Construction for their bid amount of \$245,889.84.

Engineers | Architects | Planners | Scientists

Short Elliott Hendrickson Inc., 10650 Red Circle Drive, Suite 500, Minnetonka, MN 55343

952.912.2600 | 888.908.8166 fax | sehinc.com

SEH is 100% employee-owned | Affirmative Action–Equal Opportunity Employer

If you require further information or have any questions, please do not hesitate to contact me.

Sincerely,

A handwritten signature in black ink that reads "Nina Bonanno". The signature is written in a cursive style with a large, sweeping "N" and "B".

Nina Bonanno, PE (MN, ND)

nbonanno@sehinc.com

701.354.5621 direct | 734.536.7616 mobile



Legislation Text

File #: 26-361, Version: 1

City Council Meeting Date: July 7, 2026

To: Mayor and Members of Council
City Administrator

From: Justin Wagner, Utilities Manager
David Bennett, P.E., Public Works Director/City Engineer

Consideration of Approval of Professional Services Contract with Bolton and Menk, Inc. for the Wastewater Treatment Plant Pretreatment, Primary and Generator Project.

Action Requested:

The Northfield City Council considers a Motion approving the professional services contract with Bolton and Menk, Inc. for the Wastewater Treatment Plant Pretreatment, Primary and Generator Project.

Summary Report:

The City Council is being asked to approve the professional services contract with Bolton and Menk, Inc. for the Wastewater Treatment Plant Pretreatment, Primary and Generator Project (WSTR2026-J41).

The City requested professional consultant services related to equipment replacements at the wastewater treatment plant that were identified in the 2021 Facility Study Update. The City received one proposal while requesting from Bolton and Menk, Inc. and SEH, Inc. Bolton and Menk, Inc.'s proposal was at \$329,890.00 was 12.7% of the estimated project costs which is typical for design and construction services.

The planned project is to replace all of the pretreatment equipment including fine screens, and grit separator, primary process pumps including variable frequency drives and piping and replacement of the backup generator. All of these items are from the plant upgrade from 1999-2001. This project is planned to be designed in 2026 and constructed in 2027 and 2028 depending on lead times of equipment.

City Plans & Policies Relevance:

2021 Facility Plan Update

Alternative Options:

Not recommended

Financial Impacts:

The professional service contract is \$329,890.

The estimated project cost is \$2,594,621 prior to design services.

Tentative Timelines:

Project Design - July through December 2026

File #: 26-361, Version: 1

Approval of Plans and Specifications and Advertisement for Bid - January 2027
Bid Opening and Award - February 2027
Construction - May 2027 through November 2028

CONSULTANT SERVICE CONTRACT

This Contract (the “Contract”) is made this 7th day of July, 2026, by and between the CITY OF Northfield, a Minnesota municipal corporation, 801 Washington Street, Northfield, MN 55057 (“CITY”), and *Bolton and Menk, Inc.*, a corporation under the laws of the State of Minnesota, *12224 Nicollet Avenue, Burnsville, MN 55337* (“CONSULTANT”); (collectively the “PARTIES”).

WHEREAS, CITY requires certain professional services in conjunction with 2026 Wastewater Treatment Improvements (the “Project”); and

WHEREAS, CONSULTANT agrees to furnish the various professional services required by CITY.

NOW, THEREFORE, in consideration of the mutual covenants and promises contained herein, the Parties agree as follows:

SECTION I – CONSULTANT'S SERVICES AND RESPONSIBILITIES

- A. **Scope of Services.** CONSULTANT agrees to perform various Project services as detailed in Exhibit 1, Scope of Services, attached hereto and incorporated herein by reference (the “services”).
- B. **Changes to Scope of Services/Additional Services.** Upon mutual agreement of the PARTIES hereto pursuant to Section VI, Paragraph K of this Contract, a change to the scope of services detailed in Exhibit 1, attached hereto, may be authorized. In the event that such a change to the scope of services detailed in Exhibit 1 requires additional services by CONSULTANT, CONSULTANT shall be entitled to additional compensation consistent with Section III of this Contract. CONSULTANT shall give notice to CITY of any additional services prior to furnishing such additional services. CITY may request an estimate of additional cost from CONSULTANT, and upon receipt of the request, CONSULTANT shall furnish such cost estimate for such additional services prior to CITY’s authorization of the changed scope of services.
- C. **Changed Conditions.** If CONSULTANT determines that any services it has been directed or requested to perform by CITY are beyond the scope of services detailed in Exhibit 1, or that, due to changed conditions or changes in the method or manner of administration of the Project, CONSULTANT’s effort required to perform its services under this Contract exceeds the estimate that formed the basis for CONSULTANT’s compensation, CONSULTANT shall promptly notify CITY of that fact. Upon mutual agreement of the PARTIES hereto pursuant to Section VI, Paragraph K of this Contract, additional compensation for such services, and/or an extension of time for completion thereof, may be authorized. In the absence of such a mutual agreement, amounts of compensation and time for completion shall be equitably adjusted, provided that CONSULTANT first provides notice to CITY as required by this Paragraph and CITY has not terminated this Contract pursuant to Section IV, Paragraph B.

D. **Standard of Care.** Services provided by CONSULTANT or its subcontractors under this Contract will be conducted in a manner consistent with that level of care and skill ordinarily exercised by members of CONSULTANT’s profession or industry. CONSULTANT shall be liable to the fullest extent permitted under applicable law, without limitation, for any injuries, loss, or damages proximately caused by CONSULTANT's breach of this standard of care. CONSULTANT shall put forth reasonable efforts to complete its duties in a timely manner. CONSULTANT shall not be responsible for delays caused by factors beyond its control or that could not be reasonably foreseen at the time of execution of this Contract. CONSULTANT shall be responsible for costs, delays or damages arising from unreasonable delays in the performance of its duties or services.

E. **Insurance.** CONSULTANT shall not commence work under this Contract until CONSULTANT has obtained all insurance required herein and such insurance amounts specified herein have been verified by CITY, nor shall CONSULTANT allow any subcontractor to commence work on a subcontract until such subcontractor has obtained like insurance covering as to worker's compensation, liability, and automobile insurance. All such insurance coverage shall be maintained at all times while this Contract is in effect.

1. CONSULTANT agrees to procure and maintain, at CONSULTANT's expense, the following insurance policies, subject to the requirements in this Paragraph E and including the minimum coverages and limits of liability specified below, or as specified in the applicable insurance certificate(s), or as otherwise required by law, whichever is greater (coverages under umbrella or excess policies may be combined with primary policies to meet the below stated insurance coverage requirements):

Worker’s Compensation	Statutory Limits
Employer’s Liability	\$500,000 bodily injury by accident \$500,000 bodily injury by disease aggregate \$500,000 bodily injury by disease per employee
Commercial General Liability	\$2,000,000 property damage and bodily injury per occurrence \$4,000,000 annual aggregate \$2,000,000 annual aggregate Products – Completed Operations
Automobile Liability	\$1,000,000 per occurrence combined single limit for Bodily Injury and Property Damage (shall include

coverage for all owned, hired and non-owned vehicles

Umbrella or Excess Liability

\$1,000,000 or Meets minimum requirements without umbrella or excess liability policy

2. Except as provided below, CONSULTANT's Workers' Compensation insurance must provide coverage for all its employees. If Minnesota Statutes, section 176.041 exempts CONSULTANT from Workers' Compensation insurance, or if CONSULTANT has no employees in the City, CONSULTANT must provide a written statement, signed by an authorized representative, indicating the qualifying exemption that excludes CONSULTANT from the Minnesota Workers' Compensation requirements. If at any time while this Contract is in effect CONSULTANT ceases to be exempt from the requirement to maintain Workers' Compensation coverage, CONSULTANT must comply with the Workers' Compensation insurance requirements herein and provide CITY with a certificate of insurance documenting such coverage.
3. CONSULTANT's Commercial General Liability ("CGL") and business automobile liability insurance coverages shall insure CONSULTANT against claims for bodily injury or death, or for damage to property, including loss of use, which may arise out of operations by CONSULTANT or by any subcontractor or by anyone employed by any of them or by anyone for whose acts any of them may be liable (including automobile use). The following coverages shall, at a minimum, be included in the CGL insurance: Premises and Operations Bodily Injury and Property Damage, Personal and Advertising Injury, Blanket Contractual Liability, and Products and Ongoing and Completed Operations Liability. The required automobile liability coverage must include coverage for "any auto," which extends coverage to owned autos, non-owned autos, and hired autos. Such insurance shall include, but not be limited to, minimum coverages and limits of liability specified in this Paragraph, or as otherwise required by law. CITY shall have additional insured status and be listed by name on an endorsement attached to such policy(ies) (for purposes of clarity, CITY shall not be an additional insured on CONSULTANT's professional liability policy if such insurance is required in this Contract) for the services provided under this Contract and shall provide that CONSULTANT's coverage shall be primary and noncontributory in the event of a loss.
4. Professional/Technical (Errors and Omissions) Liability Insurance. CONSULTANT agrees to procure and maintain, at CONSULTANT's expense, Professional/Technical (Errors and Omissions) Liability Insurance. The required policy will provide coverage for all claims CONSULTANT may become legally obligated to pay resulting from any actual or alleged negligent act, error, or omission related to CONSULTANT's professional services required under the Contract. CONSULTANT is required to carry the following minimum limits:

\$2,000,000 – per claim; \$4,000,000 – annual aggregate; or as specified in the applicable insurance certificate(s), or as otherwise required by law, whichever is greater. Any deductible will be the sole responsibility of CONSULTANT and may not exceed \$75,000 without the written approval of CITY. If CONSULTANT desires authority from CITY to have a deductible in a higher amount, CONSULTANT shall so request in writing, specifying the amount of the desired deductible and providing financial documentation by submitting the most current audited financial statements so that CITY can ascertain the ability of CONSULTANT to cover the deductible from its own resources. The retroactive or prior acts date of such coverage shall not be after the effective date of this Contract and CONSULTANT shall maintain such insurance for a period of at least three (3) years, following completion of the services/work. If such insurance is discontinued, extended reporting period coverage must be obtained by CONSULTANT to fulfill this requirement.

5. Technology Errors and Omissions Insurance. CONSULTANT agrees to procure and maintain, at CONSULTANT's expense, Technology Errors and Omissions Insurance. The required policy will provide coverage for all claims CONSULTANT may become legally obligated to pay, including but not limited to infringement of copyright, trademark, trade dress, invasion of privacy violations, information theft, damage to or destruction of electronic information, release of private information, alteration of electronic information, cloud computing, extortion and network security. CONSULTANT is required to carry the following minimum limits: \$1,000,000 – per occurrence; \$2,000,000 – annual aggregate; or as specified in the applicable insurance certificate(s), or as otherwise required by law, whichever is greater.
6. True, accurate and current certificates of insurance, showing evidence of the required insurance coverages, are hereby provided to CITY by CONSULTANT and are attached hereto and incorporated herein by reference as Exhibit 2.
7. Any insurance limits in excess of the minimum limits specified herein above shall be available to CITY in the event of claims.
8. CONSULTANT's insurance policies and certificate(s) shall not be cancelled without at least Thirty (30) days' advance written notice to CITY, or Ten (10) days' prior written notice to CITY for nonpayment of premium.
9. CONSULTANT's policies shall be primary insurance and noncontributory to any other valid and collectible insurance available to CITY with respect to any claim arising out of CONSULTANT's performance under this Contract.
10. CONSULTANT is responsible for payment of Contract related insurance premiums and deductibles. If CONSULTANT is self-insured, a Certificate of Self-Insurance must be attached in Exhibit 2. Any program of self-insurance shall

be subject to CITY's approval, which shall not be unreasonably withheld, conditioned or delayed.

11. CONSULTANT shall ensure that all subcontractors comply with the insurance provisions contained in this Contract and such insurance is maintained as specified.
12. CONSULTANT's policies shall include legal defense fees in addition to its liability policy limits, with the exception of the professional liability insurance and technology errors and omissions insurance, if applicable.
13. All policies listed above, except professional liability insurance (or other coverage not reasonably available on an occurrence basis), shall be written on a per "occurrence" basis ("claims made" and "modified occurrence" forms are not acceptable) and shall apply on a "per project" basis.
14. CONSULTANT shall obtain insurance policies from insurance companies having an "AM BEST" rating of A- (minus); Financial Size Category (FSC) VII or better, and authorized to do business in the State of Minnesota, or as approved by CITY.
15. CITY reserves the right to immediately terminate this Contract if CONSULTANT is not in compliance with the insurance requirements contained herein and retains all rights to pursue any legal remedies against CONSULTANT.

SECTION II – CITY'S RESPONSIBILITIES

- A. CITY shall promptly compensate CONSULTANT as services are performed to the satisfaction of the CITY's *Public Works Director/City Engineer*, in accordance with Section III of this Contract.
- B. CITY shall provide access to any and all previously acquired information relevant to the scope of services detailed in Exhibit 1 in its custody to CONSULTANT for its use, at CONSULTANT's request.
- C. CITY will, to the fullest extent possible, grant access to and make all provisions for entry upon both public and private property as necessary for CONSULTANT's performance of the services detailed in Exhibit 1.
- D. *David Bennett, P.E.*, CITY's *Public Works Director/City Engineer*, shall serve as the liaison person to act as CITY's representative with respect to services to be rendered under this Contract. Said representative shall have the authority to transmit instructions, receive instructions, receive information, interpret and define CITY's policies with respect to the Project and CONSULTANT's services. Such person shall be the primary contact person between CITY and CONSULTANT with respect to the services performed by CONSULTANT under this Contract. CITY reserves the right to substitute

the authorized contact person at any time and shall notify CONSULTANT thereof.

SECTION III – CONSIDERATION

- A. **Fees.** CITY will compensate CONSULTANT as detailed in Exhibit 3, Compensation, which is attached hereto and incorporated herein by reference, for CONSULTANT's performance of services under this Contract.
- B. **Suspension for Nonpayment.** Except for a good faith dispute, if CITY fails to make any payment due CONSULTANT for services performed to the satisfaction of the CITY's Public Works Director/City Engineer and expenses within Thirty (30) days after the date of CONSULTANT's invoice, CONSULTANT may, after giving Seven (7) days written notice to CITY, and without waiving any claim or right against CITY and without incurring liability to CITY, suspend services and withhold Project deliverables due under this Contract until CONSULTANT has been paid in full all amounts due for services rendered to the date of suspension along with applicable expenses and charges related to the services rendered by CONSULTANT to CITY to the date of suspension.

SECTION IV – TERM AND TERMINATION

- A. **Term.** This Contract shall be in effect until such time as the Project is completed, June 1, 2028, or as otherwise provided in this Contract, whichever occurs first.
- B. **Termination.** This Contract may be terminated by either PARTY for any reason or for convenience by either PARTY upon Seven (7) days written notice. In the event of termination, CITY shall be obligated to CONSULTANT for payment of amounts due and owing, including payment for services performed or furnished to the date and time of termination to the satisfaction of the CITY's Public Works Director/City Engineer, computed in accordance with Section III of this Contract. Termination shall not act to discharge any liability incurred by either PARTY during the term of this Contract. Such liability shall continue until discharged by law, this Contract, adjudication, or another subsequent agreement between the PARTIES discharging, settling, waiving, and/or releasing such liability.
- C. **Default.** If CONSULTANT fails to satisfy any of the provisions of this Contract, or so fails to perform and/or administer the services detailed in Exhibit 1 pursuant to the requirements of Section I of this Contract, in such a manner as to endanger the performance of this Contract or the services provided hereunder, this shall constitute default. Unless CONSULTANT's default is excused by CITY, CITY may, upon written notice, immediately cancel this Contract or exercise any other rights or remedies available to CITY under this Contract or law. In the event of CONSULTANT's default, CONSULTANT shall be liable to CITY for any and all costs, disbursements, attorneys and consultant fees reasonably incurred by CITY in enforcing this Contract.
- D. **Suspension of Services / Work.** If any services/work performed by CONSULTANT are abandoned or suspended in whole or in part by CITY, CONSULTANT shall be paid for

any services/work performed to the satisfaction of the CITY's Public Works Director/City Engineer prior to CONSULTANT's receipt of written notice from CITY of such abandonment or suspension, but in no event shall the total of CITY's payments to CONSULTANT under this Contract be required to exceed a percentage of the total contract price (calculated by either the Contract price or the maximum price set forth in Exhibit 3, attached hereto) equivalent to the percentage of the scope of services in Exhibit 1 completed by CONSULTANT to the satisfaction of the CITY's Public Works Director/City Engineer, as determined by CITY.

SECTION V – INDEMNIFICATION

- A. CONSULTANT shall indemnify, protect, save, and hold harmless CITY, and its respective officials, directors, employees, and agents, from and against any claims, liability, damages, costs, judgments, or expenses, including reasonable attorney's fees, to the extent attributable to or caused by the negligent or otherwise wrongful acts or omissions, including breach of a specific contractual duty, of CONSULTANT or CONSULTANT's subcontractors, agents, employees, members, vendors, or delegates with respect to this Contract, the Project, or the services. CONSULTANT shall defend CITY against the foregoing, or litigation in connection with the foregoing, at CONSULTANT's expense, with counsel reasonably acceptable to CITY, except that for professional liability claims, CONSULTANT shall have no upfront duty to defend CITY, but shall reimburse defense costs to CITY to the same extent of CONSULTANT's indemnity obligation herein. CITY, at its expense, shall have the right to participate in the defense of any claims or litigation and shall have the right to approve any settlement, which approval shall not be unreasonably withheld, conditioned, or delayed. The indemnification provisions of this Section shall not apply to damages or other losses proximately caused by or resulting from the negligence or willful misconduct of CITY. All indemnification obligations shall survive termination, expiration or cancellation of this Contract. CONSULTANT agrees, that in order to protect itself and CITY under the indemnity provisions set forth above, CONSULTANT will at all times during the term of this Contract keep in force policies of insurances required in Section I of this Contract. Nothing in this Contract shall be construed to waive any immunities, defenses, or limitations to which CITY is entitled under Minn. Stat. Chapter 466 or otherwise.
- B. CITY shall indemnify protect, save, and hold harmless CONSULTANT, and its respective officers, directors, employees, members, and agents, from and against any claims, liability, damages, costs, judgments, or expenses, including reasonable attorney's fees, to the extent attributable to or caused by the negligent or otherwise wrongful acts or omissions of CITY or its agents, employees, contractors or subcontractors with respect to CITY's performance of its obligations under this Contract. CITY shall defend CONSULTANT against the foregoing, or litigation in connection with the foregoing, at CITY's expense. CONSULTANT, at its expense, shall have the right to participate in the defense of any Claims or litigation. The indemnification provision of this Section shall not apply to damages or other losses proximately caused by or resulting from the negligence or willful misconduct of CONSULTANT. All indemnification obligations shall survive termination, expiration or cancellation of this Contract.

- C. Nothing contained in this Contract shall create a contractual relationship with or a cause of action in favor of a third party against CITY or CONSULTANT. CONSULTANT's services under this Contract are being performed solely for CITY's benefit, and no other entity shall have any claim against CONSULTANT because of this Contract or the performance or nonperformance of services by CONSULTANT provided hereunder.

SECTION VI – GENERAL TERMS

- A. **Voluntary and Knowing Action.** The PARTIES, by executing this Contract, state that they have carefully read this Contract and understand fully the contents hereof; that in executing this Contract they voluntarily accept all terms described in this Contract without duress, coercion, undue influence, or otherwise, and that they intend to be legally bound hereby.
- B. **Authorized Signatories.** The PARTIES each represent and warrant to the other that; (1) the persons signing this Contract are authorized signatories for the entities represented, and (2) no further approvals, actions or ratifications are needed for the full enforceability of this Contract against it. Each PARTY indemnifies and holds the other harmless against any breach of the foregoing representation and warranty.
- C. **Notices.** All notices and other communications required or permitted under this Contract shall be in writing, and hand delivered or sent by registered or certified mail, postage prepaid, or by overnight delivery service and shall be effective upon receipt at the following addresses or as either PARTY shall have notified the other PARTY. The PARTIES' representatives for notification for all purposes are:

CITY:

David Bennett, P.E.
Public Works Director/City Engineer
801 Washington Street
Northfield, MN 55057
Phone: 507-645-3006
Email: David.Bennett@northfieldmn.gov

CONSULTANT:

Seth Peterson
Project Manager, Principal-in-Charge
12224 Nicollet Avenue
Burnsville, MN 55337
Phone: 612-803-5223
Email: Seth.Peterson@bolton-menk.com

- D. **Dispute Resolution.** CITY and CONSULTANT agree to negotiate all disputes between them in good faith for a period of Thirty (30) days from the date of notice of dispute prior to proceeding to formal dispute resolution or exercising their rights under law.

- E. **Electronic/Digital Data.** Because of the potential instability of electronic/digital data and susceptibility to unauthorized changes, copies of documents that may be relied upon by CITY are limited to the printed copies (also known as hard copies) that are signed or sealed by CONSULTANT. Except for electronic/digital data, which is specifically identified as a Project deliverable by this Contract, or except as otherwise explicitly provided in this Contract, all electronic/digital data developed by CONSULTANT as part of the Project is acknowledged to be an internal working document for CONSULTANT's purposes solely and any such information provided to CITY shall be on an "as is" basis strictly for the convenience of CITY without any warranties of any kind. In the event of any conflict between a hard copy document and the electronic/digital data, the hard copy document governs. The electronic/digital data shall be prepared in the current software in use by CONSULTANT and is not warranted to be compatible with other systems or software.
- F. **Opinions or Estimates of Construction Cost.** Where provided by CONSULTANT as part of Exhibit 1 or otherwise, opinions or estimates of construction cost will generally be based upon public construction cost information. Since CONSULTANT has no control over the cost of labor, materials, competitive bidding process, weather conditions and other factors affecting the cost of construction, all cost estimates are opinions for general information of CITY and CONSULTANT does not warrant or guarantee the accuracy of construction cost opinions or estimates. CITY acknowledges that costs for project financing should be based upon contracted construction costs with appropriate contingencies.
- G. **Independent Contractor Status.** CONSULTANT, at all times and for all purposes hereunder, shall be an independent contractor and is not an employee of CITY for any purpose. No statement contained in this Contract shall be construed so as to find CONSULTANT to be an employee of CITY, and CONSULTANT shall not be entitled to any of the rights, privileges, or benefits of employees of CITY, including but not limited to, workers' compensation, health/death benefits, and indemnification for third-party personal injury/property damage claims. CONSULTANT acknowledges that no withholding or deduction for State or Federal income taxes, FICA, FUTA, or otherwise, will be made from the payments due CONSULTANT under this Contract, and that it is CONSULTANT's sole obligation to comply with the applicable provisions of all Federal and State tax laws. CONSULTANT shall at all times be free to exercise initiative, judgment and discretion as to how to best perform or provide services identified herein. CONSULTANT is responsible for hiring sufficient workers to perform the services/work required by this Contract, withholding their taxes, and paying all other employment tax obligations on their behalf.
- H. **Acceptance of Deliverables.** Each deliverable shall be subject to a verification of acceptability by CITY to ensure such deliverable satisfies stated requirements. The acceptability of any deliverable will be based on CITY's satisfaction or non-satisfaction with the deliverable based on requirements of this Contract. If any deliverable is not acceptable, CITY will notify CONSULTANT specifying reasons in reasonable detail, and CONSULTANT will, at no additional cost, conform the deliverable to stated

requirements of this Contract.

- I. **Subcontracting.** CONSULTANT shall not enter into any subcontract for performance of any services contemplated under this Contract without the prior written approval of CITY. CONSULTANT shall be responsible for the performance of all subcontractors. As required by Minn. Stat. § 471.425, CONSULTANT must pay all subcontractors, less any retainage, within Ten (10) calendar days of CONSULTANT's receipt of payment from CITY for undisputed services provided by the subcontractor(s) and must pay interest at the rate of one and one half percent per month or any part of a month to the subcontractor(s) on any undisputed amount not paid on time to the subcontractor(s).
- J. **Assignment.** This Contract may not be assigned by either PARTY without the written consent of the other PARTY.
- K. **Modifications/Amendment.** Any alterations, variations, modifications, amendments or waivers of the provisions of this Contract shall only be valid when they have been reduced to writing, and signed by authorized representative of CITY and CONSULTANT.
- L. **Records—Availability and Retention.** Pursuant to Minn. Stat. § 16C.05, subd. 5, CONSULTANT agrees that CITY, the State Auditor, or any of their duly authorized representatives at any time during normal business hours and as often as they may reasonably deem necessary, shall have access to and the right to examine, audit, excerpt, and transcribe any books, documents, papers, records, etc., which are pertinent to the accounting practices and procedures of CONSULTANT and involve transactions relating to this Contract. CONSULTANT agrees to maintain these records for a period of six years from the date of termination of this Contract.
- M. **Force Majeure.** The PARTIES shall each be excused from performance under this Contract while and to the extent that either of them are unable to perform, for any cause beyond its reasonable control. Such causes shall include, but not be restricted to fire, storm, flood, earthquake, explosion, war, total or partial failure of transportation or delivery facilities, pandemic, raw materials or supplies, interruption of utilities or power, and any act of government or military authority. In the event either PARTY is rendered unable wholly or in part by force majeure to carry out its obligations under this Contract then the PARTY affected by force majeure shall give written notice with explanation to the other PARTY immediately.
- N. **Compliance with Laws.** CONSULTANT shall abide by all Federal, State and local laws, statutes, ordinances, rules and regulations now in effect or hereinafter adopted pertaining to this Contract or to the facilities, programs and staff for which CONSULTANT is responsible.
- O. **Covenant Against Contingent Fee.** CONSULTANT warrants that it has not employed or retained any company or person, other than a bona fide employee working solely for CONSULTANT to solicit or secure this Contract, and that it has not paid or agreed to pay

any company or person, other than a bona fide employee, any fee, commission, percentage, brokerage fee, gift or any other consideration, contingent upon or resulting from award or making of this Contract.

- P. **Covenant Against Vendor Interest.** CONSULTANT warrants that it is not employed by any vendor of equipment or service provider that could result in a commission, percentage, brokerage, or contingent fee as a result of CONSULTANT's association with CITY.
- Q. **Non-Discrimination.** The provisions of any applicable law or ordinance relating to civil rights and discrimination shall be considered part of this Contract as if fully set forth herein.
- R. **Interest by City Officials.** No elected official, officer, or employee of CITY shall during their tenure or employment and for one year thereafter, have any interest, direct or indirect, in this Contract or the proceeds thereof.
- S. **Work Product.** All materials such as reports, exhibits, models, graphics, computer files, maps, charts, and supporting documentation produced under services/work authorized by this Contract ("Materials") shall become the property of CITY upon completion of the services/work. CITY may use the information for the Project for which they were prepared. Such use by CITY shall not relieve any liability on the part of CONSULTANT. Notwithstanding any of the foregoing to the contrary; (a) CONSULTANT may reuse standard details of its Materials in the normal course of its business, and (b) CITY understands that the Materials have been prepared for a specific project and are not intended to be reused for other purposes. If CITY reuses the Materials for any other purpose, CITY waives any claims against CONSULTANT arising from such reuse and agrees to defend and indemnify CONSULTANT from any claims arising from such reuse.
- T. **Governing Law.** This Contract shall be deemed to have been made and accepted in Rice County, Minnesota, and the laws of the State of Minnesota shall govern any interpretations or constructions of the Contract without regard to its choice of law or conflict of laws principles.
- U. **Data Practices.** The PARTIES acknowledge that this Contract is subject to the requirements of Minnesota's Government Data Practices Act ("Act"), Minnesota Statutes, Section 13.01 *et seq.* CONSULTANT agrees to abide by the applicable provisions of the Act, HIPAA requirements, and all other applicable state or federal rules, regulations or orders pertaining to data privacy or confidentiality. CONSULTANT understands that all of the data created, collected, received, stored, used, maintained or disseminated by CONSULTANT in performing those services, work, and functions that the CITY would perform is subject to the requirements of the Act, and CONSULTANT must comply with those requirements as if it were a government entity. This does not create a duty on the part of CONSULTANT to provide the public with access to public data if the public data is otherwise available from CITY, except as required by the terms of this Contract.

- V. **Cybersecurity Incident Reporting.** CONSULTANT acknowledges that CONSULTANT by virtue of this Contract is subject to the requirements of Minn. Stat. § 16E.36 for reporting cybersecurity incidents impacting CITY.
- W. **No Waiver.** Any PARTY's failure in any one or more instances to insist upon strict performance of any of the terms and conditions of this Contract or to exercise any right herein conferred shall not be construed as a waiver or relinquishment of that right or of that PARTY's right to assert or rely upon the terms and conditions of this Contract. Any express waiver of a term of this Contract shall not be binding and effective unless made in writing and properly executed by the waiving PARTY.
- X. **Data Disclosure.** Under Minn. Stat. § 270C.65, Subd. 3, and other applicable law, CONSULTANT consents to disclosure of its social security number, federal employer tax identification number, and/or Minnesota tax identification number, already provided to CITY, to federal and state agencies and state personnel involved in the payment of CITY obligations. These identification numbers may be used in the enforcement of federal and state laws, which could result in action requiring CONSULTANT to file state tax returns, pay delinquent state tax liabilities, if any, or pay other CITY liabilities.
- Y. **Patented Devices, Materials and Processes.** If this Contract requires, or CONSULTANT desires, the use of any design, device, material or process covered by letters, patent or copyright, trademark or trade name, CONSULTANT shall provide for such use by suitable legal agreement with the patentee or owner. If no such agreement is made as noted, CONSULTANT shall indemnify and hold harmless CITY from any and all claims for infringement by reason of the use of any such patented designed, device, material or process, or any trademark or trade name or copyright in connection with the services agreed to be performed under the Contract by CONSULTANT, and shall indemnify and defend CITY for any costs, liability, expenses and attorney's fees that result from any such infringement.
- Z. **Mechanic's Liens.** CONSULTANT hereby covenants and agrees that CONSULTANT will not permit or allow any mechanic's or materialman's liens to be placed on CITY's interest in and CITY property that is the subject of the Project during the term hereof. Notwithstanding the previous sentence, however, in the event any such lien shall be so placed on CITY's interest, CONSULTANT shall take all steps necessary to see that it is removed within Thirty (30) days of its being filed; provided, however, that CONSULTANT may contest any such lien provided CONSULTANT first posts a surety bond, in favor of and insuring CITY, in an amount equal to 125% of the amount of any such lien.
- AA. **Construction and Services Observation.** CONSULTANT shall visit the Project at appropriate intervals during the Project to become familiar with the progress and quality of the construction/services/work being performed for CITY under this Contract and to determine if the construction/services/work are proceeding in general accordance with the Project plans and specifications, and shall be responsible for notifying CITY of any errors or omissions in such construction/services/work or any deviations in the

construction/services/work from the Project plans and specifications developed by CONSULTANT.

- BB. **Severability.** The invalidity or unenforceability of any provision of this Contract shall not affect the validity or enforceability of any other provision. Any invalid or unenforceable provision shall be deemed severed from this Contract to the extent of its invalidity or unenforceability, and this Contract shall be construed and enforced as if the Contract did not contain that particular provision to the extent of its invalidity or unenforceability.
- CC. **Entire Contract.** These terms and conditions constitute the entire agreement between the PARTIES regarding the subject matter hereof. All discussions and negotiations are deemed merged in this Contract.
- DD. **Headings and Captions.** Headings and captions contained in this Contract are for convenience only and are not intended to alter any of the provisions of this Contract and shall not be used for the interpretation of the validity of the Contract or any provision hereof.
- EE. **Survivability.** All covenants, indemnities, guarantees, releases, liability, representations and warranties by any PARTY or PARTIES, and any undischarged obligations of CITY and CONSULTANT arising prior to the expiration of this Contract (whether by completion or earlier termination), shall survive such expiration.
- FF. **Execution.** This Contract may be executed simultaneously in two or more counterparts that, when taken together, shall be deemed an original and constitute one and the same document. The signature of any PARTY to the counterpart shall be deemed a signature to the Contract, and may be appended to, any other counterpart. Facsimile and email transmissions of executed signature pages shall be deemed as originals and sufficient to bind the executing PARTY.


Remainder of page intentionally left blank.

SECTION VII –SIGNATURES

IN WITNESS WHEREOF, the PARTIES have hereunto executed this document the day and year first above written.

CONSULTANT:

Bolton and Menk, Inc.

By:  _____
(Signature)
Title: Water/Wastewater Senior Project Manager | Senior Principal
Print Name: Seth Peterson

Date: June 26, 2026

CITY OF Northfield:

By: _____
_____, Its Mayor

Date: _____

By: _____
Lynette Peterson, Its City Clerk

Date: _____

EXHIBIT 1

SCOPE OF SERVICES

Subject to the terms of this Contract, CONSULTANT shall perform the following services/work:

JUNE 17, 2026



WASTEWATER TREATMENT PLANT IMPROVEMENTS

CITY OF NORTHFIELD, MN





Real People. Real Solutions.

June 17, 2026

12224 Nicollet Avenue
Burnsville, MN 55337

Justin Wagner, Utilities Manager
1101 College Street
Northfield, MN 55057
justin.wagner@northfieldmn.gov

**RE: Proposal for Wastewater
Treatment Plant Improvements**

Dear Justin:

The City of Northfield has initiated the Northfield Wastewater Treatment Plant (WWTP) Improvements project to plan and implement upgrades to the pretreatment, primary treatment, and generator portions of the treatment facility. These upgrades will support reliable operations, regulatory compliance, and long term service to the community. This project will require thoughtful coordination with existing facilities, especially the replacement of the generator. This will require careful consideration of operational impacts, and practical solutions that balance performance, constructibility, and future flexibility. Like you, Bolton & Menk, Inc. takes great pride in designing and managing projects that are safe, sustainable, and functional. We understand what needs to be accomplished for the successful completion of the Northfield Wastewater Treatment Plant Improvements project.

FAMILIARITY WITH NORTHFIELD

Bolton & Menk has a long standing working relationship with the City of Northfield and brings first hand familiarity with City staff, expectations, and decision making processes. Our team has a thorough understanding of the Northfield WWTP, including its operational history and recent improvements, which we successfully completed. This experience allows us to hit the ground running and tailor solutions that reflect how the facility is operated. Our local knowledge reduces risk, shortens the learning curve, and supports efficient, well coordinated project delivery.

PROVEN BIOLOGICAL AERATED FILTER (BAF) EXPERIENCE

Bolton & Menk has extensive experience planning, designing, and implementing Biological Aerated Filter (BAF) systems for municipal wastewater treatment facilities, including projects where BAF technology was selected to meet stringent nutrient and ammonia limits within constrained sites. Our team understands how to integrate BAF processes with upstream and downstream treatment components to support reliable operations, efficient maintenance, and long term regulatory compliance. This hands-on experience allows us to assist the City with the upgrade and replacement of equipment that is integral to the operation of the BAF system.

ESTABLISHED TEAMING WITH BARR ENGINEERING

Bolton & Menk has a proven history of successfully teaming with Barr Engineering (Barr) on complex wastewater treatment projects, allowing each firm to contribute its strengths in a coordinated and efficient manner. The Barr team has worked with the Northfield WWTP since it switched to the BAF process and they know how the facility operates and understand the challenges of replacing the generator and main switchgear. This knowledge from Barr is critical and will ensure the most seamless transition with the generator replacement. These established working relationships reduce coordination risks and supports a smooth project delivery process from planning through construction.

In continued service to the City of Northfield, we are excited at the opportunity to complete the Wastewater Treatment Plant Improvements project. I will serve as your lead client contact and project manager. Please contact me at 612-803-5223 or Seth.Peterson@bolton-menk.com if you have any questions regarding our proposal.

Respectfully submitted,
Bolton & Menk, Inc.

Seth A. Peterson, PE
Project Manager, Principal-in-Charge

BOLTON & MENK IS AN EQUAL OPPORTUNITY EMPLOYER.



CONSULTANT QUALIFICATIONS | PROFILE

BOLTON & MENK

Communities rely on safe, reliable wastewater treatment systems to protect public health, support growth, and safeguard the environment. At Bolton & Menk, we take pride in helping communities plan, design, and improve wastewater treatment facilities that work today and adapt for tomorrow.

Our work with municipal clients began in 1949, with a long-standing focus on essential public infrastructure. As our firm has grown in size and expertise, our commitment to trusted partnerships has remained constant. We help communities move forward by listening closely, understanding operational and regulatory needs, and delivering practical, well-reasoned wastewater solutions. At its core, our work is about people helping people. Today, Bolton & Menk has more than 1,000 multiregional employees, including a professional staff of more than 400 engineers, planners, landscape architects, and surveyors.

Our dedication to clients is reflected in the wastewater treatment facilities we help deliver. We support communities through every phase of a project, from evaluating existing plant conditions and planning improvements to securing funding and delivering design solutions that are reliable, cost effective, and maintainable. Because we live and work in the communities we serve, we take a personal interest in providing infrastructure that performs well over the long term.

Strong relationships drive successful wastewater projects. We value face to face meetings, clear communication, and collaborative decision making to keep projects on schedule, within budget, and focused on solutions that operators and communities can rely on.

WE PROMISE EVERY CLIENT TWO THINGS: WE WILL WORK HARD FOR YOU, AND WE WILL DO A GOOD JOB.

We take responsibility for the work happening around us and do our part to improve quality of life through dependable wastewater treatment infrastructure. At the end of the day, we are **Real People** offering **Real Solutions**.

Solutions Provided

- Water & Wastewater Engineering
- Civil/Municipal Planning & Engineering
- Transportation Planning & Engineering
- Structural Services
- Architectural & Building Services
- Aviation Services
- Water Resources Engineering
- Environmental Planning & Permitting
- Urban Design & Landscape Architecture
- Community & Area Planning
- Construction Administration & Inspection
- Land Surveying
- Geographic Information Systems
- Project Funding
- Engagement Services
- Visual Communications

BARR ENGINEERING

Barr provides engineering and environmental consulting services to clients across the Midwest, throughout the Americas, and around the world. They have been employee owned since 1966 and trace their origins to the early 1900s. Working together, their nearly 800 engineers, scientists, and support specialists help clients develop, manage, process, and restore natural resources.

Barr has partnered with Bolton & Menk for more than 25 years and brings direct, hands-on experience with the Northfield WWTP. Their team will deliver electrical engineering services for this project.



QUALIFICATIONS

The Bolton & Menk and Barr team brings unmatched experience with BAFs in Minnesota. The electrical engineering team at Barr have also been involved with this facility for more than 25 years. That depth of knowledge matters, but it is only part of why we are well suited for this project. We also know the Northfield Wastewater Treatment Plant exceptionally well. For more than 20 years, we have completed multiple projects at the facility and understand how its systems function day to day. Our operations staff have even operated the plant directly, supporting the City while staff completed licensing requirements. That hands-on familiarity—combined with our experience at other BAF facilities—positions our team to deliver solutions that are practical, informed, and reliable.

Sustainability and resilience are embedded in how we design wastewater treatment facilities. Our approach aligns with industry best practices, the City's Climate Action Plan, and the Institute for Sustainable Infrastructure's Ervision™ rating system. Ervision provides a clear framework for evaluating sustainability in civil infrastructure, including wastewater facilities, and helps projects achieve environmental, social, and economic benefits.

Energy efficiency and long term reliability are key drivers of our designs. We design resilient systems with redundant equipment and robust process controls, and we specify proven equipment from manufacturers with local service and maintenance support. Our facilities incorporate LED lighting, high efficiency motors, and variable frequency drives (VFDs) to reduce energy use and improve operational control.

We have highlighted several wastewater treatment plant upgrade projects, including multiple facilities with BAF components. **Bolton & Menk has designed every BAF system in Minnesota**, and that experience—paired with our extensive wastewater treatment improvement portfolio—allows us to deliver a solution that truly works for Northfield. Our résumé includes decades of wastewater facility planning, design, and construction services, and we are ready to bring that experience to this project.

WASTEWATER TREATMENT PLANT IMPROVEMENTS NORTHFIELD, MN

The City hired Bolton & Menk to complete the last improvements project at the WWTP and the project included the following significant items: New cast-in-place liquid biosolids tank with new blower building; two new influent lift station dry pit submersible pumps; replacement of primary clarifier components; replacement of all BAF blowers; new MCCs for the BAF process; rehab of the existing control building, office and lab areas; miscellaneous HVAC improvements; and roof replacements for multiple building on the site. Bolton & Menk, in collaboration with Barr, who provided electrical engineering services, completed both the design and construction engineering for the full project. Teaming with Barr was critical as they have significant knowledge with the electrical systems at the facility and that experience was critical for the replacement of the BAF MCCs and allowed the City to continue to operate the facility while main electrical components were replaced. The project was very important as it replaced aging equipment and provided redundancy to the operations staff.



Reference:

Justin Wagner | Utilities Manager | City of Northfield | 507-645-3083 | justin.wagner@northfieldmn.gov

WASTEWATER TREATMENT FACILITY IMPROVEMENTS WORTHINGTON PUBLIC UTILITIES

Worthington Public Utilities sought to modernize its wastewater treatment facility with updated systems and needed to bring its records up to date to support these improvements. Bolton & Menk helped to update documentation of the facility using 3D laser scanning. Worthington Public Utilities now has a 3D point cloud of data and images to reference that will help create a more accurate design, and it was completed significantly faster than traditional documentation methods.



Reference:

Scott Hain | General Manager | Worthington Public Utilities
507-360-6724 | Shain@worrthingtonutilities.com



WASTEWATER TREATMENT PLANT DESIGN AND CONSTRUCTION NORTHFIELD, MN

Bolton & Menk evaluated wastewater treatment alternatives for the City's treatment facility. The existing facility was located on a small peninsula along the Cannon River and offered little space for facility expansion. In addition, the Cannon River is classified as an Outstanding Resource Value Water, placing strict discharge limits on the facility—limits that would not be attainable without a significant upgrade of the existing facility.

Bolton & Menk developed a plan to upgrade the facility employing advanced treatment technologies—BAFs and parallel plate clarifiers for wastewater treatment with lime heat stabilization for biosolids treatment. By using the advanced BAF technology and parallel plates, Bolton & Menk creatively solved the City's problem while exceeding their expectations. Their plan was both practical and cost effective since it allowed for the reuse of the existing site and saved more than \$5 million in capital expenditure. The environmentally proactive and sustainable plan included the added benefit of removing phosphorous, BOD, and ammonia to levels below the required standards. The treated biosolids meet the Class A standard and are sustainably reused via land application.



Reference:

Justin Wagner | Utilities Manager | City of Northfield | 507-645-3083 | Justin.wagner@northfieldmn.gov

MISCELLANEOUS WASTEWATER TREATMENT FACILITY IMPROVEMENTS NORTHFIELD, MN

Bolton & Menk has assisted the City with many miscellaneous projects in the last 15 years. These projects have all been relatively small in nature, but they do provide us with a unique insight into the inner workings of the facility. Following is a summary of the projects we have completed:

- Ultraviolet (UV) disinfection improvements
- Influent lift pump replacement
 - This was the precursor to the two-pump replacement for the past project at the WWTP
- BAF stop log replacements
- Primary clarifier scum piping replacement
- BAF valve replacement



Many of these projects were completed due to aging equipment and the City's desire to build resilience to the treatment facility. We also provided a biosolids replacement project after the City experienced a catastrophic fire in their biosolids treatment building. Bolton & Menk performed interim biosolids treatment options and designed a new replacement biosolids treatment facility. Our team expedited the evaluation of various interim biosolids treatment options to help the City during crisis mode. A temporary Class A biosolids treatment was designed and procured for the City for interim treatment. This temporary system was housed in one of the existing dry biosolids storage buildings not affected by the fire.

The fire completely damaged all equipment beyond repair, but the building could be reused. Bolton & Menk evaluated multiple biosolid treatment options to meet the City's needs while fitting within the existing facility. In coordination with City staff, the team selected the Schwing Bioset Class A biosolids treatment process which incorporated two dewatering screw presses and a Bioset Class A system, along with a newly designed odor scrubber system to prevent odor concerns. Bolton & Menk also helped the City with the insurance claim process.

Reference:

Justin Wagner | Utilities Manager | City of Northfield | 507-645-3083 | Justin.wagner@northfieldmn.gov



WASTEWATER TREATMENT FACILITY ST. PETER, MN

The City of St. Peter and Bolton & Menk worked together over a ten-year period to develop and implement plans for an advanced technology wastewater treatment system. The system is incorporated into a single structure that will meet the needs of the City of St. Peter for years to come.

The City of St. Peter operated the largest stabilization pond treatment system in the state. This facility, located in the flood plain of the Minnesota River, was inundated with floodwater on numerous occasions. Due to the environmental impacts of these flood events, the City began work to relocate the wastewater treatment operations. This planning was further accelerated by the 1998 tornado, which created the need for rebuilding much of the City's infrastructure.



A site within the City's industrial park was chosen for the wastewater treatment facility, maximizing the use of existing public infrastructure and City-owned property.

Bolton & Menk developed a practical and cost-effective plan using new technology, BAF and parallel plate clarifiers for wastewater treatment and lime heat stabilization for biosolids treatment. The compact size of the treatment processes allowed for the facility to be constructed within a single structure, meeting public expectations and provided long term wastewater treatment sustainability. The system removes BOD, ammonia, and phosphorous below standards. The lime/ heat pasteurization process treats biosolids to a Class A level. This process is sustainable as it reduces the amount of storage required for biosolids and increases the options for biosolids disposal and reuse.

In addition, the following wastewater treatment process improvements were implemented:

- New lift station and forcemain
- New outfall
- New grit removal and screenings facilities
- New on-site dewatered biosolids storage facility
- New UV facilities
- New standby generator
- Odor control facility
- New computer control system

The project was completed on time and within budget. St. Peter's new facility complies with the wastewater discharge limits for the Minnesota River and meets the City's sustainability criteria. This facility serves as a successful new model for implementation of wastewater treatment technology.

Reference:

Pete Moulton | Public Works Director | City of St. Peter | 507-931-4840 | petem@saintpetermn.gov

WASTEWATER TREATMENT FACILITY NEW PRAGUE, MN

The City of New Prague was faced with a dilemma many cities face—how to meet the needs of the community with aging wastewater treatment infrastructure. New, more stringent treatment standards were on the horizon, and community development was encroaching on the existing facility site. Community leaders felt a new sustainable approach was needed to meet these demands.



Bolton & Menk collaborated with the City to develop plans for a new, state-of-the-art wastewater treatment facility. The new facility integrated advanced technology to meet the stringent discharge limits. The advanced technology allowed the facility to be completely enclosed and sustainable, minimizing the impact of operations on the community developing around it.

This solution provided the City with a wastewater treatment facility that meets current and proposed treatment requirements, all while moderating the effect of development around the existing facility location.

Reference:

James Creaghe | Wastewater Supervisor | City of New Prague | 952-758-3637 | jcreaghe@ci.new-prague.mn.us



WASTEWATER TREATMENT IMPROVEMENTS SIOUX CENTER, IA

The City of Sioux Center needed to update the previous wastewater treatment facility to meet the effluent ammonia and disinfection limits in their new Department of Natural Resources (DNR) permit and to meet Iowa's Nutrient Reduction Strategy. During the planning stages, a comprehensive approach was taken to evaluate the facility and its environmental impacts. The City and Bolton & Menk worked together with businesses and industries to study the needs of the future and design this plant to meet those needs. Numerous treatment options were explored and evaluated, and the extended aeration activated sludge process with biological nutrient removal was selected because this process provides consistent high-quality effluent and operational flexibility.



Bolton & Menk provided the City of Sioux Center with a detailed wastewater facility plan detailing the options available to the City. The work included alternatives for consideration, cost of services study (rate information), meeting with community industries to engage all stakeholders in the solutions, and assistance with State Revolving Fund (SRF) financing. Included with the planning was the Iowa Nutrient Reduction Strategy Report along with an anti degradation alternatives analysis. This comprehensive effort allowed the City to proceed confidently with their wastewater treatment facility expansion of approximately \$26.5 million to replace aging infrastructure, meet nutrient reduction and disinfection goals, and provide the community with a facility to last years into the future, thereby protecting the environment and allowing the community to continue to grow and thrive. The facility began operations in November 2019 and was fully operational by the summer of 2020.

The engineering cost opinion on this facility was within five percent of construction costs. The City staff and council were engaged throughout the process and the report/planning phase involved numerous public presentations (including handouts and graphical displays), stakeholder meetings, publications, newspaper articles, and television interviews to help educate the community on the improvements.

The project included two traveling perforated plate fine screens with a separate washer and compactor. Grit removal was provided with a new vortex grit removal system including a grit cyclone and classifier. The pretreatment screen and grit are rated for 7.0 mgd flow.

Reference:
Murray Hulstein | Utility Manager | City of Sioux Center | 712-441-0463 | murrayh@siouxcenter.org

WASTEWATER TREATMENT PLANT LONG PRAIRIE, MN

Bolton & Menk was retained by the City of Long Prairie to prepare a Wastewater Facility Plan. Because of more stringent limits and large industrial wastewater organic loading, the most cost-effective and sustainable treatment alternative was to construct a new extended aeration activated sludge treatment facility. The existing stabilization pond facility was used for flow equalization. Bolton & Menk designed the recommended wastewater treatment improvements.



The extended aeration facility included the following major items:

- Improvements to the existing lift station
- Construction of new grit and screenings removal facility
- Construction of aeration basins with biological phosphorous removal facilities
- Construction of new secondary clarifiers
- Construction of new chlorination and dechlorination facilities
- Construction of new aerobic biosolids treatment and storage facilities
- Construction of a new blower/control building

The Bolton & Menk team completed the design with sustainability in mind to ensure the treatment improvements meet the City's needs for the future. Bolton & Menk also provided construction engineering and start-up services. The project was completed within budget and on time.

Reference:
Chad Bosl | Public Works Director | City of Long Prairie | 320-533-0706 | lppw205@yahoo.com



WASTEWATER TREATMENT FACILITIES

Bolton & Menk has provided wastewater planning, design, and construction engineering services for more than 150 wastewater treatment facilities. We have provided engineering services to many wastewater treatment clients, as listed below.

- Albert Lea, Minnesota
- Amboy, Minnesota
- Annandale-Maple Lake-Howard Lake, Minnesota*
- Albert Lea, Minnesota
- Appleton, Minnesota
- Arlington, Minnesota*
- Austin, Minnesota
- Belmond, Iowa
- Belview, Minnesota
- Bemidji, Minnesota
- Big Lake, Minnesota
- Blue Earth, Minnesota
- Buffalo, Minnesota
- Butterfield, Minnesota
- Cactus, Texas
- Calmar, Iowa
- Cedar Lake Sanitary Sewer District - Chambertain, South Dakota
- Chandler, Minnesota
- Clara City, Minnesota
- Cherokee, Iowa
- Claremont, Minnesota
- Clarissa, Minnesota
- Cleveland, Minnesota
- Cologne, Minnesota
- Cornfrey, Minnesota
- Courtland, Minnesota
- Darwin, Minnesota
- Dassel, Minnesota
- Delavan, Minnesota
- Dumont, Minnesota
- Dunnell, Minnesota
- East Bethel, Minnesota
- Eden Valley, Minnesota
- Fairfax, Minnesota
- Fairmont, Minnesota
- Faribault, Minnesota
- Franklin, Minnesota
- Frost, Minnesota
- Fulda, Minnesota
- Gaylord, Minnesota
- Glacial Lakes Sanitary Sewer and Water District - Hector, Minnesota
- Holloway, Minnesota
- Houston, Minnesota
- Iowa Great Lakes Sanitary District - Jackson, Minnesota
- Janesville, Minnesota
- Jordan, Minnesota
- Kandiyohi, Minnesota
- Lake Crystal, Minnesota
- Lake Henry, Minnesota
- Lake Lillian, Minnesota
- Lakefield, Minnesota
- Lanesboro, Minnesota
- Lime Springs, Iowa
- Lamberton, Minnesota
- Lansing, Minnesota
- Le Center, Minnesota
- Le Mars, Iowa*
- Le Sueur County, Minnesota
- Le Sueur, Minnesota
- Litchfield, Minnesota
- Long Prairie, Minnesota
- Lucan, Minnesota
- Madelia, Minnesota
- Mankato, Minnesota*
- Marshall, Minnesota*
- Medford, Minnesota
- Milford, Iowa
- Montevideo, Minnesota
- Monticello, Minnesota
- Montrose, Minnesota
- Moose Lake-Windemere, Minnesota
- Morris, Minnesota
- Morristown, Minnesota
- Morton, Minnesota
- Mountain Lake, Minnesota
- New Auburn, Minnesota
- New Germany, Minnesota
- New Prague, Minnesota**
- New Richland, Minnesota
- New Ulm, Minnesota*
- Nicollet, Minnesota
- North Mankato, Minnesota
- Northfield, Minnesota**
- Northwood, Iowa
- Norwood Young America, Minnesota****
- Olivia, Minnesota
- Osakis, Minnesota
- Paynesville, Minnesota
- Pemberton, Minnesota
- Pennock, Minnesota
- Perham, Minnesota
- Pipestone, Minnesota
- Postville, Iowa
- Redwood Falls, Minnesota
- Renville, Minnesota
- Sacred Heart, Minnesota
- Searles, Minnesota
- Sherburn, Minnesota
- Shoreview, Minnesota
- Spring Hill, Minnesota
- Sioux Center, Iowa
- Springfield, Minnesota
- St. James, Minnesota
- St. Peter, Minnesota**
- Staples, Minnesota
- Trimont, Minnesota
- Truman, Minnesota
- Tyler, Minnesota
- Upper Sioux Community
- Vermillion, Minnesota
- Wabasso, Minnesota
- Walnut Grove, Minnesota*
- Watertown, Minnesota
- Waterville, Minnesota
- Watkins, Minnesota
- Webster City, Iowa
- Welcome, Minnesota
- Wells-Easton-Minnesota Lake, Minnesota
- Windom, Minnesota*
- Winsted, Minnesota
- Winnebago, Minnesota
- Zumbrota, Minnesota

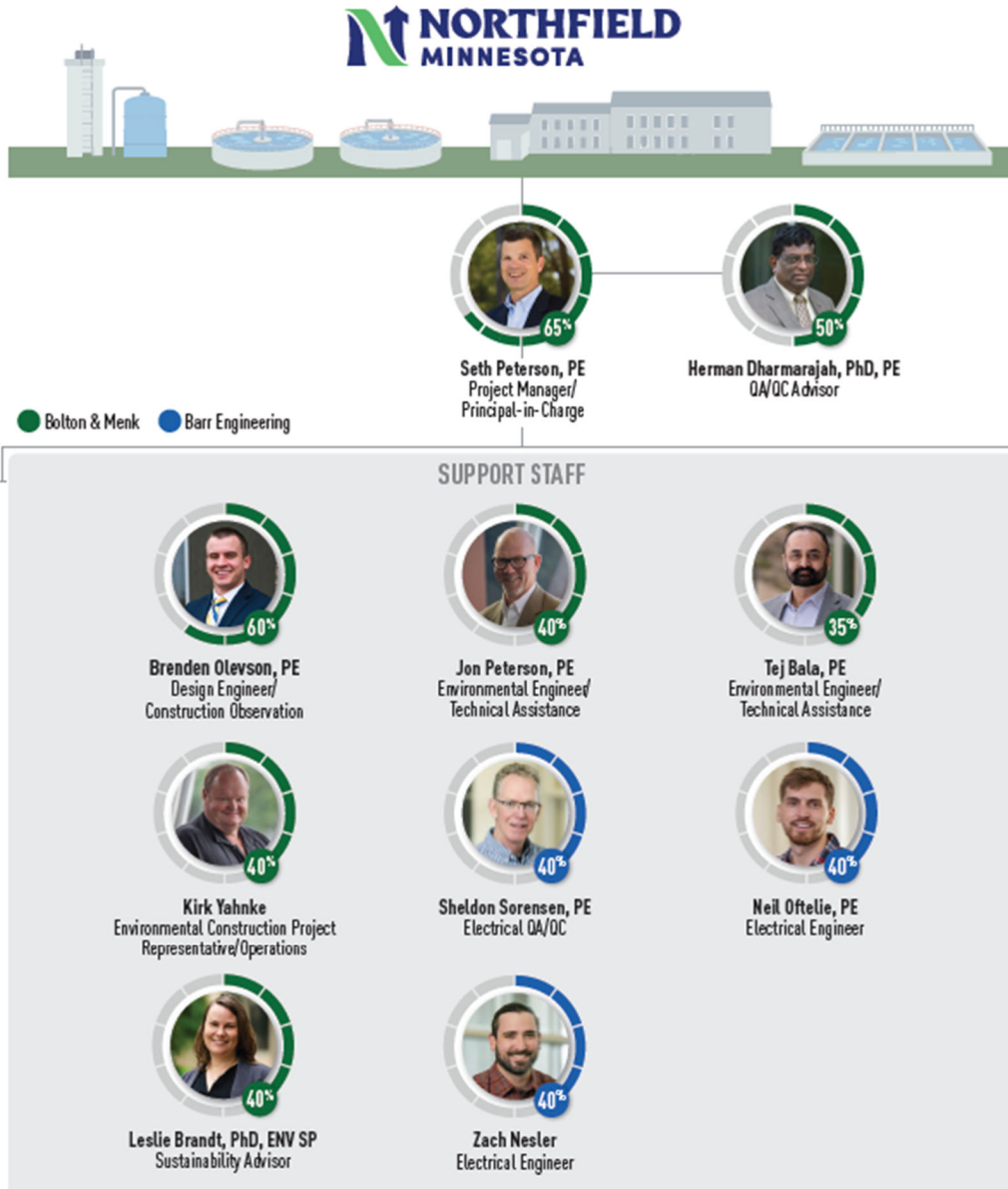
* = Multiple treatment facilities
BOLD = BAF facilities (** current BAF design project)





ORGANIZATIONAL STRUCTURE

We know the City of Northfield and the Wastewater Treatment Plant. We are familiar with the project area and we understand the community concerns. Our team will operate as an extension of Northfield's staff—taking your point of view and promoting your goals. Choosing us will help you avoid the awkward transition stage of getting an unfamiliar consultant up to speed. Project team member bios are on page 8 and full résumés are available upon request.





KEY PERSONNEL

The project team is identified below, and no substitutions or changes to assigned personnel will be made without prior approval from the City.



SETH PETERSON, PE

Project Manager | Principal-in-Charge
Seth will provide overall leadership, technical oversight, and accountability to ensure the project is delivered efficiently, collaboratively, and in alignment with the City's goals from

planning through completion.

Seth has over 20 years of experience with the City of Northfield, including leading WWTP projects and construction observation, with in-depth knowledge of staff, processes, and facility history to guide effective project delivery.



BRENDEN OLEVSON, PE

Design Engineer | Construction Observation

Brenden will support preparation of design plans and specifications and provide on-site construction observation to verify that work,

materials, and progress conform to project requirements and standards.

Brenden is a water/wastewater project engineer who supports planning, design, and construction of facility projects, including data collection, analysis, reporting, site visits, and construction observation.



HERMAN DHARMARAJAH, PhD, PE QA/QC Advisor

Herman will use his vast wastewater treatment facility experience to provide QA/QC for the project and be a valued technical advisor.

Herman is a water/wastewater practice expert with decades of experience leading design, management, and construction of treatment facilities, including Minnesota's first reverse osmosis plant. He provides technical leadership, supports staff, and has led nationwide studies and pilot testing to improve water quality and reduce contaminants.



TEJ BALA, PE

Environmental Engineer | Technical Assistance

Tej will provide environmental engineering support including permitting coordination, regulatory compliance, and technical guidance

throughout the design process.

Tej is a registered water/wastewater project manager and Class B Minnesota Water Operator with extensive experience leading municipal and industrial water/wastewater projects from planning through construction. He specializes in designing treatment facilities that meet regulatory requirements while exceeding client expectations.



KIRK YAHNKE Environmental Construction Project Representative | Operations

Kirk will provide design review and operational input. He has been involved in every BAF facility Bolton & Menk has completed and is

familiar with the Northfield facility and staff

Kirk is a senior construction project representative and wastewater operator with extensive experience in inspection, start-up, and quality control of environmental projects. Since 1985, he has supported municipal and industrial water and wastewater facilities, including pilot testing and pretreatment inspection, while working closely with clients during project start-up.



JON PETERSON, PE

Environmental Engineer | Technical Assistance

Jon led the original design of the Northfield Wastewater Treatment Plant more than 20 years ago and designed the more recent UV

disinfection upgrades. He will leverage this experience to provide technical guidance throughout the design process.

Jon is a senior water/wastewater project manager and registered professional engineer with extensive experience leading design, construction, and administration of water and wastewater systems. Since 1985, he has supported treatment facilities, collection systems, and distribution infrastructure through design, inspection, and construction oversight.



LESLIE BRANDT, PhD, ENV SP
Sustainability Advisor

Leslie will serve integrate best management practices and align project improvements with the City's Climate Action Plan to support long-term, resilient wastewater infrastructure.

Leslie is a sustainability and resiliency leader with extensive experience in climate adaptation, natural resource management, and strategic program delivery, recognized for building partnerships, leading teams, and advancing data-driven, equitable solutions.



NEIL OFTELIE, PE
Electrical Engineer

Neil will lead the electrical design and coordination of power, controls, and instrumentation systems to support wastewater treatment plant upgrades,

including integration with utilities, equipment, and plant operations. Neil has more than nine years of experience electrical distribution, lighting, controls, and instrumentation for municipal and industrial facilities, pumping and treatment systems with motor controls, panels, drives, standby power, PLCs, and SCADA.



SHELDON SORENSON, PE
Electrical QA/QC

Sheldon will lead quality control for electrical systems, overseeing design accuracy and ensuring installation of generator and electrical components meets project specifications and performance requirements.

Sheldon has worked with the Bolton & Menk team on numerous projects for more than 25 years. He has in-depth knowledge and hands-on experience with the City's generator and switchgear, which will be essential to the design process. Sheldon has more than 30 years of experience in the design and construction of power generation, power distribution, and real-time process controls and instrumentation for municipalities and industries, including work at more than 300 water treatment plants, wastewater treatment plants, and large pumping stations.



ZACH NESLER
Electrical Engineer

Zach will support electrical system planning and analysis, including power distribution, controls, and SCADA systems for wastewater treatment improvements, ensuring reliable design, coordination, and compliance with project requirements.

Zach has 18 years of electrical engineering experience in power distribution, motor controls, and SCADA systems, designing power and control systems for municipal and industrial facilities, supported by advanced power analysis.



SOLUTION DRIVEN

There is no such thing as a one-size-fits-all solution. We recognize that every project and client is unique and we treat them that way.



PROJECT APPROACH | WORK PLAN

PROJECT APPROACH

PROJECT COMMUNICATION

Engaging City stakeholders early in the process is essential for a successful project. We believe two-way communication of ideas is a fundamental and often overlooked element in the development and evaluation of engineering solutions. For this reason, Bolton & Menk continually welcomes our client's input throughout all project phases, similar to how we have communicated with the City on previous projects. **Seth Peterson**, our project manager, will be the communication link between Bolton & Menk and the City of Northfield. Actively involving the project manager in day-to-day project tasks streamlines the communication process and facilitates higher levels of project success, client satisfaction, and project effectiveness.

We worked on the most recent project at Northfield's WWTP and we have worked on wastewater treatment projects in numerous communities; our communication approach has contributed to the successful completion of these projects. Critical information will be communicated in a timely and proactive manner, including information related to progress status, schedule, technical findings, stakeholder contacts, and costs. We are committed to maintaining excellent communication with the City of Northfield.

All meetings will use appropriate and adequate consultant staffing, suitable graphics and presentation materials, meeting documentation such as notices and minutes, and distribution of information using alternative and multimedia tools and formats. Communication will be the responsibility of our project manager and emphasized and encouraged among project personnel. Our team will be managed as an extension of Northfield staff, allowing open lines of communication throughout the course of the project.

WORK PLAN

The City of Northfield can be assured that Bolton & Menk and Barr will provide superior project development, exceptional project design, and outstanding project construction stage services in a timely and cost-effective manner. The detailed work plan on the following pages is outlined by tasks addressing all elements of the RFP. Please see page 13 for our detailed schedule.



PROJECT INITIATION

We expect an initial project kickoff meeting with City staff members and key project team members. The purpose of this meeting is to

- Receive input from staff
- Review existing facility plan and proposed scope of work
- Review and discuss project procedure details
- Review and discuss project schedules
- Adjust work plan to meet City needs

This meeting sets the stage for the coordination and communication that will take place with City staff members throughout the project. Bolton & Menk has a strong history in understanding the challenges facing the Northfield WWTP and can assist the City in developing the best strategy to meet those challenges.

As part of our work, we intend to complete the following major items from the RFP:

- No topographic survey needed as all of the work takes place in existing buildings or we already have the survey as part of a past project
- Design of the following major items:
 - Two new fine screens
 - New grit removal system
 - Three new process centrifugal, submersible pumps
 - Replacement of primary process piping from the pumps to the existing valves
 - Replacement of two 30-inch backwash header valves and actuators and associated controls work
- Replacement of generator and associated switch gear
 - New stationary generator in weatherproof outdoor enclosure
 - New outdoor service entrance switchgear with main and generator circuit breakers, automatic transfer switch, power monitor, and feeder breakers to match existing load distribution
- Complete design and bidding process for the items listed above
- Complete construction services including project close-out for the items listed above

The RFP does not specifically address lighting replacement in the pretreatment and primary process areas. Because lighting is typically updated alongside equipment replacements, we will discuss this with the City at the kick-off meeting and can provide these services for an additional fee.

A key item to figure out through the design process will be how to keep two process pumps in operation during construction. We know this is a critical item that needs to be discussed and thought through during the design phase.



Our current assumption is that the main service and distribution panel will remain outdoors, likely within weatherproof switchgear, with a separate generator installed nearby. Alternatively, we could evaluate constructing a new building—either site-built (brick/mortar) or a prefabricated building—to house the service entrance and distribution panel; however, these options would require additional engineering fees.

Another critical item to work through will be the replacement of the generator and associated switchgear. Keeping the site powered at all times is critical and Bolton & Menk and Barr will develop a plan to ensure continuous power at the WWTP which may require multiple generators and different staging of the work. The project team from Barr includes **Sheldon Sorenson** who has direct experience and knowledge of the generator and switchgear. This knowledge will be critical for successful replacement of these items. We will engage the City through this process to ensure the staff is comfortable with the proposed plan.

The City has traditionally used Automatic Systems Control (ASC) for control/Supervisory Control and Data Acquisition (SCADA) integration work. While there isn't significant SCADA/control work, we will engage ASC during the design process to make sure we are working through the critical design items such as ensuring we have two process pumps in operation at all times and especially working with them as we figure out the generator and main switch gear replacement. Working with ASC during the design phase will make the construction phase smoother.

Following completion of the project initiation meeting, Bolton & Menk will begin the design process to meet the project schedule discussed as part of the project initiation. The project is only replacing existing equipment with similar equipment so no Natural Pollutant Discharge Elimination System (NPDES) permit modification should be required. Regardless, we plan to submit the plans and specifications to the Minnesota Pollution Control Agency (MPCA) for their review. This step is noted in the design services process below.

TASK 1: DESIGN SERVICES

- Develop design criteria
- Finalize equipment list
- Develop specifications
- Develop instrumentation and controls input/output list
- Develop panelboard schedule
- Develop cable and conduit schedule
- Develop civil plans, sections, and details
- Develop process plans, sections, and details
- Develop electrical plans, sections, and details
- Coordinate and facilitate two design review meetings during the design process (60% and 95% or as deemed necessary during design process)
- Develop electrical site and grounding plan
- Develop single-line diagrams
- Develop electrical schematics
- Develop MCC layout

- Develop functional descriptions
- Develop field instrumentation details
- Develop 60% review plans and cost opinion
- Develop 95% review plans and cost opinion
- Submit plans and specifications to the MPCA
- Present final project to City

Throughout the design process we will use our internal staff to conduct a review of the plans and specifications. Specifically, we will engage our operations staff to review for operational flexibility and ease of operation and maintenance.

A critical design component is figuring out how to complete the generator replacement as the generator enclosure also includes the main switchgear for the facility. Coordinating the removal of the existing generator is critical in order to always keep the plant with power. We will include language that requires the contractor to keep the facility continually powered with backup generator(s). Another critical component is to ensure that the City always has two process pumps in operation as the process pumps feed the BAF system.

TASK 2: BIDDING ADMINISTRATION

The following items are necessary steps to successfully bid and award a project of this magnitude.

- Gain council approval of plans and specifications
- Get MPCA approval of plans and specifications
- Advertise for bids (consultant to prepare ad for bids, City to advertise)
- Distribute plans and specifications to plan holders
- Answer bidder questions
- Prepare necessary addenda (City to distribute)
- Coordinate and facilitate pre-bid conference for interested bidders
 - It is strongly recommended to conduct a pre-bid meeting for this project to allow contractors to become familiar with the project parameters, especially for the generator and switchgear work
- Attend bid opening
- Evaluate bids for completeness
- Prepare and provide bid evaluation and recommendation

To accommodate the City's budget, we can structure the bid form with various add alternates to include items not part of the original scope. This will allow the City to meet budget constraints.





TASK 3: CONSTRUCTION SERVICES

The following construction services are based on a construction schedule from notice to proceed to project completion:

- Prepare notice of award
- Prepare contracts to be signed by contractor and owner
- Prepare notice to proceed
- Conduct pre-construction meeting
- Provide surveying control in conjunction with contractor
- Provide 200 hours of submittal review (10 hrs/week for 20 weeks)
- Provide 200 hours of project manager construction administration (10 hrs/week for 20 weeks)
- Provide 300 hours of construction observation (10 hrs/week for 30 weeks)
- Observer conduct weekly construction meetings
- Project manager conduct monthly construction meetings
- Provide monthly updates to city staff and council through a memorandum
- Provide monthly updates to MPCA engineering staff
- Review and approve shop drawings
- Provide digital access to shop drawings by owner
- Provide PLC enclosure and layouts
- Provide V/O drawings
- Provide wiring diagrams
- Provide control panel layouts
- Coordinate systems integrator to provide terminal screen layouts
- Address all construction questions
- Prepare and distribute any field orders and work change directives
- Review and recommend payment of partial pay requests

- Coordinate materials testing
- Assist City staff with interim operations of wastewater plant
- Ensure equipment checkout is completed by contractor
- Attend equipment training
- Review for substantial completion

The schedule for construction and number of hours is taken directly from the RFP. We anticipate that construction will need to be longer than one year to accommodate current delivery schedules for equipment, controls, etc. We will work with the City on the schedule and adjust hours as necessary.

TASK 4: PROJECT CLOSEOUT

Contract closeout is one of the most important phases of a successful project. It is necessary to clearly communicate between the engineer, owner, and contractor to set and uphold expectations to finish the project.

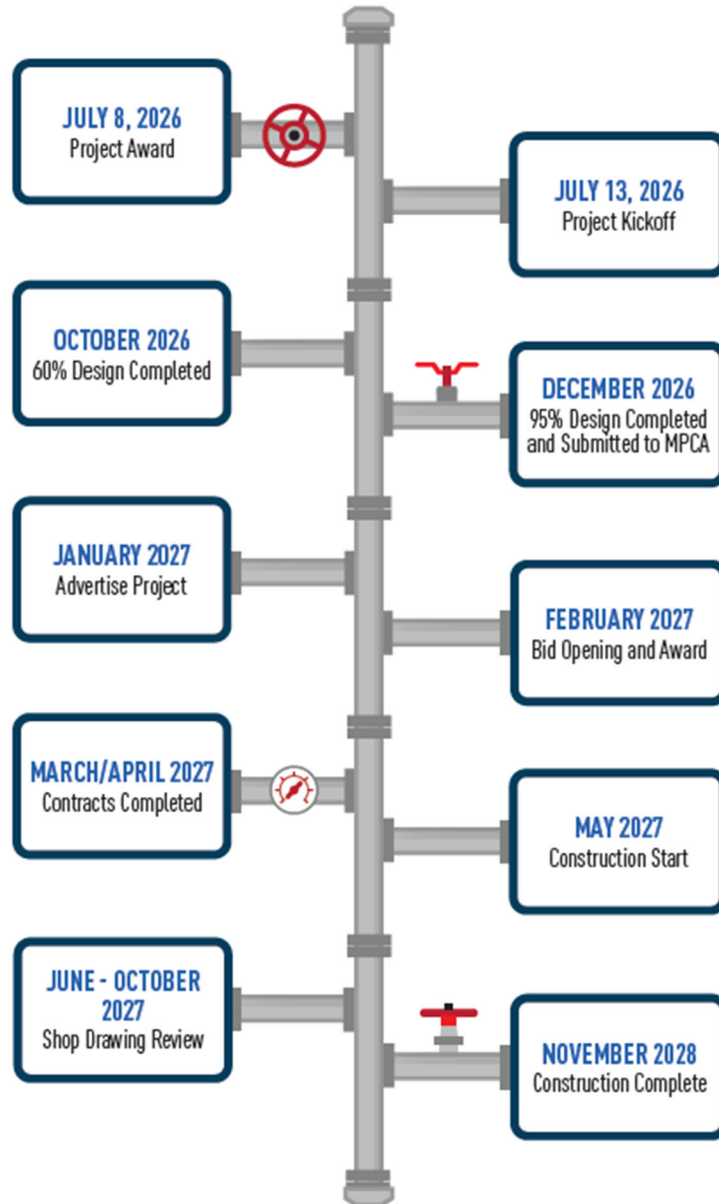
- Direct contractor to finish project completion list
- Verify required spare parts have been received
- Prepare facility operation and maintenance manual—for newly designed portions of wastewater treatment plant only
- Review and compile equipment operations and maintenance manuals for new equipment
- Provide two hard copies (if desired) and one PDF of full operation and maintenance manual
- Complete as-built drawing
- Provide PDF copies of as-built
 - Hard copies provided as desired
- Review and certify final pay request and contractor close-out documents





SCHEDULE

We have developed a schedule detailing the anticipated work tasks, task relationships, critical path timeline, deliverable due dates, and completion dates. This schedule is based on our review of the project background, description, and scope of services included in the RFP and our experience on other similar projects. The City will support the project schedule by providing timely reviews, decisions, and coordination. Upon selection, Bolton & Menk will work closely with City staff and project partners to refine and update the schedule as needed to support successful project delivery.





COST

The following tables summarize the hours and cost breakdown for each major work task item. The estimated fee includes labor, general business, and other normal and customary expenses associated with operating a professional business. Unless otherwise noted, the fees include vehicle and personal expenses, mileage, telephone, survey stakes, and routine expendable supplies; no separate charges will be made for these activities and materials. Expenses beyond the agreed scope of services and non-routine expenses, such as large quantities of prints, extra report copies, out-sourced graphics and photographic reproductions, document recording fees, outside professional and technical assistance, and other items of this general nature will be invoiced separately.

Our construction phase fees are based on the hours outlined in the RFP; however, given the complexity of the bypass pumping and the generator and switchgear replacement, we anticipate that additional effort may be required. These critical components will demand careful attention to minimize disruptions to facility staff and ongoing operations. If selected, we will collaborate closely with the City to ensure appropriate staffing and coverage are in place to support the construction phase.

Bolton & Menk will provide the scope of services as described for a total fee of \$329,890. We will bill work following our standard hourly billing rates and will not exceed our estimate without prior authorization from the City.

Client: Northfield, MN Project: Wastewater Treatment Plant Improvements		Bolton & Menk, Inc.											Total Hours	Total Cost
Task No.	Work Task Description	Project Manager/Principal-in-Charge	QA/QC Advisor	Design Engineer	Technical Assistance Engineer	Construction Specialist	Electrical Engineering QA/QC	Electrical Engineer	Sustainability	Administrative Assistant	Design Technician			
1.0	Design	48	14	128	36	10	35	306	24	11	64	676	\$144,870	
2.0	Bidding Administration	6	0	20	4	0	5	24	0	13	4	76	\$15,060	
3.0	Construction Services	190	0	380	20	0	5	114	8	0	0	717	\$160,390	
4.0	Project Closeout	4	0	26	0	4	0	0	0	8	8	50	\$9,570	
	Total Hours	248	14	554	60	14	45	444	32	32	76	1519		
	Average Hourly Rate	\$290.00	\$330.00	\$195.00	\$275.00	\$195.00	\$250.00	\$200.00	\$205.00	\$110.00	\$210.00			
	Subtotal	\$71,920	\$4,620	\$108,030	\$16,500	\$2,730	\$11,250	\$88,800	\$6,560	\$3,520	\$15,960			
	Total Fee												\$329,890	

EXCEPTIONS AND DEVIATIONS

The RFQ includes topographic survey services as part of the project scope. Based on our understanding of the project and available existing information, we anticipate that additional topographic survey efforts may be limited or not required to complete the proposed improvements. We will confirm survey needs in coordination with City staff at project kickoff and, if necessary, refine the scope to include targeted survey work to support design and construction. This approach aligns survey efforts with project needs while maintaining efficiency and cost control.



ADDITIONAL INFORMATION

Optional Enhancement: Climate Vulnerability Assessment and Adaptation Strategies

As an optional enhancement, we can develop a comprehensive vulnerability and risk assessment with associated adaptation strategies for the Northfield WWTP using the American Water Works Association (AWWA) M71 Climate Action Plans framework. This effort will evaluate climate hazards and other natural risks, assess the vulnerability of critical assets, and identify practical design and operational strategies to improve system resilience and reduce long-term risk.

Task 1: Existing Conditions and Critical Asset Identification

We will develop an understanding of the wastewater treatment facility and its key system dependencies relevant to climate risk. The team will review available documentation, including the Facility Study Update, asset inventories, and capital plans, and will identify and characterize critical infrastructure components, including pretreatment systems, process lift pumps, primary process piping, and standby power systems. Asset criticality will be evaluated based on operational importance, regulatory compliance, and redundancy requirements needed to maintain continuous plant operations during construction and future conditions.

Task 2: Climate Hazard Evaluation

We will identify and characterize climate-related hazards that may affect facility operations and the performance of planned upgrades. The team will compile and review available climate data and projections for Northfield and evaluate hazards such as flooding, extreme precipitation, and temperature extremes. The assessment will specifically consider how these hazards could affect screening systems, grit removal, pump performance, piping reliability, and standby power operation.

Task 3: Vulnerability and Risk Assessment

We will evaluate the vulnerability of critical assets and planned improvements to identified climate hazards and prioritize risks. A screening-level assessment will be conducted using a structured framework that considers exposure, sensitivity, and adaptive capacity. The analysis will focus on maintaining continuous operations, including redundancy for pumps and standby generator availability, and minimizing risks to treatment performance and regulatory compliance. One 1-hour virtual staff workshop will be facilitated to validate findings and confirm priorities.

Task 4: Adaptation Strategy Development

We will identify and evaluate strategies to reduce risk and improve resilience, with a focus on integration into ongoing design. Strategies will include protective measures for pretreatment equipment, pump and piping reliability enhancements, and generator resilience and redundancy considerations.

Each strategy will be evaluated for feasibility, effectiveness, and relative cost and aligned with planned design elements and construction sequencing requirements.

Task 5: Design Recommendations and Final Deliverables

This task will develop a clear, actionable roadmap to support integration of resilience measures into project development, design, and construction. Recommendations will be aligned with the project schedule, including 60 percent and 95 percent design submissions, permitting, and construction phases. The final plan will identify priority improvements that can be incorporated into design plans, specifications, and cost estimates to support long-term system reliability and a 20-year design life.

Deliverable: Final Vulnerability Assessment and Adaptation Plan that includes:

- Facility conditions and critical assets
- Climate-related hazard analysis
- Vulnerability and risk assessment matrix with prioritized risks
- Adaptation strategies matrix with design and construction-ready recommendations

If the City is interested in pursuing this additional AWWA Climate Action Plan, we will work with the City to develop a fee estimate.





City of Northfield
Minnesota

Request for Proposals

Wastewater

Treatment Plant

Improvements

Justin Wagner
Utilities Manager

1101 College Street
Northfield, Minnesota 55057

507-645-3083

Justin.Wagner@ci.northfield.mn.us

INTRODUCTION

The City of Northfield ("City") is requesting professional consulting services related to the 2026 Wastewater Treatment Plant Pretreatment, Primary Treatment and Generator Project. The City is seeking a proposal for Project Development, Project Design and Project Construction Phase Services. The project is scheduled for 2026.

The City of Northfield owns and operates a Wastewater Treatment Plant ("WWTP") that was majorly upgraded in 2001. The WWTP provides treatment for the cities of Northfield and Dundas as well as both St. Olaf and Carleton Colleges. It has an Average Wet Weather design of 5.2 million gallons per day with an average 2.03 million gallons per day in 2025. In 2021, the City Council adopted a Wastewater Facility Study Update that recommended improvements to the WWTP. The City of Northfield would like to consider the second phase of upgrades for design and installation of the improvements at this time.

Inquiries about the engagement or the request for proposal should be addressed to:

Justin Wagner, Utilities Manager
Justin.Wagner@ci.northfield.mn.us
507-645-3083

There is no expressed or implied obligation for the City of Northfield to reimburse responding firms for any expenses incurred in preparing proposals in response to this request.

To be considered, qualified firms must submit an electronic copy of their proposal by email to Justin Wagner, Utilities Manager at justin.wagner@northfieldmn.gov by 2:00 p.m. on June 17, 2026. The City of Northfield reserves the right to reject any or all proposals submitted.

The City of Northfield reserves the right, where it may serve the City's best interest, to request additional information or clarification from proposers or to allow corrections of errors or omissions. At the discretion of the City, firms submitting proposals may be requested to make oral presentations as part of the evaluation process. Following a review of the proposals, a recommendation for award will be made by the Utilities Manager to the City Administrator or City Council. A final decision for award of the work may be made by the City Administrator or the City Council.

The City of Northfield reserves the right to retain all proposals submitted and to use any concepts and ideas in a proposal regardless of whether that proposal is selected. Submission of a proposal indicates acceptance by the proposing firm of the conditions contained in this request for proposal, unless clearly and specifically noted in the proposal submitted and confirmed in the written contract between the City of Northfield and the firm selected.

Tentative Project Schedule:

- May 22, 2026 Solicitation for proposals begins
- June 17, 2026 Proposal submittal deadline
- July 7, 2026 Council approve Contract with recommended firm
- July 8, 2026 Wastewater Treatment Plant Upgrades Project begins
- October 2026 60% Design Plans & Cost Estimate
- December 2026 95% Design Plans submitted to MPCA for Review
- January 2027 Design Completion and Bid

- February 2027 Award Bid
- 2027-2028 Construction

Goals and Objectives

The project shall complement City plans such as the Wastewater Treatment Facility Study Update and Climate Action Plan and have a thorough review and incorporation of the best management practices for a Wastewater Treatment Plant. The project improvements shall provide the wastewater treatment plant with upgrades to last the design life of 20 years and meet the future growth plans of the City.

Scope of Services Requested

The City is requesting a professional consultant services related to the 2026 Wastewater Treatment Plant Pretreatment, Primary Treatment, and Generator Project included in the 2021 Facility Study Update (Appendix A). The City is seeking a proposal for Project Development, Project Design, and Projection Construction Phase Services. This project is scheduled for construction in 2026.

The WWTP Facility Study Update recommended upgrading its preliminary treatment, process lift pumps and standby generator. The preliminary equipment includes two Lakeside rotating drum screen systems and a Pista-Grit grit removal system. The process lift pumps include three non-clog submersible centrifugal pumps in a wet well. Each pump is rated at 3,615 gpm at 45 ft total dynamic head. Additionally, staff is recommending the replacement of the primary process piping based on recommendation from inspections of the primary process pumps. The piping should be replaced from the pumps in the wet well, through the tank wall and up to the valves. Two pumps will be required to always be operable while one is being replace. The WWTP standby diesel generator is a 1,500 kW Caterpillar generator and planned to be replaced with a similar generator. During the entire project, a standby generator will be required to be available for use to ensure plant operation. A more thorough look into each of the projects is described in the Facility Study Update. The City is recommending replacement of the primary process pumps piping that is associated with the primary process pumps. Additionally, two 30” backwash header valves and actuators are being recommended to be replaced as part of the project.

1. **Topographic Survey** – Perform a field control survey and develop horizontal and vertical control points at convenient intervals throughout the wastewater treatment plant improvements project and perform topographic survey of the wastewater treatment plant improvements project boundaries. This survey shall establish sufficient control to reestablish the street and sidewalk within project area.
 - 1.1. The Consultant shall perform a full topographic survey on the Wastewater Treatment Plant’s property.
2. **Design** – The successful consultant shall design a full set of approved plans including the following but not limited to:
 - 2.1. Existing Plans – Using topographic information, prepare base plans showing:
 - 2.1.1. Locations and elevations of all physical features.
 - 2.1.2. Existing profiles.
 - 2.2. Preliminary and final design plans and specifications – Prepare plans and specifications.
 - 2.2.1. Profiles –set the profiles for the project.

- 2.2.2. Layout and elevations for all new and replacement pavement areas.
- 2.2.3. Removals – develop a removals plan for all portions of the project.
- 2.2.4. Utilities (electric, gas, telephone, cable TV) – All utilities should be coordinated to allow adequate time for relocations if necessary. Working with City staff, utilities should be shown based on information provided by utility companies and marked in the field. Internal utilities shall be coordinated with City staff to be located.
- 2.2.5. Engineer to design an erosion control plan for the project.
- 2.3. Prepare contract documents - the consultant selected will prepare contract documents based on the City's standards.
- 2.4. Submit to City for review and approval.
 - 2.4.1. 60% Plan, Specification, Cost Estimate and Meeting with Staff
 - 2.4.2. 95% Plan, Specification, Cost Estimate and Meeting with Staff
- 2.5. Obtain all required permits – The consultant selected will prepare and submit applications for all required permits. The City of Northfield will pay for all permit fees.
- 2.6. Prepare opinion of probable construction costs - The consultant selected will prepare an opinion of probable construction costs.
- 2.7. The consultant will produce copies of the plans and specifications for bidding purposes and distribute plans and specifications to potential bidders utilizing the consultant's bidding software. The consultant will maintain and provide a plan holders' list.
- 3. **Bidding Administration** – the following bidding administration will be required of the consultant selected:
 - 3.1. Advertisement for bids – The Consultant will prepare the advertisement for bids in the City of Northfield format and submit to the City of Northfield for the required publication submittal.
 - 3.2. Answer bidder's questions – The consultant will be required to answer all bidders' questions.
 - 3.3. Issue addenda, if required – The consultant will be required to prepare any addendums. The City will distribute addendums.
 - 3.4. Bid opening and tabulation – The consultant will open and tabulate bids.
 - 3.5. Prepare letter of award recommendation – The Consultant will prepare a letter of award recommendation.
- 4. **Construction Services**
 - 4.1. Construction Administration –The consultant will be required to:
 - 4.1.1. Attend preconstruction conference.
 - 4.1.2. Perform on-site review of project's work and status as needed.
 - 4.1.3. Attend progress meetings as needed.
 - 4.1.4. Approve shop drawings, material list reports and all information on material to be used for construction in accordance with the plans and specifications.
 - 4.1.5. It should be planned for a minimum of 10 hours per week for 20 weeks for submittal review.
 - 4.1.6. It should be planned for a minimum of 10 hours per week for 20 weeks of construction administration for the project manager.
 - 4.2. Field Staking
 - 4.2.1. Stake limits of construction.
 - 4.2.2. Stake for grading.

- 4.2.3. Stake alignment and grades for new storm sewer, sanitary sewer and watermain replacement and/or repairs.
- 4.2.4. Stake other facilities as necessary.
- 4.3. Construction Observation Support - The Consultant will provide construction observation and day-to-day project coordination. Task include but are not limited to:
 - 4.3.1. A minimum of ten hours per week for 30 weeks of on-site inspection services for all facets of the project
 - 4.3.2. Maintain good public relations with residents and/or property owners
 - 4.3.3. Maintaining a daily diary of construction activity
 - 4.3.4. Daily documentation of pay item
 - 4.3.5. Working with the Contractor and City Staff to prepare partial pay estimates
 - 4.3.6. Coordinate and documentation of materials testing requirements
 - 4.3.7. Documenting certification of materials
 - 4.3.8. Verify conformity of materials and construction outcomes conform specifically to MnDOT standards and requirements

5. Project Close-out

- 5.1. Conduct final review of project.
- 5.2. Obtain record information from field representatives.
- 5.3. Record drawings - The Consultant will prepare record drawings.

Proposal Form and Contents

The Consultant's submittal must contain and clearly identify the following elements.

A. Project Approach/Work Plan

A detailed explanation of the overall approach to be taken to complete the project along with a detailed work plan must be provided. The work plan must contain a description of each task to be performed, identify the interrelationships among the tasks, clearly identify major review and decision points and specify the deliverables and work products for each task. The work plan must address, at a minimum, each of the items outlined under Scope of Services Section in the RFP.

B. Consultant Qualifications / Profile

Include qualifications of the firm as it relates to design and construction services of a wastewater treatment plant upgrade, including previous experience with similar projects for cities or other units of government that operate a Biological Aerated Filtration (BAF) wastewater treatment plant. Additionally, consultant will have knowledge of replacement of a generator and operation of the cities electrical requirements.

C. Key Personnel

The Consultant shall provide the names, qualifications and resumes of key personnel that will be assigned to this work and identify the lead client service contact that will be responsible for the management and administration of a contract with the City. As the stated qualifications of the personnel to be assigned to the project will have bearing on the City's award of contract, no change in personnel assigned to the project will be permitted without approval of the City.

D. Organizational Structure

The proposal must include the organizational/project management structure identifying key project personnel, their roles and responsibilities and the time available for each individual to work on this project.

E. Project Schedule

The proposal must identify the major tasks and dates of accomplishment. The schedule must indicate tasks, which the Consultant anticipates, will be done by the City. Work on this project should be initiated within two weeks of March 15, 2022 and diligently performed thereafter. The schedule will be monitored by the City to evaluate the Consultant's performance on the project. Any deviation from the milestones as proposed by the Consultant shall be approved by the City.

Once a Consultant is selected, a kickoff meeting will be held where among other things; the schedule will be reviewed and adjusted as appropriate based on individual project tasks and input from the Consultant.

F. Cost

A detailed cost estimate for completing the project, broken down by task, personnel and hours must be provided. Please identify the personnel that correspond to each title in the cost estimate. The proposal must indicate the total cost and itemize each task for the project. The proposal should include hourly rates for specific professional services, including meeting and presentation costs. Payment of fees will be made every thirty days upon receipt of a progress report and an invoice itemizing services performed and hours worked. Any work identified as optional in the Scope of Services shall be listed separately from required work. A total cost for all work is required by the proposal.

G. Exceptions and Deviations

Any exceptions to the requirements in this RFP, including the language in the Contract Negotiations and Terms Section, must be included in the proposal submitted by the Proposer. Segregate such exceptions as a separate element of the proposal under the heading "Exceptions and Deviations."

H. Additional Information

Any other information that the Proposer believes to be pertinent, but not specifically asked for elsewhere in the RFP, may be included under the heading "Additional Information."

I. References

A listing of the names, addresses and telephone numbers of at least three (3) references for whom the respondent has completed wastewater treatment plant upgrades of similar size and scope.

SELECTION

Proposals that comply with the instructions set forth in this document will be evaluated by the City of Northfield. Proposals will be evaluated on the following criteria:

- Understanding of the work to be completed.
- Quality of the approach presented in addressing the issues identified in this RFP.
- Experience designing Biological Aerated Filtration (BAF) wastewater treatment plants.
- Experience in performing similar projects.
- Experience of individuals the Consultant will assign to this work.
- Firms work related to sustainability practices.
- Proposed cost.
- The ability to perform the work within the specified time.
- Proposed schedule for completing the work.

The City reserves the right to accept or reject any or all proposals received, in whole or in part. At its discretion, the City of Northfield may choose to waive immaterial deviations from the RFP instructions. If necessary, a short list of Consultants will be called for an interview. Selection of a Consultant is expected in March 2022. The Consultant selection may require the approval of the City Council.

This RFP does not commit the City of Northfield to enter into a contract, nor does it obligate the City of Northfield to pay for any costs incurred by the Consultant in the preparation and submission of proposals or in anticipation of a contact.

CONTRACT NEGOTIATION AND TERMS

A. Negotiations and Contract Execution

Upon completion of the evaluation process, the City of Northfield will enter into negotiations with the responder(s) whose proposal offers the best solution and best value possible, as determined in the evaluation process.

This project will have an executed contract between the Consultant and the City. The City reserves the right to negotiate the final terms and conditions of the contract to be executed. Should the City and a Consultant be unable to mutually agree upon the entire contract, the City reserves the right to discontinue negotiations, select another Consultant or reject any or all proposals. The City reserves the right to negotiate with more than one Consultant simultaneously. Upon completion of negotiations agreeable to the City and Consultant, a contract shall be executed.

B. Contract Terms

1. Contract Terms are outlined in Appendix B.

EXHIBIT 2

CERTIFICATES OF REQUIRED INSURANCE COVERAGES



CERTIFICATE OF LIABILITY INSURANCE

12/31/2026

DATE (MM/DD/YYYY)
1/20/2026

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

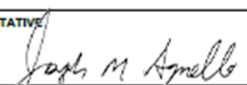
PRODUCER Lockton Companies, LLC DBA Lockton Insurance Brokers, LLC in CA CA license #0F15767 444 W. 47th St., Ste. 900 Kansas City MO 64112-1906 (816) 960-9000 kcasu@lockton.com		CONTACT NAME: PHONE (A/C, No, Ext): FAX (A/C, No): E-MAIL ADDRESS:	
INSURED 1565200 BOLTON & MENK, INC. 1960 PREMIER DR MANKATO MN 56001		INSURER(S) AFFORDING COVERAGE NAIC # INSURER A: Zurich American Insurance Company 16535 INSURER B: American Guarantee and Liab. Ins. Co. 26247 INSURER C: Continental Casualty Company 20443 INSURER D: INSURER E: INSURER F:	

COVERAGES **CERTIFICATE NUMBER:** 22568605 **REVISION NUMBER:** XXXXXXXX

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> CONTRACTUAL LIAB GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PROJECT <input checked="" type="checkbox"/> LOC OTHER:	Y	N	GLO 1340010-00	1/1/2026	1/1/2027	EACH OCCURRENCE \$ 2,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 1,000,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 2,000,000 GENERAL AGGREGATE \$ 4,000,000 PRODUCTS - COMP/OP AGG \$ 4,000,000 \$
A	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input checked="" type="checkbox"/> NON-OWNED AUTOS ONLY	Y	N	BAP 1340009-00	1/1/2026	1/1/2027	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ XXXXXXXX BODILY INJURY (Per accident) \$ XXXXXXXX PROPERTY DAMAGE (Per accident) \$ XXXXXXXX \$ XXXXXXXX
B	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input checked="" type="checkbox"/> RETENTION \$ \$0	N	N	SXS 1340013-00	1/1/2026	1/1/2027	EACH OCCURRENCE \$ 10,000,000 AGGREGATE \$ 10,000,000 \$ XXXXXXXX
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N	N/A	WC 1340011-00	1/1/2026	1/1/2027	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000
C	PROF / POLL LIABILITY E&O \$50K SIR	N	N	AEH14019718	12/31/2025	12/31/2026	\$15,000,000 PER CLAIM \$15,000,000 AGG LIMIT RETRO DATE: 12/31/1997

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
THIS CERTIFICATE SUPERSEDES ALL PREVIOUSLY ISSUED CERTIFICATES FOR THIS HOLDER, APPLICABLE TO THE CARRIERS LISTED AND THE POLICY TERM(S) REFERENCED.
CERTIFICATE HOLDER, CITY OF NORTHFIELD, IS ADDITIONAL INSURED ON A PRIMARY AND NON-CONTRIBUTORY BASIS ON GENERAL LIABILITY AND AUTO LIABILITY, IF REQUIRED BY WRITTEN CONTRACT AND SUBJECT TO THE TERMS AND CONDITIONS OF THE POLICY. FOR NON-PAYMENT OF PREMIUM, INSURER(S) WILL SEND 10 DAYS NOTICE OF CANCELLATION TO CERTIFICATE HOLDER.

CERTIFICATE HOLDER 22568605 CITY OF NORTHFIELD 801 WASHINGTON STREET NORTHFIELD, MN 550572598	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE 
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ACORD 25 (2016/03)

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EXHIBIT 3

COMPENSATION

Subject to the limitations set forth in this Exhibit, CITY will compensate CONSULTANT in accordance with the schedule of fees below for the time spent in performance of services/work under this Contract, provided that under no circumstances shall CONSULTANT's total charges to CITY, including expenses, exceed \$329,890.00 ("maximum price"), unless such charges in excess of the maximum price are authorized in writing by the Public Work Director/City Engineer before they are incurred by CITY.

CITY will make periodic payment to CONSULTANT upon billing at intervals not more often than monthly at the rates specified in the schedule of fees included herein, provided that no bill/invoice submitted to CITY shall exceed a percentage of the maximum price equivalent to the percentage of the scope of services completed by CONSULTANT to the satisfaction of the Public Work Director/City Engineer, as determined by CITY.

CITY shall be entitled to withhold Five percent (5%) of the maximum price until such time as CONSULTANT has fully performed the scope of services detailed in Exhibit 1 to the satisfaction of the Public Work Director/City Engineer.

In no event shall the total of CITY's payments to CONSULTANT under this Contract be required to exceed a percentage of the maximum price equivalent to the percentage of the scope of services completed by CONSULTANT to the satisfaction of the Public Work Director/City Engineer.

JUNE 17, 2026



WASTEWATER TREATMENT PLANT IMPROVEMENTS

CITY OF NORTHFIELD, MN



**BOLTON
& MENK**

Real People. Real Solutions.

Contact:

Seth Peterson, PE
612-803-5223
Seth.Peterson@bolton-menk.com

Location:

12224 Nicollet Avenue
Burnsville, MN, 55337
952-890-0509 | Bolton-Menk.com



Real People. Real Solutions.

June 17, 2026

12224 Nicollet Avenue
Burnsville, MN 55337

Justin Wagner, Utilities Manager
1101 College Street
Northfield, MN 55057
justin.wagner@northfieldmn.gov

RE: Proposal for Wastewater Treatment Plant Improvements

Dear Justin:

The City of Northfield has initiated the Northfield Wastewater Treatment Plant (WWTP) Improvements project to plan and implement upgrades to the pretreatment, primary treatment, and generator portions of the treatment facility. These upgrades will support reliable operations, regulatory compliance, and long term service to the community. This project will require thoughtful coordination with existing facilities, especially the replacement of the generator. This will require careful consideration of operational impacts, and practical solutions that balance performance, constructibility, and future flexibility. Like you, Bolton & Menk, Inc. takes great pride in designing and managing projects that are safe, sustainable, and functional. We understand what needs to be accomplished for the successful completion of the Northfield Wastewater Treatment Plant Improvements project.

FAMILIARITY WITH NORTHFIELD

Bolton & Menk has a long standing working relationship with the City of Northfield and brings first hand familiarity with City staff, expectations, and decision making processes. Our team has a thorough understanding of the Northfield WWTP, including its operational history and recent improvements, which we successfully completed. This experience allows us to hit the ground running and tailor solutions that reflect how the facility is operated. Our local knowledge reduces risk, shortens the learning curve, and supports efficient, well coordinated project delivery.

PROVEN BIOLOGICAL AERATED FILTER (BAF) EXPERIENCE

Bolton & Menk has extensive experience planning, designing, and implementing Biological Aerated Filter (BAF) systems for municipal wastewater treatment facilities, including projects where BAF technology was selected to meet stringent nutrient and ammonia limits within constrained sites. Our team understands how to integrate BAF processes with upstream and downstream treatment components to support reliable operations, efficient maintenance, and long term regulatory compliance. This hands-on experience allows us to assist the City with the upgrade and replacement of equipment that is integral to the operation of the BAF system.

ESTABLISHED TEAMING WITH BARR ENGINEERING

Bolton & Menk has a proven history of successfully teaming with Barr Engineering (Barr) on complex wastewater treatment projects, allowing each firm to contribute its strengths in a coordinated and efficient manner. The Barr team has worked with the Northfield WWTP since it switched to the BAF process and they know how the facility operates and understand the challenges of replacing the generator and main switchgear. This knowledge from Barr is critical and will ensure the most seamless transition with the generator replacement. These established working relationships reduce coordination risks and supports a smooth project delivery process from planning through construction.

In continued service to the City of Northfield, we are excited at the opportunity to complete the Wastewater Treatment Plant Improvements project. I will serve as your lead client contact and project manager. Please contact me at 612-803-5223 or Seth.Peterson@bolton-menk.com if you have any questions regarding our proposal.

Respectfully submitted,
Bolton & Menk, Inc.

Seth A. Peterson, PE
Project Manager, Principal-in-Charge



CONSULTANT QUALIFICATIONS | PROFILE

BOLTON & MENK

Communities rely on safe, reliable wastewater treatment systems to protect public health, support growth, and safeguard the environment. At Bolton & Menk, we take pride in helping communities plan, design, and improve wastewater treatment facilities that work today and adapt for tomorrow.

Our work with municipal clients began in 1949, with a long-standing focus on essential public infrastructure. As our firm has grown in size and expertise, our commitment to trusted partnerships has remained constant. We help communities move forward by listening closely, understanding operational and regulatory needs, and delivering practical, well-reasoned wastewater solutions. At its core, our work is about people helping people. Today, Bolton & Menk has more than 1,000 multiregional employees, including a professional staff of more than 400 engineers, planners, landscape architects, and surveyors.

Our dedication to clients is reflected in the wastewater treatment facilities we help deliver. We support communities through every phase of a project, from evaluating existing plant conditions and planning improvements to securing funding and delivering design solutions that are reliable, cost effective, and maintainable. Because we live and work in the communities we serve, we take a personal interest in providing infrastructure that performs well over the long term.

Strong relationships drive successful wastewater projects. We value face to face meetings, clear communication, and collaborative decision making to keep projects on schedule, within budget, and focused on solutions that operators and communities can rely on.

WE PROMISE EVERY CLIENT TWO THINGS: WE WILL WORK HARD FOR YOU, AND WE WILL DO A GOOD JOB.

We take responsibility for the work happening around us and do our part to improve quality of life through dependable wastewater treatment infrastructure. At the end of the day, we are **Real People** offering **Real Solutions**.

Solutions Provided

- Water & Wastewater Engineering
- Civil/Municipal Planning & Engineering
- Transportation Planning & Engineering
- Structural Services
- Architectural & Building Services
- Aviation Services
- Water Resources Engineering
- Environmental Planning & Permitting
- Urban Design & Landscape Architecture
- Community & Area Planning
- Construction Administration & Inspection
- Land Surveying
- Geographic Information Systems
- Project Funding
- Engagement Services
- Visual Communications

BARR ENGINEERING

Barr provides engineering and environmental consulting services to clients across the Midwest, throughout the Americas, and around the world. They have been employee owned since 1966 and trace their origins to the early 1900s. Working together, their nearly 800 engineers, scientists, and support specialists help clients develop, manage, process, and restore natural resources.

Barr has partnered with Bolton & Menk for more than 25 years and brings direct, hands-on experience with the Northfield WWTP. Their team will deliver electrical engineering services for this project.



QUALIFICATIONS

The Bolton & Menk and Barr team brings unmatched experience with BAFs in Minnesota. The electrical engineering team at Barr have also been involved with this facility for more than 25 years. That depth of knowledge matters, but it is only part of why we are well suited for this project. We also know the Northfield Wastewater Treatment Plant exceptionally well. For more than 20 years, we have completed multiple projects at the facility and understand how its systems function day to day. Our operations staff have even operated the plant directly, supporting the City while staff completed licensing requirements. That hands-on familiarity—combined with our experience at other BAF facilities—positions our team to deliver solutions that are practical, informed, and reliable.

Sustainability and resilience are embedded in how we design wastewater treatment facilities. Our approach aligns with industry best practices, the City’s Climate Action Plan, and the Institute for Sustainable Infrastructure’s Envision™ rating system. Envision provides a clear framework for evaluating sustainability in civil infrastructure, including wastewater facilities, and helps projects achieve environmental, social, and economic benefits.

Energy efficiency and long term reliability are key drivers of our designs. We design resilient systems with redundant equipment and robust process controls, and we specify proven equipment from manufacturers with local service and maintenance support. Our facilities incorporate LED lighting, high efficiency motors, and variable frequency drives (VFDs) to reduce energy use and improve operational control.

We have highlighted several wastewater treatment plant upgrade projects, including multiple facilities with BAF components. **Bolton & Menk has designed every BAF system in Minnesota**, and that experience—paired with our extensive wastewater treatment improvement portfolio—allows us to deliver a solution that truly works for Northfield. Our résumé includes decades of wastewater facility planning, design, and construction services, and we are ready to bring that experience to this project.

WASTEWATER TREATMENT PLANT IMPROVEMENTS NORTHFIELD, MN

The City hired Bolton & Menk to complete the last improvements project at the WWTP and the project included the following significant items: New cast-in-place liquid biosolids tank with new blower building; two new influent lift station dry pit submersible pumps; replacement of primary clarifier components; replacement of all BAF blowers; new MCCs for the BAF process; rehab of the existing control building, office and lab areas; miscellaneous HVAC improvements; and roof replacements for multiple building on the site. Bolton & Menk, in collaboration with Barr, who provided electrical engineering services, completed both the design and construction engineering for the full project. Teaming with Barr was critical as they have significant knowledge with the electrical systems at the facility and that experience was critical for the replacement of the BAF MCCs and allowed the City to continue to operate the facility while main electrical components were replaced. The project was very important as it replaced aging equipment and provided redundancy to the operations staff.



Reference:

Justin Wagner | Utilities Manager | City of Northfield | 507-645-3083 | justin.wagner@northfieldmn.gov

WASTEWATER TREATMENT FACILITY IMPROVEMENTS WORTHINGTON PUBLIC UTILITIES

Worthington Public Utilities sought to modernize its wastewater treatment facility with updated systems and needed to bring its records up to date to support these improvements. Bolton & Menk helped to update documentation of the facility using 3D laser scanning. Worthington Public Utilities now has a 3D point cloud of data and images to reference that will help create a more accurate design, and it was completed significantly faster than traditional documentation methods.



Reference:

Scott Hain | General Manager | Worthington Public Utilities
507-360-6724 | Shain@worthingtonutilities.com



WASTEWATER TREATMENT PLANT DESIGN AND CONSTRUCTION NORTHFIELD, MN

Bolton & Menk evaluated wastewater treatment alternatives for the City's treatment facility. The existing facility was located on a small peninsula along the Cannon River and offered little space for facility expansion. In addition, the Cannon River is classified as an Outstanding Resource Value Water, placing strict discharge limits on the facility—limits that would not be attainable without a significant upgrade of the existing facility.



Bolton & Menk developed a plan to upgrade the facility employing advanced treatment technologies—BAFs and parallel plate clarifiers for wastewater treatment with lime heat stabilization for biosolids treatment. By using the advanced BAF technology and parallel plates, Bolton & Menk creatively solved the City's problem while exceeding their expectations. Their plan was both practical and cost effective since it allowed for the reuse of the existing site and saved more than \$5 million in capital expenditure. The environmentally proactive and sustainable plan included the added benefit of removing phosphorous, BOD, and ammonia to levels below the required standards. The treated biosolids meet the Class A standard and are sustainably reused via land application.

Reference:

Justin Wagner | Utilities Manager | City of Northfield | 507-645-3083 | Justin.wagner@northfieldmn.gov

MISCELLANEOUS WASTEWATER TREATMENT FACILITY IMPROVEMENTS NORTHFIELD, MN

Bolton & Menk has assisted the City with many miscellaneous projects in the last 15 years. These projects have all been relatively small in nature, but they do provide us with a unique insight into the inner workings of the facility. Following is a summary of the projects we have completed:

- Ultraviolet (UV) disinfection improvements
- Influent lift pump replacement
 - This was the precursor to the two-pump replacement for the past project at the WWTP
- BAF stop log replacements
- Primary clarifier scum piping replacement
- BAF valve replacement



Many of these projects were completed due to aging equipment and the City's desire to build resilience to the treatment facility. We also provided a biosolids replacement project after the City experienced a catastrophic fire in their biosolids treatment building. Bolton & Menk performed interim biosolids treatment options and designed a new replacement biosolids treatment facility. Our team expedited the evaluation of various interim biosolids treatment options to help the City during crisis mode. A temporary Class A biosolids treatment was designed and procured for the City for interim treatment. This temporary system was housed in one of the existing dry biosolids storage buildings not affected by the fire.

The fire completely damaged all equipment beyond repair, but the building could be reused. Bolton & Menk evaluated multiple biosolid treatment options to meet the City's needs while fitting within the existing facility. In coordination with City staff, the team selected the Schwing Bioset Class A biosolids treatment process which incorporated two dewatering screw presses and a Bioset Class A system, along with a newly designed odor scrubber system to prevent odor concerns. Bolton & Menk also helped the City with the insurance claim process.

Reference:

Justin Wagner | Utilities Manager | City of Northfield | 507-645-3083 | justin.wagner@northfieldmn.gov



WASTEWATER TREATMENT FACILITY

ST. PETER, MN

The City of St. Peter and Bolton & Menk worked together over a ten-year period to develop and implement plans for an advanced technology wastewater treatment system. The system is incorporated into a single structure that will meet the needs of the City of St. Peter for years to come.

The City of St. Peter operated the largest stabilization pond treatment system in the state. This facility, located in the flood plain of the Minnesota River, was inundated with floodwater on numerous occasions. Due to the environmental impacts of these flood events, the City began work to relocate the wastewater treatment operations. This planning was further accelerated by the 1998 tornado, which created the need for rebuilding much of the City's infrastructure.

A site within the City's industrial park was chosen for the wastewater treatment facility, maximizing the use of existing public infrastructure and City-owned property.

Bolton & Menk developed a practical and cost-effective plan using new technology, BAF and parallel plate clarifiers for wastewater treatment and lime heat stabilization for biosolids treatment. The compact size of the treatment processes allowed for the facility to be constructed within a single structure, meeting public expectations and provided long term wastewater treatment sustainability. The system removes BOD, ammonia, and phosphorous below standards. The lime/ heat pasteurization process treats biosolids to a Class A level. This process is sustainable as it reduces the amount of storage required for biosolids and increases the options for biosolids disposal and reuse.

In addition, the following wastewater treatment process improvements were implemented:

- New lift station and forcemain
- New grit removal and screenings facilities
- New UV facilities
- New outfall
- New on-site dewatered biosolids storage facility
- New standby generator
- Odor control facility
- New computer control system

The project was completed on time and within budget. St. Peter's new facility complies with the wastewater discharge limits for the Minnesota River and meets the City's sustainability criteria. This facility serves as a successful new model for implementation of wastewater treatment technology.

Reference:

Pete Moulton | Public Works Director | City of St. Peter | 507-931-4840 | petem@saintpetermn.gov



WASTEWATER TREATMENT FACILITY

NEW PRAGUE, MN

The City of New Prague was faced with a dilemma many cities face—how to meet the needs of the community with aging wastewater treatment infrastructure. New, more stringent treatment standards were on the horizon, and community development was encroaching on the existing facility site. Community leaders felt a new sustainable approach was needed to meet these demands.

Bolton & Menk collaborated with the City to develop plans for a new, state-of-the-art wastewater treatment facility. The new facility integrated advanced technology to meet the stringent discharge limits. The advanced technology allowed the facility to be completely enclosed and sustainable, minimizing the impact of operations on the community developing around it.

This solution provided the City with a wastewater treatment facility that meets current and proposed treatment requirements, all while moderating the effect of development around the existing facility location.

Reference:

James Creaghe | Wastewater Supervisor | City of New Prague | 952-758-3637 | jcreaghe@ci.new-prague.mn.us





WASTEWATER TREATMENT IMPROVEMENTS SIOUX CENTER, IA

The City of Sioux Center needed to update the previous wastewater treatment facility to meet the effluent ammonia and disinfection limits in their new Department of Natural Resources (DNR) permit and to meet Iowa's Nutrient Reduction Strategy. During the planning stages, a comprehensive approach was taken to evaluate the facility and its environmental impacts. The City and Bolton & Menk worked together with businesses and industries to study the needs of the future and design this plant to meet those needs. Numerous treatment options were explored and evaluated, and the extended aeration activated sludge process with biological nutrient removal was selected because this process provides consistent high-quality effluent and operational flexibility.



Bolton & Menk provided the City of Sioux Center with a detailed wastewater facility plan detailing the options available to the City. The work included alternatives for consideration, cost of services study (rate information), meeting with community industries to engage all stakeholders in the solutions, and assistance with State Revolving Fund (SRF) financing. Included with the planning was the Iowa Nutrient Reduction Strategy Report along with an anti degradation alternatives analysis. This comprehensive effort allowed the City to proceed confidently with their wastewater treatment facility expansion of approximately \$26.5 million to replace aging infrastructure, meet nutrient reduction and disinfection goals, and provide the community with a facility to last years into the future, thereby protecting the environment and allowing the community to continue to grow and thrive. The facility began operations in November 2019 and was fully operational by the summer of 2020.

The engineering cost opinion on this facility was within five percent of construction costs. The City staff and council were engaged throughout the process and the report/planning phase involved numerous public presentations (including handouts and graphical displays), stakeholder meetings, publications, newspaper articles, and television interviews to help educate the community on the improvements.

The project included two traveling perforated plate fine screens with a separate washer and compactor. Grit removal was provided with a new vortex grit removal system including a grit cyclone and classifier. The pretreatment screen and grit are rated for 7.0 mgd flow.

Reference:

Murray Hulstein | Utility Manager | City of Sioux Center | 712-441-0463 | murrayh@siouxcenter.org

WASTEWATER TREATMENT PLANT LONG PRAIRIE, MN

Bolton & Menk was retained by the City of Long Prairie to prepare a Wastewater Facility Plan. Because of more stringent limits and large industrial wastewater organic loading, the most cost-effective and sustainable treatment alternative was to construct a new extended aeration activated sludge treatment facility. The existing stabilization pond facility was used for flow equalization. Bolton & Menk designed the recommended wastewater treatment improvements.



The extended aeration facility included the following major items:

- Improvements to the existing lift station
- Construction of new grit and screenings removal facility
- Construction of aeration basins with biological phosphorous removal facilities
- Construction of new secondary clarifiers
- Construction of new chlorination and dechlorination facilities
- Construction of new aerobic biosolids treatment and storage facilities
- Construction of a new blower/control building

The Bolton & Menk team completed the design with sustainability in mind to ensure the treatment improvements meet the City's needs for the future. Bolton & Menk also provided construction engineering and start-up services. The project was completed within budget and on time.

Reference:

Chad Bost | Public Works Director | City of Long Prairie | 320-533-0706 | lppw205@yahoo.com



WASTEWATER TREATMENT FACILITIES

Bolton & Menk has provided wastewater planning, design, and construction engineering services for more than 150 wastewater treatment facilities. We have provided engineering services to many wastewater treatment clients, as listed below.

Albert Lea, Minnesota
 Amboy, Minnesota
 Annandale-Maple Lake-Howard Lake, Minnesota*
 Albert Lea, Minnesota
 Appleton, Minnesota
 Arlington, Minnesota*
 Austin, Minnesota
 Belmond, Iowa
 Belview, Minnesota
 Bemidji, Minnesota
 Big Lake, Minnesota
 Blue Earth, Minnesota
 Buffalo, Minnesota
 Butterfield, Minnesota
 Cactus, Texas
 Calmar, Iowa
 Cedar Lake Sanitary Sewer District - Chamberlain, South Dakota
 Chandler, Minnesota
 Clara City, Minnesota
 Cherokee, Iowa
 Claremont, Minnesota
 Clarissa, Minnesota
 Cleveland, Minnesota
 Cologne, Minnesota
 Comfrey, Minnesota
 Courtland, Minnesota
 Darwin, Minnesota
 Dassel, Minnesota
 Delavan, Minnesota
 Dumont, Minnesota
 Dunnell, Minnesota
 East Bethel, Minnesota
 Eden Valley, Minnesota
 Fairfax, Minnesota
 Fairmont, Minnesota
 Faribault, Minnesota
 Franklin, Minnesota
 Frost, Minnesota
 Fulda, Minnesota
 Gaylord, Minnesota
 Glacial Lakes Sanitary Sewer and Water District - Hector, Minnesota
 Holloway, Minnesota
 Houston, Minnesota
 Iowa Great Lakes Sanitary District - Jackson, Minnesota
 Janesville, Minnesota

Jordan, Minnesota
 Kandiyohi, Minnesota
 Lake Crystal, Minnesota
 Lake Henry, Minnesota
 Lake Lillian, Minnesota
 Lakefield, Minnesota
 Lanesboro, Minnesota
 Lime Springs, Iowa
 Lambertson, Minnesota
 Lansing, Minnesota
 Le Center, Minnesota
 Le Mars, Iowa*
 Le Sueur County, Minnesota
 Le Sueur, Minnesota
 Litchfield, Minnesota
 Long Prairie, Minnesota
 Lucan, Minnesota
 Madelia, Minnesota
 Mankato, Minnesota*
 Marshall, Minnesota*
 Medford, Minnesota
 Milford, Iowa
 Montevideo, Minnesota
 Monticello, Minnesota
 Montrose, Minnesota
 Moose Lake-Windemere, Minnesota
 Morris, Minnesota
 Morristown, Minnesota
 Morton, Minnesota
 Mountain Lake, Minnesota
 New Auburn, Minnesota
 New Germany, Minnesota
New Prague, Minnesota
 New Richland, Minnesota
 New Ulm, Minnesota*
 Nicollet, Minnesota
 North Mankato, Minnesota
Northfield, Minnesota
 Northwood, Iowa
Norwood Young America, Minnesota**
 Olivia, Minnesota
 Osakis, Minnesota
 Paynesville, Minnesota
 Pemberton, Minnesota
 Pennock, Minnesota
 Perham, Minnesota
 Pipestone, Minnesota
 Postville, Iowa

Redwood Falls, Minnesota
 Renville, Minnesota
 Sacred Heart, Minnesota
 Searles, Minnesota
 Sherburn, Minnesota
 Shoreview, Minnesota
 Spring Hill, Minnesota
 Sioux Center, Iowa
 Springfield, Minnesota
 St. James, Minnesota
St. Peter, Minnesota
 Staples, Minnesota
 Trimont, Minnesota
 Truman, Minnesota
 Tyler, Minnesota
 Upper Sioux Community
 Vermillion, Minnesota
 Wabasso, Minnesota
 Walnut Grove, Minnesota*
 Watertown, Minnesota
 Waterville, Minnesota
 Watkins, Minnesota
 Webster City, Iowa
 Welcome, Minnesota
 Wells-Easton-Minnesota Lake, Minnesota
 Windom, Minnesota*
 Winsted, Minnesota
 Winnebago, Minnesota
 Zumbrota, Minnesota

* = Multiple treatment facilities
 BOLD = BAF facilities (** current BAF design project)



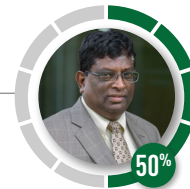


ORGANIZATIONAL STRUCTURE

We know the City of Northfield and the Wastewater Treatment Plant. We are familiar with the project area and we understand the community concerns. Our team will operate as an extension of Northfield's staff—taking your point of view and promoting your goals. Choosing us will help you avoid the awkward transition stage of getting an unfamiliar consultant up to speed. Project team member bios are on page 8 and full résumés are available upon request.



Seth Peterson, PE
Project Manager/
Principal-in-Charge



Herman Dharmarajah, PhD, PE
QA/QC Advisor

● Bolton & Menk ● Barr Engineering

SUPPORT STAFF



Brenden Olevson, PE
Design Engineer/
Construction Observation



Jon Peterson, PE
Environmental Engineer/
Technical Assistance



Tej Bala, PE
Environmental Engineer/
Technical Assistance



Kirk Yahnke
Environmental Construction Project
Representative/Operations



Sheldon Sorensen, PE
Electrical QA/QC



Neil Oftelie, PE
Electrical Engineer



Leslie Brandt, PhD, ENV SP
Sustainability Advisor



Zach Nesler
Electrical Engineer



KEY PERSONNEL

The project team is identified below, and no substitutions or changes to assigned personnel will be made without prior approval from the City.



SETH PETERSON, PE

Project Manager | Principal-in-Charge

Seth will provide overall leadership, technical oversight, and accountability to ensure the project is delivered efficiently, collaboratively, and in alignment with the City's goals from

planning through completion.

Seth has over 20 years of experience with the City of Northfield, including leading WWTP projects and construction observation, with in-depth knowledge of staff, processes, and facility history to guide effective project delivery.



BRENDEN OLEVSON, PE

Design Engineer | Construction Observation

Brenden will support preparation of design plans and specifications and provide on-site construction observation to verify that work,

materials, and progress conform to project requirements and standards.

Brenden is a water/wastewater project engineer who supports planning, design, and construction of facility projects, including data collection, analysis, reporting, site visits, and construction observation.



HERMAN DHARMARAJAH, PhD, PE

QA/QC Advisor

Herman will use his vast wastewater treatment facility experience to provide QA/QC for the project and be a valued technical advisor.

Herman is a water/wastewater practice expert

with decades of experience leading design, management, and construction of treatment facilities, including Minnesota's first reverse osmosis plant. He provides technical leadership, supports staff, and has led nationwide studies and pilot testing to improve water quality and reduce contaminants.



TEJ BALA, PE

Environmental Engineer | Technical Assistance

Tej will provide environmental engineering support including permitting coordination, regulatory compliance, and technical guidance

throughout the design process.

Tej is a registered water/wastewater project manager and Class B Minnesota Water Operator with extensive experience leading municipal and industrial water/wastewater projects from planning through construction. He specializes in designing treatment facilities that meet regulatory requirements while exceeding client expectations.



KIRK YAHNKE

Environmental Construction Project Representative | Operations

Kirk will provide design review and operational input. He has been involved in every BAF facility Bolton & Menk has completed and is

familiar with the Northfield facility and staff.

Kirk is a senior construction project representative and wastewater operator with extensive experience in inspection, start-up, and quality control of environmental projects. Since 1985, he has supported municipal and industrial water and wastewater facilities, including pilot testing and pretreatment inspection, while working closely with clients during project start-up.



JON PETERSON, PE

Environmental Engineer | Technical Assistance

Jon led the original design of the Northfield Wastewater Treatment Plant more than 20 years ago and designed the more recent UV

disinfection upgrades. He will leverage this experience to provide technical guidance throughout the design process.

Jon is a senior water/wastewater project manager and registered professional engineer with extensive experience leading design, construction, and administration of water and wastewater systems. Since 1985, he has supported treatment facilities, collection systems, and distribution infrastructure through design, inspection, and construction oversight.



LESLIE BRANDT, PhD, ENV SP
Sustainability Advisor

Leslie will serve integrate best management practices and align project improvements with the City's Climate Action Plan to support long-term, resilient wastewater infrastructure.

Leslie is a sustainability and resiliency leader with extensive experience in climate adaptation, natural resource management, and strategic program delivery, recognized for building partnerships, leading teams, and advancing data-driven, equitable solutions.



NEIL OFTELIE, PE
Electrical Engineer

Neil will lead the electrical design and coordination of power, controls, and instrumentation systems to support wastewater treatment plant upgrades,

including integration with utilities, equipment, and plant operations. Neil has more than nine years of experience electrical distribution, lighting, controls, and instrumentation for municipal and industrial facilities, pumping and treatment systems with motor controls, panels, drives, standby power, PLCs, and SCADA.



SHELDON SORENSON, PE
Electrical QA/QC

Sheldon will lead quality control for electrical systems, overseeing design accuracy and ensuring installation of generator and electrical components meets project

specifications and performance requirements. Sheldon has worked with the Bolton & Menk team on numerous projects for more than 25 years. He has in-depth knowledge and hands-on experience with the City's generator and switchgear, which will be essential to the design process. Sheldon has more than 30 years of experience in the design and construction of power generation, power distribution, and real-time process controls and instrumentation for municipalities and industries, including work at more than 300 water treatment plants, wastewater treatment plants, and large pumping stations.



ZACH NESLER
Electrical Engineer

Zach will support electrical system planning and analysis, including power distribution, controls, and SCADA systems for wastewater treatment improvements, ensuring reliable

design, coordination, and compliance with project requirements. Zach has 18 years of electrical engineering experience in power distribution, motor controls, and SCADA systems, designing power and control systems for municipal and industrial facilities, supported by advanced power analysis.



SOLUTION DRIVEN

There is no such thing as a one-size-fits-all solution. We recognize that every project and client is unique and we treat them that way.



PROJECT APPROACH | WORK PLAN

PROJECT APPROACH PROJECT COMMUNICATION

Engaging City stakeholders early in the process is essential for a successful project. We believe two-way communication of ideas is a fundamental and often overlooked element in the development and evaluation of engineering solutions. For this reason, Bolton & Menk continually welcomes our client's input throughout all project phases, similar to how we have communicated with the City on previous projects. **Seth Peterson**, our project manager, will be the communication link between Bolton & Menk and the City of Northfield. Actively involving the project manager in day-to-day project tasks streamlines the communication process and facilitates higher levels of project success, client satisfaction, and project effectiveness.

We worked on the most recent project at Northfield's WWTP and we have worked on wastewater treatment projects in numerous communities; our communication approach has contributed to the successful completion of these projects. Critical information will be communicated in a timely and proactive manner, including information related to progress status, schedule, technical findings, stakeholder contacts, and costs. We are committed to maintaining excellent communication with the City of Northfield.

All meetings will use appropriate and adequate consultant staffing, suitable graphics and presentation materials, meeting documentation such as notices and minutes, and distribution of information using alternative and multimedia tools and formats. Communication will be the responsibility of our project manager and emphasized and encouraged among project personnel. Our team will be managed as an extension of Northfield staff, allowing open lines of communication throughout the course of the project.

WORK PLAN

The City of Northfield can be assured that Bolton & Menk and Barr will provide superior project development, exceptional project design, and outstanding project construction stage services in a timely and cost-effective manner. The detailed work plan on the following pages is outlined by tasks addressing all elements of the RFP. Please see page 13 for our detailed schedule.



PROJECT INITIATION

We expect an initial project kickoff meeting with City staff members and key project team members. The purpose of this meeting is to

- Receive input from staff
- Review existing facility plan and proposed scope of work
- Review and discuss project procedure details
- Review and discuss project schedules
- Adjust work plan to meet City needs

This meeting sets the stage for the coordination and communication that will take place with City staff members throughout the project. Bolton & Menk has a strong history in understanding the challenges facing the Northfield WWTP and can assist the City in developing the best strategy to meet those challenges.

As part of our work, we intend to complete the following major items from the RFP:

- No topographic survey needed as all of the work takes place in existing buildings or we already have the survey as part of a past project
- Design of the following major items:
 - Two new fine screens
 - New grit removal system
 - Three new process centrifugal, submersible pumps
 - Replacement of primary process piping from the pumps to the existing valves
 - Replacement of two 30-inch backwash header valves and actuators and associated controls work
- Replacement of generator and associated switch gear
 - New stationary generator in weatherproof outdoor enclosure
 - New outdoor service entrance switchgear with main and generator circuit breakers, automatic transfer switch, power monitor, and feeder breakers to match existing load distribution
- Complete design and bidding process for the items listed above
- Complete construction services including project close-out for the items listed above

The RFP does not specifically address lighting replacement in the pretreatment and primary process areas. Because lighting is typically updated alongside equipment replacements, we will discuss this with the City at the kick-off meeting and can provide these services for an additional fee.

A key item to figure out through the design process will be how to keep two process pumps in operation during construction. We know this is a critical item that needs to be discussed and thought through during the design phase.



Our current assumption is that the main service and distribution panel will remain outdoors, likely within weatherproof switchgear, with a separate generator installed nearby. Alternatively, we could evaluate constructing a new building—either site-built (brick/mortar) or a prefabricated building—to house the service entrance and distribution panel; however, these options would require additional engineering fees.

Another critical item to work through will be the replacement of the generator and associated switchgear. Keeping the site powered at all times is critical and Bolton & Menk and Barr will develop a plan to ensure continuous power at the WWTP which may require multiple generators and different staging of the work. The project team from Barr includes **Sheldon Sorenson** who has direct experience and knowledge of the generator and switchgear. This knowledge will be critical for successful replacement of these items. We will engage the City through this process to ensure the staff is comfortable with the proposed plan.

The City has traditionally used Automatic Systems Control (ASC) for control/Supervisory Control and Data Acquisition (SCADA) integration work. While there isn't significant SCADA/control work, we will engage ASC during the design process to make sure we are working through the critical design items such as ensuring we have two process pumps in operation at all times and especially working with them as we figure out the generator and main switchgear replacement. Working with ASC during the design phase will make the construction phase smoother.

Following completion of the project initiation meeting, Bolton & Menk will begin the design process to meet the project schedule discussed as part of the project initiation. The project is only replacing existing equipment with similar equipment so no Natural Pollutant Discharge Elimination System (NPDES) permit modification should be required. Regardless, we plan to submit the plans and specifications to the Minnesota Pollution Control Agency (MPCA) for their review. This step is noted in the design services process below.

TASK 1: DESIGN SERVICES

- Develop design criteria
- Finalize equipment list
- Develop specifications
- Develop instrumentation and controls input/output list
- Develop panelboard schedule
- Develop cable and conduit schedule
- Develop civil plans, sections, and details
- Develop process plans, sections, and details
- Develop electrical plans, sections, and details
- Coordinate and facilitate two design review meetings during the design process (60% and 95% or as deemed necessary during design process)
- Develop electrical site and grounding plan
- Develop single-line diagrams
- Develop electrical schematics
- Develop MCC layout

- Develop functional descriptions
- Develop field instrumentation details
- Develop 60% review plans and cost opinion
- Develop 95% review plans and cost opinion
- Submit plans and specifications to the MPCA
- Present final project to City

Throughout the design process we will use our internal staff to conduct a review of the plans and specifications. Specifically, we will engage our operations staff to review for operational flexibility and ease of operation and maintenance.

A critical design component is figuring out how to complete the generator replacement as the generator enclosure also includes the main switchgear for the facility. Coordinating the removal of the existing generator is critical in order to always keep the plant with power. We will include language that requires the contractor to keep the facility continually powered with backup generator(s). Another critical component is to ensure that they City always has two process pumps in operation as the process pumps feed the BAF system.

TASK 2: BIDDING ADMINISTRATION

The following items are necessary steps to successfully bid and award a project of this magnitude.

- Gain council approval of plans and specifications
- Get MPCA approval of plans and specifications
- Advertise for bids (consultant to prepare ad for bids, City to advertise)
- Distribute plans and specifications to plan holders
- Answer bidder questions
- Prepare necessary addenda (City to distribute)
- Coordinate and facilitate pre-bid conference for interested bidders
 - It is strongly recommended to conduct a pre-bid meeting for this project to allow contractors to become familiar with the project parameters, especially for the generator and switchgear work
- Attend bid opening
- Evaluate bids for completeness
- Prepare and provide bid evaluation and recommendation

To accommodate the City's budget, we can structure the bid form with various add alternates to include items not part of the original scope. This will allow the City to meet budget constraints.





TASK 3: CONSTRUCTION SERVICES

The following construction services are based on a construction schedule from notice to proceed to project completion:

- Prepare notice of award
- Prepare contracts to be signed by contractor and owner
- Prepare notice to proceed
- Conduct pre-construction meeting
- Provide surveying control in conjunction with contractor
- Provide 200 hours of submittal review (10 hrs/week for 20 weeks)
- Provide 200 hours of project manager construction administration (10 hrs/week for 20 weeks)
- Provide 300 hours of construction observation (10 hrs/week for 30 weeks)
- Observer conduct weekly construction meetings
- Project manager conduct monthly construction meetings
- Provide monthly updates to city staff and council through a memorandum
- Provide monthly updates to MPCA engineering staff
- Review and approve shop drawings
- Provide digital access to shop drawings by owner
- Provide PLC enclosure and layouts
- Provide I/O drawings
- Provide wiring diagrams
- Provide control panel layouts
- Coordinate systems integrator to provide terminal screen layouts
- Address all construction questions
- Prepare and distribute any field orders and work change directives
- Review and recommend payment of partial pay requests

- Coordinate materials testing
- Assist City staff with interim operations of wastewater plant
- Ensure equipment checkout is completed by contractor
- Attend equipment training
- Review for substantial completion

The schedule for construction and number of hours is taken directly from the RFP. We anticipate that construction will need to be longer than one year to accommodate current delivery schedules for equipment, controls, etc. We will work with the City on the schedule and adjust hours as necessary.

TASK 4: PROJECT CLOSEOUT

Contract closeout is one of the most important phases of a successful project. It is necessary to clearly communicate between the engineer, owner, and contractor to set and uphold expectations to finish the project.

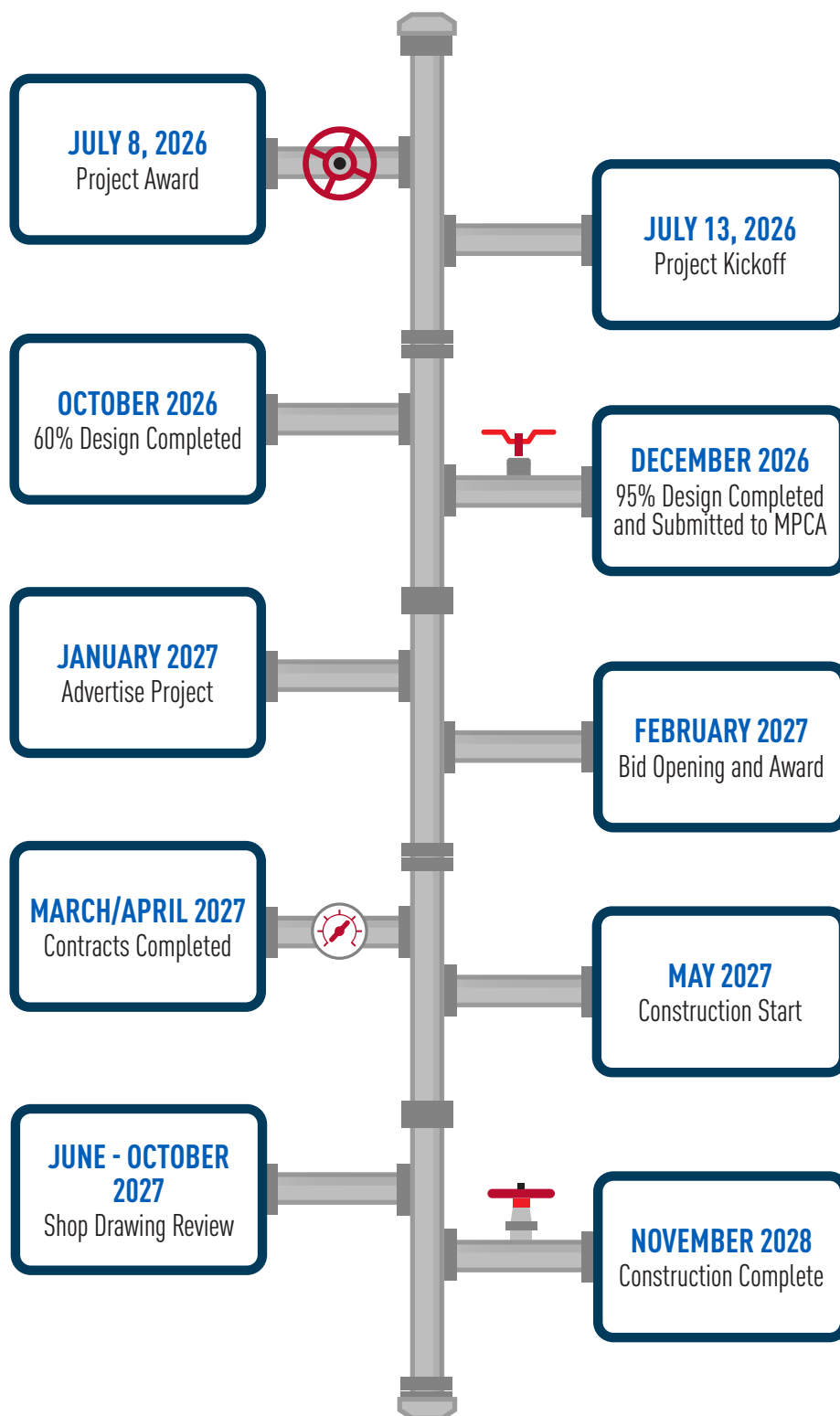
- Direct contractor to finish project completion list
- Verify required spare parts have been received
- Prepare facility operation and maintenance manual—for newly designed portions of wastewater treatment plant only
- Review and compile equipment operations and maintenance manuals for new equipment
- Provide two hard copies (if desired) and one PDF of full operation and maintenance manual
- Complete as-built drawing
- Provide PDF copies of as-built
 - Hard copies provided as desired
- Review and certify final pay request and contractor close-out documents





SCHEDULE

We have developed a schedule detailing the anticipated work tasks, task relationships, critical path timeline, deliverable due dates, and completion dates. This schedule is based on our review of the project background, description, and scope of services included in the RFP and our experience on other similar projects. The City will support the project schedule by providing timely reviews, decisions, and coordination. Upon selection, Bolton & Menk will work closely with City staff and project partners to refine and update the schedule as needed to support successful project delivery.





COST

The following tables summarize the hours and cost breakdown for each major work task item. The estimated fee includes labor, general business, and other normal and customary expenses associated with operating a professional business. Unless otherwise noted, the fees include vehicle and personal expenses, mileage, telephone, survey stakes, and routine expendable supplies; no separate charges will be made for these activities and materials. Expenses beyond the agreed scope of services and non-routine expenses, such as large quantities of prints, extra report copies, out-sourced graphics and photographic reproductions, document recording fees, outside professional and technical assistance, and other items of this general nature will be invoiced separately.

Our construction phase fees are based on the hours outlined in the RFP; however, given the complexity of the bypass pumping and the generator and switchgear replacement, we anticipate that additional effort may be required. These critical components will demand careful attention to minimize disruptions to facility staff and ongoing operations. If selected, we will collaborate closely with the City to ensure appropriate staffing and coverage are in place to support the construction phase.

Bolton & Menk will provide the scope of services as described for a total fee of \$329,890. We will bill work following our standard hourly billing rates and will not exceed our estimate without prior authorization from the City.

Client: Northfield, MN Project: Wastewater Treatment Plant Improvements		Bolton & Menk, Inc.												
Task No.	Work Task Description	Project Manager/ Principal-in- Charge	QA/QC Advisor	Design Engineer	Technical Assistance Engineer	Construction Specialist	Electrical Engineering QA/QC	Electrical Engineer	Sustainability	Administrative Assistant	Design Technician	Total Hours	Total Cost	
1.0	Design	48	14	128	36	10	35	306	24	11	64	676	\$144,870	
2.0	Bidding Administration	6	0	20	4	0	5	24	0	13	4	76	\$15,060	
3.0	Construction Services	190	0	380	20	0	5	114	8	0	0	717	\$160,390	
4.0	Project Closeout	4	0	26	0	4	0	0	0	8	8	50	\$9,570	
Total Hours		248	14	554	60	14	45	444	32	32	76	1519		
Average Hourly Rate		\$290.00	\$330.00	\$195.00	\$275.00	\$195.00	\$250.00	\$200.00	\$205.00	\$110.00	\$210.00			
Subtotal		\$71,920	\$4,620	\$108,030	\$16,500	\$2,730	\$11,250	\$88,800	\$6,560	\$3,520	\$15,960			
Total Fee													\$329,890	

EXCEPTIONS AND DEVIATIONS

The RFQ includes topographic survey services as part of the project scope. Based on our understanding of the project and available existing information, we anticipate that additional topographic survey efforts may be limited or not required to complete the proposed improvements. We will confirm survey needs in coordination with City staff at project kickoff and, if necessary, refine the scope to include targeted survey work to support design and construction. This approach aligns survey efforts with project needs while maintaining efficiency and cost control.



ADDITIONAL INFORMATION

Optional Enhancement: Climate Vulnerability Assessment and Adaptation Strategies

As an optional enhancement, we can develop a comprehensive vulnerability and risk assessment with associated adaptation strategies for the Northfield WWTP using the **American Water Works Association (AWWA) M71 Climate Action Plans framework**. This effort will evaluate climate hazards and other natural risks, assess the vulnerability of critical assets, and identify practical design and operational strategies to improve system resilience and reduce long-term risk.

Task 1: Existing Conditions and Critical Asset Identification

We will develop an understanding of the wastewater treatment facility and its key system dependencies relevant to climate risk. The team will review available documentation, including the Facility Study Update, asset inventories, and capital plans, and will identify and characterize critical infrastructure components, including pretreatment systems, process lift pumps, primary process piping, and standby power systems. Asset criticality will be evaluated based on operational importance, regulatory compliance, and redundancy requirements needed to maintain continuous plant operations during construction and future conditions.

Task 2: Climate Hazard Evaluation

We will identify and characterize climate-related hazards that may affect facility operations and the performance of planned upgrades. The team will compile and review available climate data and projections for Northfield and evaluate hazards such as flooding, extreme precipitation, and temperature extremes. The assessment will specifically consider how these hazards could affect screening systems, grit removal, pump performance, piping reliability, and standby power operation.

Task 3: Vulnerability and Risk Assessment

We will evaluate the vulnerability of critical assets and planned improvements to identified climate hazards and prioritize risks. A screening-level assessment will be conducted using a structured framework that considers exposure, sensitivity, and adaptive capacity. The analysis will focus on maintaining continuous operations, including redundancy for pumps and standby generator availability, and minimizing risks to treatment performance and regulatory compliance. One 1-hour virtual staff workshop will be facilitated to validate findings and confirm priorities.

Task 4: Adaptation Strategy Development

We will identify and evaluate strategies to reduce risk and improve resilience, with a focus on integration into ongoing design. Strategies will include protective measures for pretreatment equipment, pump and piping reliability enhancements, and generator resilience and redundancy considerations.

Each strategy will be evaluated for feasibility, effectiveness, and relative cost and aligned with planned design elements and construction sequencing requirements.

Task 5: Design Recommendations and Final Deliverables

This task will develop a clear, actionable roadmap to support integration of resilience measures into project development, design, and construction. Recommendations will be aligned with the project schedule, including 60 percent and 95 percent design submissions, permitting, and construction phases. The final plan will identify priority improvements that can be incorporated into design plans, specifications, and cost estimates to support long-term system reliability and a 20-year design life.

Deliverable: Final Vulnerability Assessment and Adaptation Plan that includes:

- Facility conditions and critical assets
- Climate-related hazard analysis
- Vulnerability and risk assessment matrix with prioritized risks
- Adaptation strategies matrix with design and construction-ready recommendations

If the City is interested in pursuing this additional AWWA Climate Action Plan, we will work with the City to develop a fee estimate.





Legislation Text

File #: 26-355, Version: 1

City Council Meeting Date: July 7, 2026

To: Mayor and City Council
City Administrator

From: James McDermott, Water Quality Technician
Sean Simonson, Engineering Manager
David Bennett, City Engineer/Public Works Director

Consider Motion Authorizing Submittal of Application for the Building Resilient Infrastructure and Communities (BRIC) Grant and Flood Mitigation Assistance (FMA) Grant for Downtown Flood Improvements.

Action Requested:

The Northfield City Council approves a motion authorizing the submittal of application for the FEMA Building Resilient Infrastructure and Communities (BRIC) and Flood Mitigation Assistance (FMA) Grants for the Downtown Flood Improvements Project.

Summary Report:

On July 11, 2023 the City Council accepted the Downtown Flood Study report (Attachment 1) and authorized staff to pursue grant funding. Additionally, the City Council at the last budget worksession offered feedback supporting exploration of grants to fund the downtown flood improvements. There are currently two grant programs, the FEMA Building Resilient Infrastructure and Communities (BRIC) Grant and Flood Mitigation Assistance Grant, that staff have prepared an application for both submittals (Attachment 2).

The proposed grants provide for a 75% Federal and 25% Local Match.

The proposed project locations and costs:

Area 1 - Floodwall Extension West side North of 4th Street Bridge (301 Water St., 207 Water St.,
205 Water St.)

Project Cost - \$4.4 Million

Grant Share - \$3.3 Million

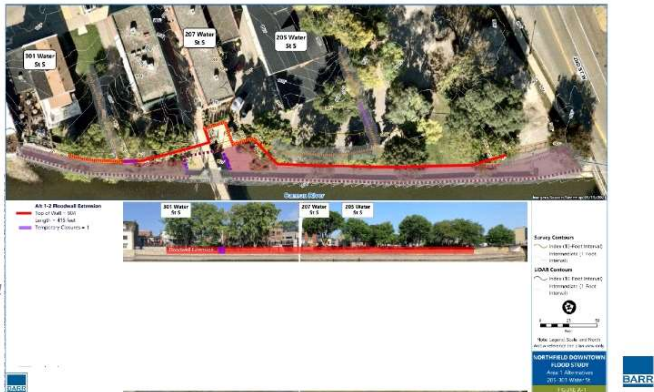
City Share Local Cost - \$1.1 Million

West Bank Floodwall (Area 1)

- Top of wall elevation 904
- 415 feet of floodwall
- one temporary closure
- interior drainage

possible add ons

- 906 to 907 top elevation
- replace existing wall
- seepage mitigation system



Carleton College - Stadium floodwall, and West Gym Closure

Project Cost - \$3.6 Million
Grant Share - \$2.7 Million
Carleton College Share - \$900,000

Staff have spoken to Carleton College, and they are supportive of being included in the application for the work on Carleton College property and would cover the cost share.

Alternative Options:

Not submitted, however, staff believe in leveraging available funding.

Financial Impacts:

Shared above, the City’s local match would be from the Storm Water Fund.

Tentative Timelines:

- BRIC Grant application submittal due July 23, 2026
- FMA Grant application submittal due August 6, 2026
- Funds for both grants available Summer of 2027

Northfield Downtown Flood Study

Phase 1— Flood Mitigation Options

Prepared for



Rev 0	April 26, 2022	
Rev 1	6/19/23	Updated hydrology and hydraulics. Added Carleton Alts.



Northfield Downtown Flood Study

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Certifications

I hereby certify that this report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.

Joseph J. Waln
PE #: 46928

6/19/2023

Date

Abbreviations

AEP	annual exceedance probability
BCA	benefit-cost analysis
BCR	benefit-cost ratio
BFE	base flood elevation
cfs	cubic feet per second
CRS	Community Rating System
DHS	Department of Homeland Security
MDNR	Minnesota Department of Natural Resources
FIRM	Flood Insurance Rate Map
FIS	Flood Insurance Study
FEMA	Federal Emergency Management Agency
GIS	geographic information system
HMA	Hazard Mitigation Assistance
HMGP	Hazard Mitigation Grant Program
LiDAR	light detection and ranging
LOMR	Letter of Map Revision
SFHA	Special Flood Hazard Area
USGS	United States Geological Survey
NFIP	National Flood Insurance Program
USACE	United States Army Corps of Engineers

1 Introduction

The purpose of this study is to evaluate flood risk reduction options to reduce future flood damages for properties adjacent to the Cannon River in downtown Northfield, Minnesota. The results of this study will be used to identify preferred mitigation options and develop the information needed to apply for grant funding to design and implement the mitigation measures.

Table 1-1 lists the locations evaluated in the study. There are three areas in downtown Northfield, three city parks along the river, and five locations on the Carleton College campus.

Table 1-1 Northfield and Carleton College Flood Mitigation Locations

Northfield				Carleton College
Area 1	Area 2	Area 3	Parks	
205 Water Street S	11 Bridge Square	500 Water Street S	Ames Park	Student Houses
207 Water Street S	13 Bridge Square	516 Water Street S	Riverside Lions Park	Stadium
301 Water Street S	—	630 Water Street S	Babcock Park	West Gym
—	—	—	—	Pump House
—	—	—	—	West Practice Fields

These locations have experienced repeated flooding in recent years. Seven of the ten largest recorded flood events for the City have occurred since 2010. The City and private property owners have taken some measures to reduce flood risk by constructing both temporary and permanent barriers and elevating equipment. While these measures help, responding to flood events still requires sandbags and pumps in multiple areas. The goal of this study is to identify viable options for more reliable flood mitigation measures that are less labor-intensive.

The parks listed in Table 1-1 are along the Cannon River and near the heart of the city. They have low areas that frequently flood during major flood events. The City is interested in reducing the frequency and extent of flooding in these parks.

After the 2010 flood, Carleton College retrofitted the Stadium and West Gym to allow for the quick installation of temporary barriers in front of doorways during floods. This study explores options for further reducing flood risk on this part of Carleton's campus.

2 Data Gathering and Analysis

The project team gathered data from a field survey, City staff, Carleton College, the Federal Emergency Management Agency (FEMA), the Minnesota Department of Natural Resources (MDNR), and other public data sets.

2.1 Data Gathering

2.1.1 Field Survey

The study team collected field survey data along the Cannon River adjacent to the subject properties. The field survey captured ground elevations along the riverwalk. Surveyors also collected low opening elevations for doors and windows of the subject properties. First floor elevations were inferred based on doorway sill elevations and measurements made by City staff.

2.1.2 City of Northfield

The study team obtained the following data from the City.

- Geographic information system (GIS) database with property boundaries, utilities, elevation contours
- Photos and video from the 2010 and 2016 flood events
- Northfield Climate Action Plan (adopted November 5, 2019) (reference [1])
- Riverfront Enhancement Action Plan (reference [2])

2.1.3 Carleton College

The study team obtained the following data from Carleton College staff.

- Photos and video from the 2010 flood
- Verbal accounts of flood levels and flood fighting efforts during the 2010 flood and subsequent flood events

2.1.4 Federal Emergency Management Agency (FEMA)

The study team obtained the following data from FEMA.

- Geodatabase with regulatory floodplain layers used to create the Flood Insurance Rate Maps (FIRMs) for the study area
- Effective Flood Insurance Study (FIS) for Rice County (adopted April 3, 2012) (reference [3])
- Preliminary FIS for Rice County (issued November 15, 2019) (reference [4])
- Letter of Map Revision (LOMR) Case No.: 12-05-1809P revising the effective FIS (effective October 2, 2012)

2.1.5 Minnesota Department of Natural Resources (MDNR)

The study team obtained the following data from the MDNR.

- Effective HEC-RAS model used by the MDNR to prepare the LOMR Case No.: 12-05-1809P
- Memo documenting changes made to the model for the above LOMR (reference [5])

2.1.6 Public Engagement

The City held an open house meeting on September 15, 2021 at City Hall. During the meeting, City staff and Barr staff described the scope of the study and solicited input from community members regarding their experiences during past floods and ideas for mitigating future flood risk. Eleven people attended the meeting. Most attendees were property owners in the study area. Two people from Carleton College also attended. Attendees were supportive of the goals of the study.

The City held an open house on April 7, 2022, at City Hall. During the meeting, City staff and Barr staff described the findings from the feasibility study and the potential flood risk reduction projects that are recommended for further consideration, as documented in this report, for City of Northfield locations. Ten people attended the meeting. Most attendees were property owners in the study area. Attendees were generally supportive of the recommendations from the feasibility study.

The City held an open house on April 26, 2023, at City hall. During the meeting, City staff and Barr staff described updates to the feasibility study to incorporate mitigation alternatives at Carleton College and preliminary results of the benefit cost analysis. Approximately ten people attended the meeting. Most attendees were property owners in the study area. Attendees were generally supportive of the recommendations from the revised feasibility study.

2.1.7 Other Data Sources

The study team obtained data from several other sources to inform the analysis and mitigation evaluation.

- Light detection and ranging (LiDAR) data for the state of Minnesota
- Aerial imagery for maps and figures
- Flood history from the National Weather Service
- Data from United States Geological Survey (USGS) stream gage 05355024 (Cannon River at Northfield, Minnesota)

2.2 Data Analysis

Barr reviewed the data gathered for the study to understand the history of Cannon River flooding in the study area.

2.2.1 Floodplain Regulations

The study area involves properties in the regulatory floodplain. Work in the regulatory floodplain requires a floodplain development permit per the City of Northfield's local floodplain ordinance. The floodplain

ordinance helps the City of Northfield meet state and federal requirements for community participation in the National Flood Insurance Program (NFIP) administered by FEMA.

FEMA develops Flood Insurance Rate Maps (FIRMs) to identify properties and structures that are within the inundation extents of the base flood (1%-annual-exceedance probability (AEP) or 100-year flood). The NFIP requires flood insurance for structures within the extents of the base flood. FEMA recently updated its risk rating system to better account for a structure's flood risk when setting insurance rates.

Flood insurance can be expensive, especially for structures mapped in the regulatory floodplain. Communities have options for helping reduce property owner flood insurance premiums. The Community Rating System (CRS) is a voluntary incentive program run by FEMA that allows communities to earn points for taking steps to reduce flood risk. These points bring down flood insurance rates for the community.

While the City of Northfield is not currently in the CRS program, some of the alternatives evaluated in this report could affect insurance rates and requirements. Eliminating a flood insurance requirement for a property would mean providing flood protection that is certified by a professional engineer as meeting FEMA requirements.

2.2.2 Flooding History

The USGS gage 05355028 for the Cannon River at Northfield, Minnesota, is near Second Street. Figure 2-1 shows the highest annual flows recorded at the gage from 1980-2021 (reference [6]). Seven of the 10 largest flood events in this period of record have happened since 2010.

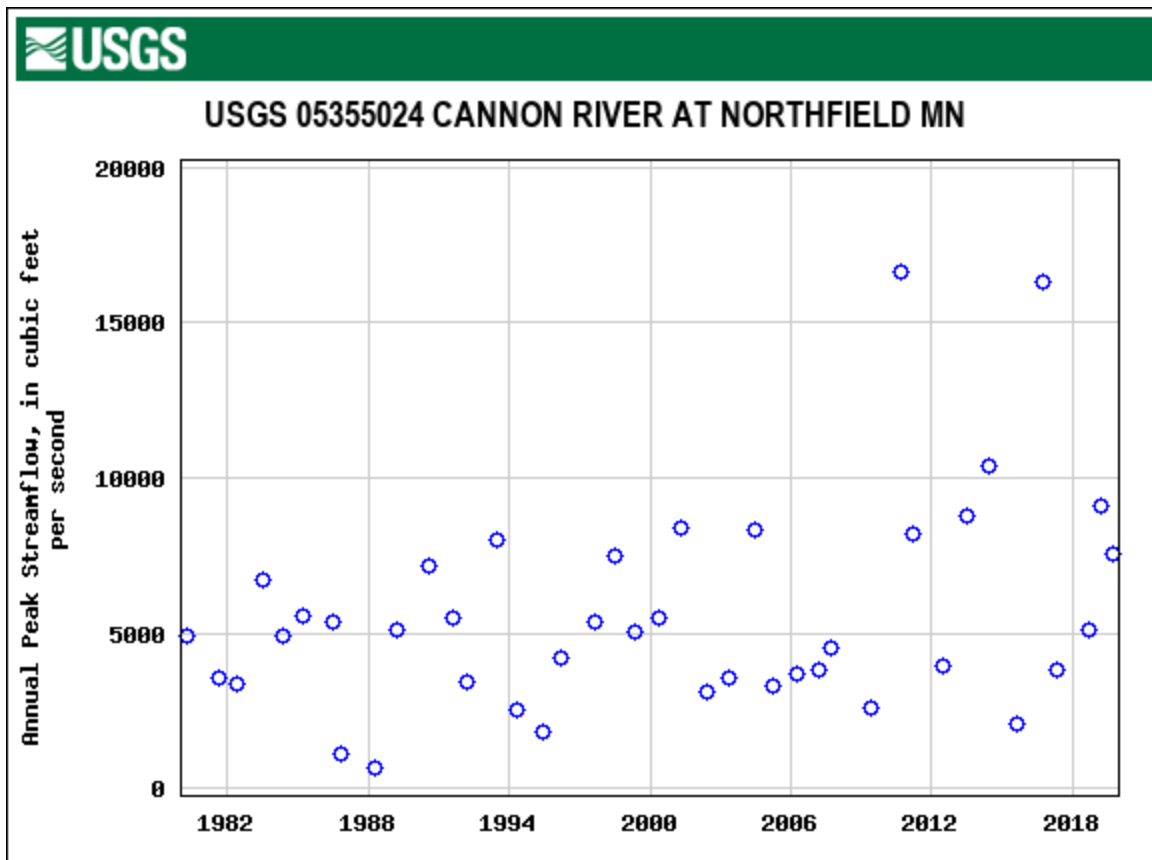


Figure 2-1 Annual Peak Streamflow at the USGS Stream Gage in Northfield, MN

2.2.3 Flood Frequency

The FEMA preliminary Flood Insurance Study (FIS) for Rice County documents the hydrologic methods used to define discharge frequency relationships for the Cannon River in the City of Northfield (reference [4]). The discharge frequency was developed using a Bulletin 17B analysis on 17 years of stream gage data from 1980 to 1996. Although this is a brief period of record on which to base a discharge frequency analysis, it was the best available information at the time.

Barr completed an updated discharge frequency analysis with additional data from the USGS stream gage for the Cannon River at Northfield, Minnesota (reference [7]). Barr's analysis built on a recent study by the USACE (United States Army Corps of Engineers) for the larger Cannon River watershed (reference [8]). The analysis used peak streamflow data from 1980 through 2020. The analysis was completed using the Bulletin 17C methodology in the software HEC-SSP. Table 2-1 provides the results of the analysis.

Table 2-1 Discharge Frequency Analysis Comparison

Annual Exceedance Probability (AEP)	Return Period	FIS Discharge (cfs) Period of Record 1980 to 1996	Preliminary Updated Discharge (cfs) Period of Record 1980 to 2020	% Change in Discharge
0.2%	500-year	14,200	22,800	+52%
1%	100-year	11,800	16,200	+37%
2%	50-year	10,700	14,000	+31%
10%	10-year	7,780	9,200	+18%

The updated discharge values for a given annual exceedance probability are significantly higher than the discharges listed in the preliminary and effective FIS documents. This is not a surprise given that the largest flood events in the period of record occurred after 1996. There have been nine events with flows greater than the 10% AEP (10-year) FIS discharge in the past 28 years and three events greater than the 1% AEP (100-year) FIS discharge in the last 12 years.

The discharge frequency analysis indicates that

- the 2010 and 2016 floods have a 1% AEP (100-year flood) instead of a 0.2% AEP (500-year flood)
- the updated 1% AEP discharge would be larger than FEMA’s current 0.2% AEP discharge

The updated discharge frequency data has been shared with the Interagency Hydrologic Review Committee. This means that the data could be used in the future for updates to regulatory flood mapping. In the interim, Barr used this information as the basis for evaluating flood mitigation options for Northfield.

2.2.4 Potential Future Flood Risk

Why consider potential future flood risk?

We live in an era of uncertainty about how global climate change may affect severe weather in our region. The investments Northfield makes today should enhance the resiliency of its infrastructure to floods and other natural hazards. There is a reasonable chance that large flood events on the Cannon River could become more frequent in the coming decades. Therefore, it is prudent to consider how larger flood events could impact the community and use that knowledge to inform flood mitigation investment decisions today.

What do we think we know?

Scientists from around the world have developed many different models to simulate what might happen to our global climate based on different carbon emission scenarios. Models are simplifications of large

complex systems. Few systems are more complex than our planet. The benefit of having many models is that together they can compensate for the various shortcomings in any one model. However, a remaining shortcoming is that these models pertain to the planet as a whole. They do not provide detailed information for the United States, let alone a relatively small watershed in southeast Minnesota.

There have been recent attempts by others to use the global climate models to develop regional models that can inform us about potential effects of climate change in our region. Barr reviewed the data from regional climate change models and concluded those models are not useful for predicting extreme weather events like the 1% AEP flood. When calibrated to historic data, these models accurately predict annual average precipitation, but underpredict the magnitude of extreme weather events that cause flooding. Barr documented this analysis in a memorandum titled Cannon River Future Flood Risk Analysis Memorandum (reference [9]).

Initial results from regional climate models suggest that total annual precipitation may not change significantly for southeast Minnesota over the next century. If there is an increase, it is expected to be less than 20 percent. The concern is that this additional precipitation could come from larger and more intense storm events than we have experienced in the past.

What should be done with this information?

Predicting the future is exceedingly difficult, but we can use the available data to define likely boundaries for how much change we could see over the next century. Based on potential increases in total precipitation, peak flows for the 1% AEP event are likely to be within the bounds of the upper and lower bounds of the 90% confidence limits for the current flood frequency estimate for the Cannon River at Northfield (reference [7]). Barr's flood frequency analysis determined that there is a 90% chance that the 1% AEP peak discharge is between approximately 13,000 cfs and 24,000 cfs, with a median value of 16,200 cfs. If climate change causes larger floods on the Cannon River in the future, Barr does not expect the median value for the 1% AEP peak discharge to increase beyond 24,000 cfs. For the feasibility analysis, alternatives are designed for a 1% AEP median discharge of 16,200 cfs, equivalent to the 2010 flood event, but are checked to see how they would perform during a 24,000-cfs flood event.

2.2.5 Hydraulics

Barr updated a copy of the MDNR HEC-RAS hydraulic model for the Cannon River to add missing bridges and calibrate the model to recent flood events. These updates are documented in memorandum titled Cannon River Hydraulic Model Updates (reference [10]). The calibrated model was used to simulate flood profiles for a range of annual exceedance probability flood events.

The model results are useful for showing how regulatory flood profiles for a given flood frequency will increase if the Interagency Hydrology Review Committee approves the updated discharge frequency and the Rice County Flood Insurance Study is updated to incorporate that technical analysis.

3 Potential Flood Risk Reduction Strategies

There are many strategies for mitigating flood risk, but only some apply to the Northfield downtown and Carleton College areas. Barr evaluated these strategies in the alternatives analysis. Other strategies were considered but not evaluated because they are unlikely to be economically viable.

3.1 Flood Mitigation Strategies Evaluated

Barr evaluated the following flood mitigation strategies for the study area properties.

3.1.1 Structural Flood Barriers

Structural flood barriers are typically floodwalls and levees. Floodwalls are structurally engineered walls designed to withstand the forces of floodwaters. Levees are typically earthen berms designed to withstand erosive forces from moving water and manage seepage through or under the berm.

3.1.2 Temporary Flood Barriers

Temporary flood barriers can be sandbags, earthen fill, or any number of proprietary devices installed in anticipation of a flood event and removed once the flood is over. These include temporary closures for openings in structural flood barriers, such as metal plates, stoplogs, sandbags, and other devices designed to withstand forces from moving water.

3.1.3 Dry Flood Proofing

Dry floodproofing of non-residential structures is a combination of building modifications that reduce or eliminate the potential for flood damage. This may involve anchoring the structure to resist movement or flotation; installing water-tight closures over doors, windows, and other openings; using sealants or membranes to reduce or eliminate seepage through the walls of the building; installing sump pumps to control interior water levels; installing check-valves to prevent backflow through utility conduits; and elevating electrical, mechanical, and other sensitive equipment above the expected flood level. FEMA Technical Bulletin 3-93 defines certification requirements for the dry floodproofing of non-residential structures.

3.1.4 Wet Flood Proofing

Wet floodproofing of existing structures is a combination of building modifications that allow the lower portion of the structure to be inundated in a flood with minimal damage to the structure or its contents. This may involve anchoring the structure, using flood-resistant materials, protecting or elevating sensitive equipment, and providing openings for water to pass into and out of the structure.

3.1.5 Buyouts

Voluntary buyouts are one of the most effective flood mitigation strategies because they remove a structure from the floodplain. FEMA Hazard Mitigation Grant Program (HMGP) funds may be available through Minnesota Homeland Security and Mitigation Management. The community must apply for the

HMGP grant funding. If approved, FEMA covers 75 percent of the acquisition cost. Use of FEMA funds means acquired properties must be deed-restricted to remain open space forever.

3.2 Flood Mitigation Strategies Considered but Not Evaluated

Some potential flood risk reduction strategies were not carried forward for full evaluation because they are unlikely to be viable. These strategies are discussed below.

Upstream flood storage

- The goal of upstream flood storage would be to retain floodwater in the upstream watershed and release it slowly to reduce the severity of flooding in Northfield. This is accomplished by constructing dams to create reservoirs that are designed to fill up during a flood. For example, the Natural Resources Conservation Service built several reservoirs on tributaries to the South Fork Zumbro River as part of the Rochester flood protection project constructed in the 1980s.
- For upstream flood storage to be effective, reservoirs need to be strategically positioned within the watershed to intercept flood flows, and outflows from the reservoirs must be managed to keep enough storage volume available to absorb the peak of the flood.
- During the 2016 flood event, reducing the flood elevation between the Water Street and Second Street Bridges by 1.5 feet would have required storing approximately 20,000 acre-feet of water from the peak of the flood hydrograph—this is equivalent to a 2,000-acre (3 square-mile), 10-foot-deep reservoir.
- This mitigation strategy is unlikely to be viable. It likely would be cost-prohibitive to acquire the land and construct and maintain the dams necessary to significantly reduce the flood risk in Northfield. It could take decades to implement this strategy.

Channel modification

- The channel modification strategy would involve lowering the river channel downstream of the Ames Mill Dam by approximately 3 feet to create additional conveyance capacity in the channel and lower peak flood levels.
- The channel bottom in this area is bedrock at approximately elevation 888. Lowering the channel bottom to 885 would require rock removal for roughly 3,000 feet of channel.
- This mitigation strategy is unlikely to be viable. It would be expensive to construct, difficult to permit, and might have structural implications for the Second Street Bridge.

Structure Relocation

- The structure relocation strategy would involve lifting structures off their foundations and moving them to higher ground.
- This mitigation strategy is unlikely to be viable because the buildings in this study do not appear to be structurally well-suited for relocation. It is unlikely that they could be easily separated from their foundations.

4 Northfield Mitigation Alternatives Analysis

Flood mitigation strategies in downtown Northfield are organized into three areas, with the three parks considered separately. Areas 1 and 2 are downstream of the Ames Mill Dam and Water Street Bridge. Area 3 is upstream of Fifth Street Bridge. Each area and the corresponding flood risk reduction alternatives considered are described in the sections below. Figures in Attachment A illustrate the structural alternatives for each of the study areas and parks.

Barr updated existing-conditions flood inundation maps for the 50-year, 100-year, and 500-year flood events. Mapped flood levels are based on flood elevations from the updated flood frequency analysis by Barr (reference [7]). Mapping is based on LiDAR topography for Rice County and survey data collected in Area 1, Area 2, and Area 3 for this study. Figures in Attachment B show existing and proposed conditions inundation extents for structural alternatives that would block a portion of the existing floodplain.

Table 4-1 lists structure low floor and low opening elevations compared to the 1% AEP flood elevation for the downtown Northfield properties.

Table 4-1 Northfield Property Low Floor and Low Opening Elevations vs. 1% AEP Flood

Location	Address	Low Floor ⁽¹⁾ (feet)	Low Opening ⁽²⁾ (feet)	1% AEP Flood Elevation ⁽³⁾ (feet)
Area 1	205 Water Street S	900.8 ⁽⁴⁾	900.8	902.5
Area 1	207 Water Street S	897.4	897.4	903.0
Area 1	301 Water Street S	897.4	902.6	903.5
Area 2	11 Bridge Square	900.2	900.2	903.5
Area 2	13 Bridge Square	902.4	902.4	903.5
Area 3	500 Water Street S	910.2	910.2	908.0
Area 3	516 Water Street S	910.2	910.2	908.0
Area 3	630 Water Street S	911.2	911.2	908.5

(1) Low floor elevations were surveyed or calculated based on a measurement from the low opening survey elevation

(2) Low opening elevations were surveyed in 2021

(3) 1% AEP flood elevations were calculated using the updated Cannon River hydraulic model

(4) Red text indicates value is lower than the 1% AEP flood elevation at that location

4.1 Area 1 Flood Risk Reduction Alternatives

Area 1 covers the study area properties on the west bank of the Cannon River between the Water Street and Second Street Bridges. Figure 4-1 and Figure 4-2 show the three property addresses in Area 1.



Figure 4-1 West Bank Riverwalk Properties Upstream of Pedestrian Bridge

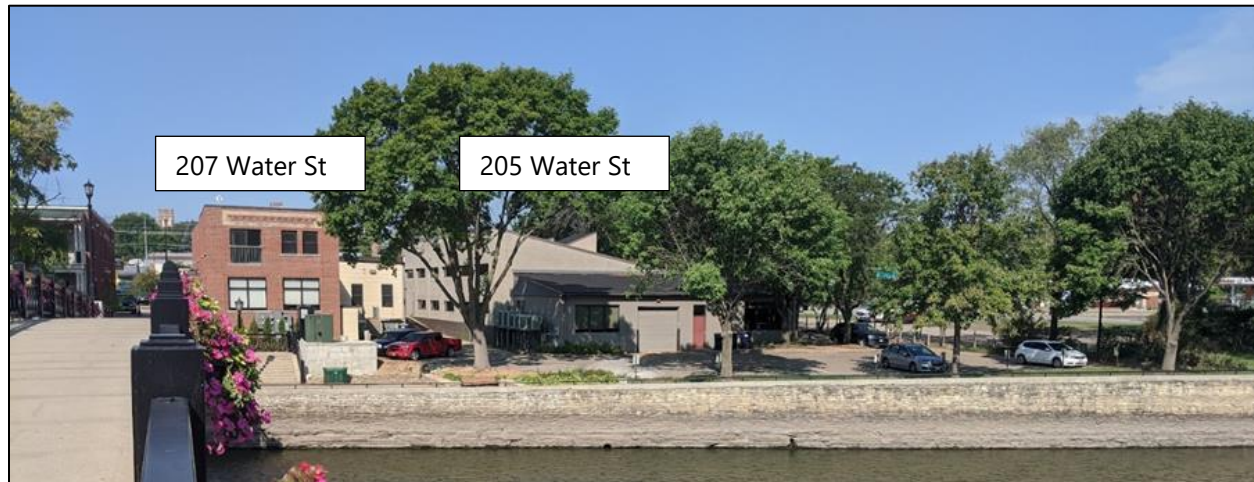


Figure 4-2 West Bank Riverwalk Properties Downstream of Pedestrian Bridge

Figure 4-3 shows the west riverwalk near 301 Water Street during a flood event and water flowing over the top of the channel wall (top left of the picture). The top of the channel wall is at elevation 902.

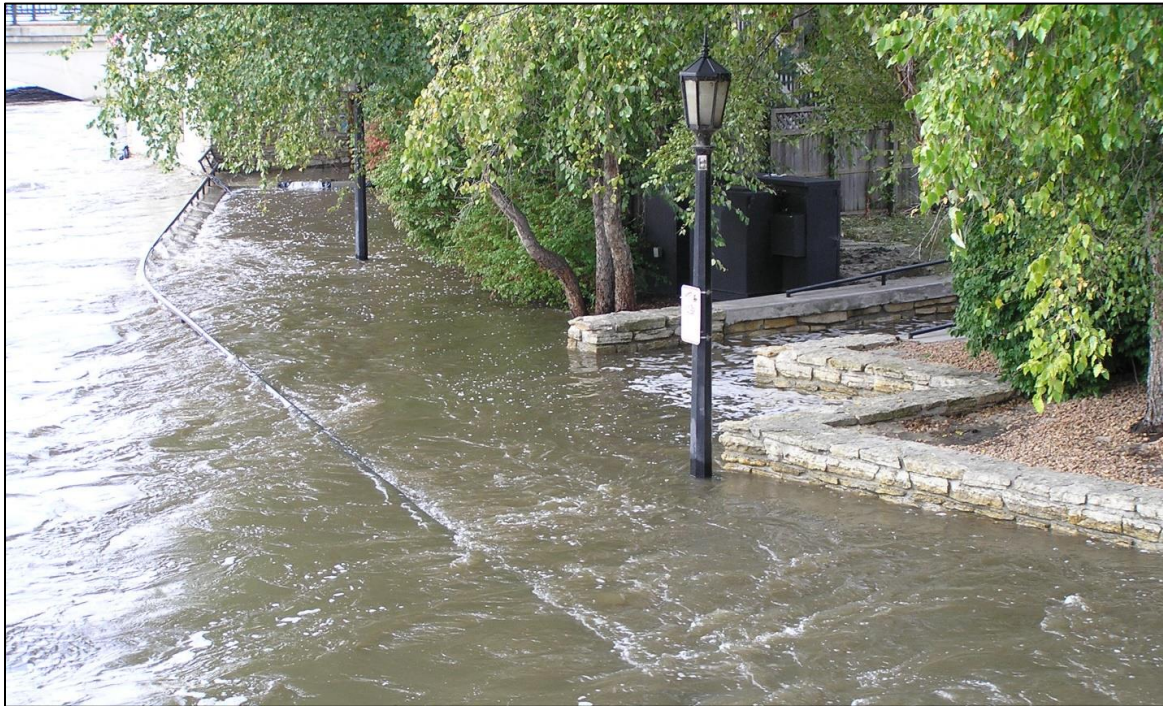


Figure 4-3 Channel Wall Overtopping near 301 Water Street in 2010

Table 4-2 lists the flood risk reduction alternatives evaluated for the study area for properties in Area 1. Figure A-1 in Attachment A shows a schematic plan and profile for Alt 1-2, Alt 1-3, and Alt 1-4.

Table 4-2 Area 1 Flood Risk Reduction Alternatives

Alternative	Name	Description
Alt 1-1	No Change	Continue to use emergency measures such as sandbags and pumps to protect individual properties during a flood response.
Alt 1-2	Floodwall Extension	Extend the existing flood wall from 303 Water Street to high ground near the Second Street Bridge.
Alt 1-3	Channel Floodwall	Replace the top portion of the west channel wall along the west riverwalk with a floodwall between the Froggy Bottoms properties and the Second Street Bridge.
Alt 1-4	Two Floodwalls	Floodwall A—Extend the existing floodwall near Froggy Bottoms 135 feet to protect 301 Water Street on the east and north sides. Floodwall B—Construct a floodwall from the north side of the pedestrian bridge to protect the 205 and 207 Water Street properties. Provide a temporary closure through the parking lot for 205 Water Street.
Alt 1-5	Property Buyout	Conduct a voluntary buyout of the properties in this area and convert the space into an area that can be flooded without causing significant damage to structures and the local economy.

4.1.1 Alt 1-1 No Change

The no-change alternative considers the benefits and drawbacks of not implementing a project for Area 1 and continuing existing emergency flood response measures when needed. During the 2010 flood, water inundated the lower levels of properties in Area 1. The City and individual property owners were better prepared for the 2016 flood, and flood levels in 2016 were lower than in 2010. Railing plates, a new floodwall near Froggy Bottoms Pub (constructed after the 2010 flood), sandbags, and pumps were used to limit the inundation of lower levels. Electrical and HVAC equipment were elevated higher than the 2016 flood levels.

Benefits

- Minimal upfront public investment
- Flood response strategy is already in place

Drawbacks

- Does not reduce flood risk to the subject properties.
- Flood response actions require significant effort by the property owners, the City, and volunteers.
- The existing flood-response strategy was not effective in 2010 and would not be effective for future floods of similar or larger magnitude.
- Prolonged business interruption to prepare for, implement, and clean up after a flood response.
- Recurring costs associated with flood response and damages.

4.1.2 Alt 1-2 Floodwall Extension

The floodwall extension alternative would create a continuous flood barrier along the west side of the river between the Froggy Bottoms properties and the Second Street bridge. The existing floodwall near Froggy Bottoms is approximately 36 feet long, including a 30-inch opening for a temporary closure. The top of the wall is at elevation 904.

The proposed extension would maintain the 904 top elevation and be approximately 415 feet long, plus a 15-foot temporary closure for the walkway north of 301 Water Street. The alignment for the proposed floodwall extension would roughly follow the existing retaining wall along the backside of the riverwalk. The above-grade height of the wall will range from 4 to 7 feet (see Attachment A, Figure A-1).

Design Considerations and Assumptions

- Interior drainage during normal conditions and during a flood
- Groundwater seepage impacts from floodwall foundation
- Mature tree impacts should be avoided or minimized
- Utility coordination and relocates, including light posts
- Pedestrian bridge has a low vertical clearance

- Aesthetics will be important for the floodwall façade
- Temporary closure storage location and maintenance
- Emergency action plan for installing temporary closure
- Assumes City would not pursue FEMA accreditation of the floodwall

Benefits

- Continuous line of protection would benefit all properties in Area 1.
- The temporary closure effort would be small relative to existing the flood response.
- The top-of-wall elevation at 904, about 1 foot above the flood of record in 2010, would provide additional flood protection.

Drawbacks

- Materials for the temporary closure need to be stored and maintained to be available and in good condition when there is a flood.
- Temporary closures require installation; they are not automatic or passive. The City's emergency action plan should include installation triggers for all closures.
- Floodwalls are expensive.
- Interior drainage behind the floodwall will need to be managed.
- Floodwall construction may require the removal of some mature trees along the riverwalk.

4.1.3 Alt 1-3 Channel Floodwall

This alternative would reconstruct the top portion of the channel wall as a floodwall to create a continuous flood barrier along the west side of the river between Froggy Bottoms and the Second Street Bridge. The existing wall is 2.5 to 3 feet higher than the adjacent sidewalk, allowing views of the river. The existing top-of-wall elevation ranges from 899 to 901. The sidewalk elevation ranges from 897 to 899. A floodwall with a top elevation of 904 would be 3 to 5 feet higher than the existing floodwall. This alternative would include elevating the riverwalk to maintain a 30-inch difference between the sidewalk and the top of the wall. Elevating the riverwalk would not be feasible under the pedestrian bridge. Closures would be used on either side of the pedestrian bridge to provide a continuous line of protection (See Attachment A, Figure A-1).

Design Considerations and Assumptions

- Interior drainage during normal conditions and during a flood.
- Groundwater seepage impacts from floodwall foundation.
- Pedestrian bridge—The low chord of the bridge is below elevation 904, where it crosses the existing wall. The proposed floodwall would need to tie into the pedestrian bridge abutment.

- ADA accessibility for the riverwalk.
- Floodwall tie-in at Second Street would likely mean eliminating the canoe launch area.
- Assumes City would not pursue FEMA accreditation of the floodwall.

Benefits

- Continuous line of protection would benefit all properties in Area 1.
- The top-of-wall elevation at 904, about 1-foot above the flood of record in 2010, would provide additional flood protection

Drawbacks

- Design may require a seepage mitigation system to intercept groundwater seepage from the west.
- Design would require an interior drainage system to collect and discharge surface runoff behind the wall to the river.
- Elevating the riverwalk in most areas but not under the pedestrian bridge would be difficult to design to remain ADA accessible.
- Materials for the temporary closure need to be stored and maintained to be available and in good condition when there is a flood.
- Temporary closures require installation; they are not automatic or passive. The City's emergency action plan should include installation triggers for all closures.

4.1.4 Alt 1-4 Two Floodwalls

This alternative is similar to Alt 1-2 but with two shorter floodwall segments. Floodwall A would be an extension of the existing floodwall near Froggy Bottoms. It would terminate at high ground on the north side of 301 Water Street. Floodwall B would extend from the pedestrian bridge north. It would tie into high ground on the north side of 205 Water Street. This alignment would use a closure where the wall passes through the existing parking lot for 205 Water Street.

Design Considerations and Assumptions

- Interior drainage during normal conditions and during a flood
- Groundwater seepage impacts from floodwall foundation
- Mature tree impacts should be avoided or minimized
- Utility coordination and relocations, including light posts
- Stair modification
- Stoplog storage location
- Emergency action plan for installing temporary closure
- Assumes City would not pursue FEMA accreditation of the floodwall

Benefits

- Shorter length of floodwall than Alt 1-2
- Avoids a temporary closure for the walkway near 301 Water Street accessing the riverwalk
- The top-of-wall elevation at 904, about 1-foot above the flood of record in 2010, would provide additional flood protection

Drawbacks

- Materials for the temporary closure need to be stored and maintained to be available and in good condition when there is a flood.
- Temporary closures require installation; they are not automatic or passive. The City's emergency action plan should include installation triggers for all closures.
- Wall construction near the pedestrian bridge, stairway, and elevated utility pad will be complicated.

4.1.5 Alt 1-5 Property Buyout

Voluntary acquisition of properties would allow the City to purchase and remove structures at risk of flooding.

Benefits

- Removing at-risk structures from the floodplain is one of the most effective means of reducing flood risk. There is always residual risk of a flood barrier overtopping. Removing a structure from the floodplain eliminates the risk.
- Removing the structure could provide an opportunity to create a public space that enhances the destination aspects of the riverwalk area.

Drawbacks

- Buyouts can be disruptive to lives and businesses.
- Buyouts may reduce the tax base for the community.
- Removing structures along the riverwalk may change the historic character of the area.
- Some property owners may not be willing to sell.
- FEMA funded buyouts prohibit the future construction of a new structure on the property.

4.1.6 Area 1 Hydraulic Profiles

Figure A-7 in Attachment A shows hydraulic profiles for a range of flood events between Fifth Street bridge and Second Street bridge. Area 1 structures and recommended flood mitigation measures are shown on the figure. The figure shows the proposed levels of protection relative to the different expected annual exceedance probability flood levels.

4.1.7 Area 1 Inundation Mapping

Figure B-1 in Attachment B is the existing-conditions flood inundation map for Areas 1 and 2. Proposed-conditions flood inundation maps were created for alternatives that would modify the extents of the three mapped flood events. Figures B-2, B-3, and B-4 in Attachment B show the impact to flood inundation extents for Alt 1-2, Alt 1-3, and Alt 1-4, respectively.

4.2 Area 2 Flood Mitigation Alternatives

Area 2 covers the study area properties on the east bank of the Cannon River downstream of the Water Street bridge. Figure 4-4 shows the Bridge Square properties in Area 2. Figure 4-5 shows the Cannon River overtopping the channel wall adjacent to these structures in the 2010 flood. The top of the wall is about elevation 902.7, suggesting the peak flood elevation in 2010 was at least 903.

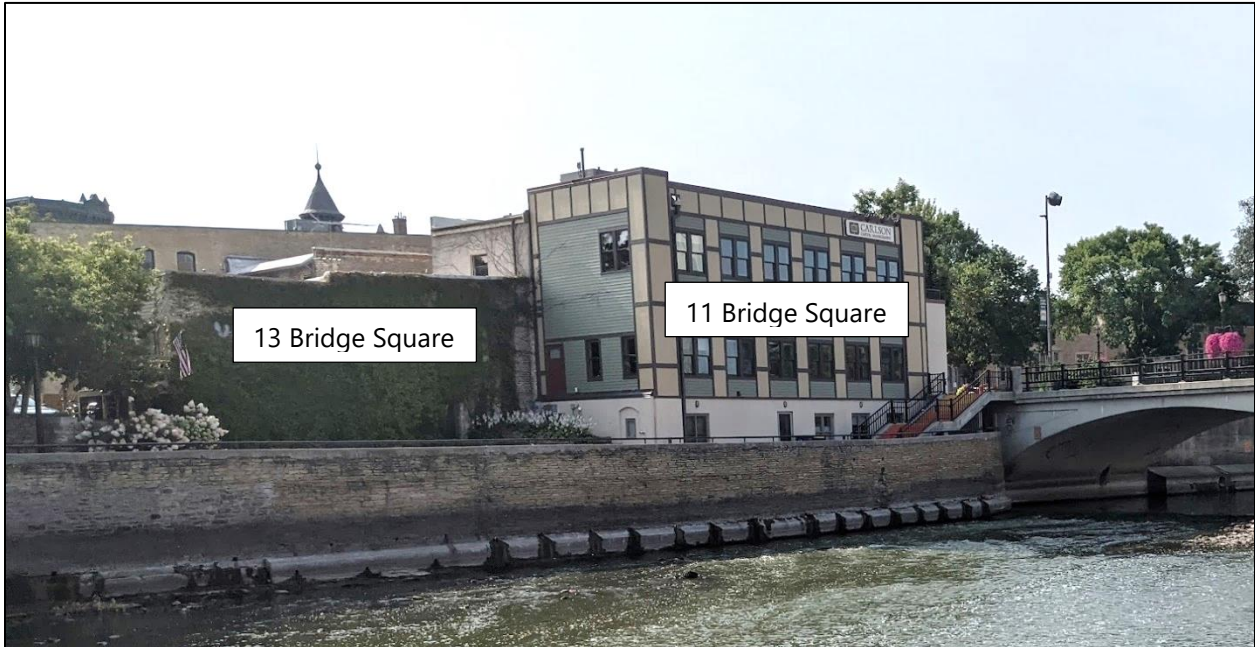


Figure 4-4 Bridge Square Properties



Figure 4-5 Cannon River Overtopping Channel Wall at 11 Bridge Square September 24, 2010

Table 4-3 lists the flood risk reduction alternatives evaluated for properties in Area 2. Figure A-2 in Attachment A shows a schematic plan and profile for Alt 2-2.

Table 4-3 Area 2 Flood Risk Reduction Alternatives

Alternative	Name	Description
Alt 2-1	No Change	Continue to use emergency measures such as sandbags and pumps to protect individual properties during a flood response.
Alt 2-2	Dry Floodproofing	Retrofit exterior of buildings to allow for rapid installation of temporary barriers in front of building openings.
Alt 2-3	Wet Floodproofing	Voluntary partial buyout of the lower level of the two properties. Convert the lower levels to uses that allow flooding to occur without damaging the remaining structure or its contents.
Alt 2-4	Property Buyout	Voluntary buyout of the properties in this area. Convert the space into an area that can be flooded without causing significant damage to structures and the local economy.

4.2.1 Alt 2-1 No Change

The no-change alternative considers the benefits and drawbacks of making no changes to managing flood risk for the properties in Area 2. During the 2010 flood, floodwaters were directly against the walls and openings of the two structures in Area 2. During the 2016 flood, sandbags and pumps were used to minimize the inundation of the two structures. For floods larger than the 2016 event, the no-change approach may not effectively keep river water out of structures.

Benefits

- Limited up-front public investment.

Drawbacks

- Does not reduce flood risk to the subject properties.
- Flood response actions require significant effort by the property owners, the City, and volunteers.
- Existing flood-response strategy was not effective in 2010 and would not be effective for future floods of similar magnitude or larger.
- Prolonged business interruption to prepare for, implement, and clean up after a flood response.
- Recurring costs associated with flood response and damages.

4.2.2 Alt 2-2 Dry Floodproofing

The dry floodproofing alternative considers the benefits and drawbacks of sealing the building envelope up to elevation 904 to minimize the ability for water to enter the structure. This would be accomplished by sealing cracks in the building envelope, using structural covers to block floodwaters from coming through door and window openings, and verifying that the walls are structurally capable of withstanding the hydrostatic pressure of water against the sides of the building.

Design Considerations

General Assumptions

- Barriers can be installed quickly without special training.
- Barriers would be small and could be stored on-site for installation by the property owner. Alternatively, barriers could be stored and installed by City staff.
- Temporary barriers for the openings would extend to at least elevation 904.
- Some sealing of cracks will be required to make the building envelope impermeable. This assumption needs confirmation if this alternative is advanced to preliminary design.
- Structures withstood water against the exterior in 2010. We assumed that no structural reinforcement would be necessary to keep water from pushing in the walls of the buildings. This assumption needs confirmation if this alternative is advanced to preliminary design.

11 Bridge Square

- This structure would include six opening covers for the door and windows on the lower level. The sill elevations for the openings are:
 - 900.2 one door
 - 901.0 four large windows
 - 903 one small window
- The lower-level exterior appears to be painted concrete in good condition. Sealing cracks may be necessary but not expected to be a major retrofit.
- A sump pump would need to be installed inside the building (if it does not already have one) to manage residual seepage through the building envelope.

13 Bridge Square

- The low openings for this structure are doorways with sill elevations of 902.4 and 902.6.
- The lower-level exterior of this building is brick and mortar. Installing the opening covers may require modifications to the small retaining wall next to the south door.
- Sealing the brick-and-mortar exterior of this structure may be difficult.

- A sump pump would need to be installed inside the building (if it does not already have one) to manage residual seepage through the building envelope.

Benefits

- Opening covers are relatively small and could be stored on-site.
- Installation of covers is quick and does not require specialized training or expertise. Property owners could store, install, and remove the covers.

Drawbacks

- Opening covers require installation; they are not automatic or passive. The City's emergency action plan should include installation triggers for all closures, including building opening covers.
- Opening covers must be stored in a known location accessible on short notice. They also require maintenance.
- The building may or may not be structurally capable of withstanding the impact of floodwaters.
- The building envelope may not be water-tight. There could be gaps or cracks that allow water to seep into the structure.

4.2.3 Alt 2-3 Wet Floodproofing

The wet floodproofing alternative considers the benefits and drawbacks of retrofitting the lower levels of these structures so they are designed to be inundated during floods.

Design Considerations

- Voluntary partial buyout of the lower level of the structure.
 - 1,200 square feet for 11 Bridge Square
 - 1,000 square feet for 13 Bridge Square
- Retrofit each structure to seal off the upper level from the lower level.
- Convert the lower level into a storage area designed to inundate when the riverwalk floods. This would involve removing doors and windows and converting them to flood vents to allow air and water to enter and leave the converted space.

Benefits

- Passive system for reducing flood risk—nothing to install or construct during a flood response
- Removes the at-risk property elements without eliminating the entire structure

Drawbacks

- The value of structures will go down with the loss of square footage. This would reduce the tax base.
- It may be difficult to retrofit the structures to protect the upper stories when the lower level floods.

- Property owners may not be interested in this alternative.

4.2.4 Alt 2-4 Property Buyout

Voluntary acquisition of properties would allow the City to purchase and remove structures at risk of flooding.

Benefits

- Removing the structure could be an opportunity to create a public space that enhances the destination aspect of the riverwalk area.
- There is always residual risk of a flood barrier overtopping. Removing at-risk structures from the floodplain is one of the most effective means of reducing flood risk because it eliminates the residual risk.

Drawbacks

- Buyouts can be disruptive to lives and businesses.
- May reduce the tax base for the community.
- Removing structures along the riverwalk may change the historic character of the area.
- Some property owners may not be willing to sell.
- FEMA funded buyouts prohibit the construction of a new structure on the property.

4.2.5 Area 2 Hydraulic Profiles

Figure A-8 in Attachment A shows hydraulic profiles for a range of flood events between Fifth Street bridge and Second Street bridge. Area 2 structures and recommended flood mitigation measures are shown on the figure. The figure shows the proposed levels of protection relative to the different expected annual exceedance probability flood levels.

4.2.6 Area 2 Inundation Mapping

Figure B-1 in is the existing-conditions flood inundation map for Areas 1 and 2. Proposed-conditions flood inundation maps were only created for alternatives that would modify the extents of the three mapped flood events. None of the Area 2 alternatives would modify flood extents.

4.3 Area 3 Flood Mitigation Alternatives

Area 3 covers the study area properties along the east bank of the Cannon River between Seventh Street and Fifth Street. The properties in Area 3 are shown in Figure 4-6, Figure 4-7, and Figure 4-8. Figure 4-9 shows flood-response measures from the 2010 flood between 500 and 516 Water Street. Flood levels in this photo appear to have reached approximately elevation 908. The doorways for these three structures are generally higher than elevation 910.



Figure 4-6 Family Hair Building Looking North



Figure 4-7 Just Food Co-Op Building Looking South



Figure 4-8 River Park Mall Property Looking South



Figure 4-9 Flood Response During 2010 Flood (September 25, 2010)

Table 4-4 lists the flood risk reduction alternatives evaluated for properties in Area 3. Figure A-3 in Attachment A shows a schematic plan and profile for Alt 3-2, Alt 3-3, and Alt 3-4.

Table 4-4 Area 3 Flood Risk Reduction Alternatives

Alternative	Name	Description
Alt 3-1	No Change	Continue to use emergency measures, such as sandbags, to protect the structures in this area during large flood events.
Alt 3-2	Dry Floodproofing	Retrofit the exterior of buildings to allow for rapid installation of temporary barriers in front of building openings.
Alt 3-3	Floodwall	Construct a floodwall from the intersection of Fifth Street and Water Street to high ground behind 630 Water Street. Design requires a 2-foot-tall temporary closure across Water Street and assumes three temporary closures along the trail.
Alt 3-4	Temporary Barrier	Purchase temporary barriers that can be installed quickly and are less labor-intensive than sandbags.
Alt 3-5	Property Buyout	Voluntary buyout of the properties in this area and convert the space into an area that can be flooded without causing significant damage to structures and the local economy.

4.3.1 Alt 3-1 No Change

The no-change alternative considers the benefits and drawbacks of making no changes to how flood risk is managed for the properties in Area 3. Flood photos from 2010 and 2016 suggest that floodwaters did not reach the lower levels of the three structures in this area. Sandbags were used as a precaution.

Benefits

- Minimal up-front public investment

Drawbacks

- Does not reduce flood risk to the subject properties.
- Emergency flood-response with sandbags is time- and labor-intensive. There is typically less than 24 hours to prepare a flood response in Northfield. This would not make the flood response easier for City staff and property owners.

4.3.2 Alt 3-2 Dry Floodproofing

The dry floodproofing alternative considers the benefits and drawbacks of making the building envelopes for the three structures in Area 3 impermeable up to elevation 912, about 4-feet above the high-water level in this area during the 2010 flood. This would be accomplished by sealing cracks in the building envelope, using structural covers to block floodwaters from coming through door openings, and verifying that the walls are structurally capable of withstanding the hydrostatic pressure of water against the sides of the building. Figure A-3 in Attachment A shows a schematic plan and elevation for this alternative.

Design Assumptions and Considerations

General Assumptions

-
- The building would be retrofitted around openings for windows and doors to install the hardware for attaching temporary flood barriers during a flood response. Examples of such barriers are stoplogs and the Flex-Cover Door by ILC Dover.
 - Low openings for the structures in Area 3 are above elevation 910.
 - Two-foot-tall barriers extending to elevation 912 or higher.
 - Installation of sump pumps in each structure (if they do not already have them) to manage residual seepage during a flood event.
 - The structures in Area 3 appear to be masonry construction, which typically can withstand a few feet of water structurally and may be sufficiently impermeable. This will need confirmation if this alternative is advanced to preliminary design.

500 Water Street

- This structure would have five opening covers for doors on the building's west, south, and east sides.
- Seal approximately 330 feet around the perimeter of the structure.

516 Water Street

- This structure would have three opening covers for doors on the building's west, north, and south sides.
- Seal approximately 460 feet around the perimeter of the structure.

630 Water Street

- This structure would have four opening covers for doors. Assumes doors on the south and east sides of the building are at or above elevation 912.
- Seal approximately 520 feet around the structure's perimeter below elevation 912.

Benefits

- Limited investment to protect structures that were not inundated during the 2010 flood.
- Opening covers can be installed quickly without special training.
- Opening covers can be stored on-site for installation by the property owner. Alternatively, opening covers could be stored and installed by City staff.

Drawbacks

- Materials for opening covers need to be stored and maintained to be available and in good condition when there is a flood.
- Temporary closures require installation; they are not automatic or passive. The City's emergency action plan should include installation triggers for all closures, including building opening covers.

4.3.3 Alt 3-3 Floodwall

The floodwall alternative considers the benefits and drawbacks of using a 920-foot-long concrete floodwall along the east side of the trail to block floodwaters from reaching the existing structures. The floodwall would have a top elevation of 912, about 4 feet above the high-water level in this area during the 2010 flood. The wall would have an 80-foot temporary closure across Water Street at its intersection with Fifth Street. There would be three additional 8-foot closures where the wall parallels the trail. Figure A-3 in Attachment A shows a schematic plan view alignment for this alternative.

Design Assumptions and Considerations

- Interior drainage during normal conditions and during a flood
- Groundwater seepage impacts from floodwall foundation
- Mature tree impacts should be avoided or minimized
- Utility coordination and relocations
- Temporary closure storage location
- Emergency action plan for installing temporary closure

Benefits

- Floodwalls are passive flood barriers that do not require setup and removal.
- Floodwaters would be kept away from the structures, which would reduce the potential for lateral seepage through the walls of the structure.
- Openings in the floodwall for temporary closures will allow surface runoff to drain to the river under normal conditions.

Drawbacks

- Tying into high ground at the downstream end requires crossing Water Street with a temporary barrier.
- Floodwalls require deep foundations, which could affect groundwater levels for the structures in the study area.
- The wall would limit access points to the river trail.
- The wall may block some views of the river from adjacent properties.

4.3.4 Alt 3-4 Temporary Barrier

The temporary barrier alternative considers the benefits and drawbacks of using a deployable barrier to keep water away from the base of structures up to a flood elevation of 910. This is about 2 feet higher than the 2010 flood peak in this area. About 270 feet of barrier would be needed to connect elevation 910 contours at the southwest corner of 500 Water Street to the northwest corner of 630 Water Street. Figure A-3 in Attachment A shows a plan view alignment for this alternative.

Design Considerations

- Select a product that provides at least 2 feet of barrier height
- Select a product that is collapsible or stackable so it can be stored without taking up much space

Benefits

- Low cost
- Avoids interior drainage and potential groundwater issues
- Easier to deploy and remove than sandbags

Drawbacks

- Materials for the temporary barrier need to be stored and maintained to be available and in good condition when there is a flood.
- Temporary barriers require installation; they are not automatic or passive. The City's emergency action plan should include installation triggers for all closures.
- Temporary barriers would only protect up to elevation 910. Low openings for the three buildings in the study area are already 910 or higher. Temporary barriers would limit parking lot flooding only.

4.3.5 Alt 3-5 Property Buyout

Voluntary acquisition of properties would allow the City to purchase and remove structures at risk of flooding.

Benefits

- Removing at-risk structures from the floodplain is one of the most effective means of reducing flood risk. There is always residual risk of a flood barrier overtopping. Removing a structure from the floodplain eliminates the risk entirely.
- Removing the structure could create an opportunity to create a public space that enhances the destination aspect of the riverwalk area.

Drawbacks

- Buyouts of residences and businesses may disrupt lives and businesses.
- Reduces the tax base for the community.
- Removing structures along the riverwalk may change the historic character of the area.
- Buyouts are voluntary, and some property owners might not be willing to sell.
- FEMA funded buyouts prohibit the future construction of a new structure on the property.

4.3.6 Area 3 Hydraulic Profiles

Figure A-9 in Attachment A shows hydraulic profiles for a range of flood events between the upstream end of Babcock Park and Fifth Street bridge. Area 3 structures and recommended flood mitigation

measures are shown on the figure. The figure shows the proposed levels of protection relative to the different expected annual exceedance probability flood levels.

4.3.7 Area 3 Inundation Mapping

Figure B-5 in Attachment B shows existing floodplain mapping for Area 3. Proposed conditions flood inundation maps were created for alternatives that would modify the extents of the three mapped flood events. Figures B-6 and B-7 in Attachment B show the impact to flooding extents for Alt 3-3 and Alt 3-4, respectively.

4.4 Parks Flood Mitigation Alternatives

City-owned parks along the river have experienced frequent flooding in recent years. This section discusses alternatives for reducing the frequency of flooding in the park areas. Table 4-5 lists the flood risk reduction alternatives evaluated for the three parks. In Attachment A, Figure A-4 shows the Ames Mill Park alternatives, Figure A-5 shows the Riverside Lions Park alternatives, and Figure A-6 shows the Babcock Park alternatives.

Table 4-5 Parks Flood Risk Reduction Alternatives

Alternative	Name	Description
Alt 4-1 Ames Alt 5-1 Riverside Alt 6-1 Babcock	No Change	Continue to allow floodwaters to regularly inundate the three parks. Future renovations to the parks should allow for frequent flooding.
Alt 4-2 Ames Alt 5-2 Riverside Alt 6-2 Babcock	Fill	Bring in fill to raise the ground elevation within the parks to reduce the frequency of flooding.
Alt 4-3 Ames Alt 5-3 Riverside Alt 6-3 Babcock	Levee	Construct a berm between the park area and the river to reduce the frequency of riverine flooding.
Alt 4-4 Ames Alt 5-4 Riverside Alt 6-4 Babcock	Floodwall	Same as the levee option but use a floodwall to reduce the footprint.

4.4.1 Alt 4-1 No Change

The no-change alternative considers the benefits and drawbacks of making no changes to how flood risk is managed for the three parks. Recent flood history and the updated discharge frequency estimates suggest that some flooding in the parks is likely to occur every few years. Table 4-6 lists the estimated expected inundation frequency of each park for a given elevation.

Table 4-6 Estimated Annual Flood Risk Based on Ground Elevation in the Parks

Flood Frequency (based on FEMA hydrology)	Recurrence Interval	Approximate Flood Elevation ⁽¹⁾		
		(feet)		
Annual Chance of Exceedance	(years)	Ames Mill Park	Riverside Lions Park	Babcock Park
10%	10	905.5	906.3	906.5
2%	50	906.6	907.6	907.7
1%	100	907.1	908.4	908.5

(1) Existing Ground Elevations Range from 904 to 910

Benefits

- Minimal up-front public investment.
- Parks provide floodwater storage during flood events which helps keep flood levels in the immediate area lower and attenuate peak flood flows downstream.

Drawbacks

- Park areas will continue to flood regularly.
- Recurring maintenance costs associated with maintenance and clean-up after flood events.
- Limits the available uses of the park areas to structures and landscaping that are resilient to regular flooding.

4.4.2 Alt 4-2 Fill

The fill alternative considers the benefits and drawbacks of using fill to raise the ground elevation within the parks, so those areas flood less frequently. Filling in the floodplain is generally discouraged because it reduces flood storage in the floodplain. Fill in the floodplain can sometimes be offset with compensatory storage, meaning excavating an equivalent amount of fill in the immediate vicinity.

Design Assumptions and Considerations

- Add fill to bring park areas up to the highest adjacent grade surrounding the park.
- Portions of each site could be elevated higher than the surrounding area.
- Grading would need to allow for gravity drainage of surface runoff.
- Fill elevation selected based on adjacent high ground and with the goal of reducing the frequency of flooding to the 25-year to 50-year flood event.

Table 4-7 lists proposed fill elevations and how that would change the annual chance of flooding for the fill areas within the park.

Table 4-7 Fill Elevation Needed to Reduce Annual Flood Risk to 10% or Less in the Parks

Design Dimension	Ames Mill Park	Riverside Lions Park	Babcock Park
Existing Ground Elevation (feet)	904 to 908	905 to 908	906 to 910
Existing Annual Flood Risk	>10%	>10%	>10%
Fill Elevation (feet)	907	908	908
Proposed Annual Flood Risk	<2%	<2%	~2%

Permitting

- Floodplain permitting—Filling in the floodplain means the projects would need to meet the City of Northfield's local floodplain ordinance requirements. The proposed fill areas in the parks are in

the flood-fringe portion of the FEMA regulatory floodplain. This means fill could be placed without requiring a no-rise certification.

Benefits

- Reduces the frequency of flooding in the park areas

Drawbacks

- Fill in the floodplain reduces flood storage, which can cause flood elevations and downstream peak flood flows to increase. One project usually does not have a significant impact, but the cumulative impacts of many such projects increase the flood risk for other properties.
- It is unlikely suitable locations are available to provide compensatory storage to offset the proposed fill in the floodplain.

4.4.3 Alt 4-3 Levee

The levee alternative considers the benefits and drawbacks of using an earthen berm to reduce the frequency of park area flooding. A levee would reduce the frequency of flooding from smaller, more frequent flood events. It would require less fill to construct than Alt 4-2.

Design Assumptions and Considerations

The design would need to account for interior drainage. This could be accomplished by (1) leaving a gap in the existing levee that is closed during a flood response, (2) constructing gravity inlets and pipes with back-flow preventers, or (3) constructing pump stations.

Table 4-8 lists the design parameter assumptions for levees protecting each park. The levee alternatives would provide similar levels of flood protection as the fill alternatives. The river would overtop the levees at about the 50-year event, and the area behind the levees would become available for flood storage.

Table 4-8 Levee Dimension Assumptions for Each Park

Design Dimension	Ames Mill Park	Riverside Lions Park	Babcock Park
Length (feet)	360	350	460
Top Elevation (feet)	907	908	908
Max Height (feet)	2	3	3
Side Slopes (H:V, feet/feet)	3:1	3:1	3:1
Top Width (feet)	8	8	8
Max Bottom Width (feet)	20	26	26

Permitting

- Floodplain permitting—levees are fill in the floodplain, which means the projects would need to meet the City of Northfield's local floodplain ordinance requirements. The proposed levee fill

areas in the parks are in the flood-fringe portion of the FEMA regulatory floodplain. This means fill could be placed without no-rise certification.

Benefits

- Reduces the frequency of flooding in the park areas
- Would require less soil to construct than Alt 4-2
- Would retain most of the available flood storage within the parks for larger flood events

Drawbacks

- The levee would be fill in the floodplain, which reduces the available flood storage.
- It is unlikely suitable locations are available to provide compensatory storage to offset the proposed fill in the floodplain.
- The levee would need to be maintained.
- Levees create interior drainage challenges by blocking surface runoff from draining to the river.

4.4.4 Alt 4-4 Floodwall

The floodwall alternative considers the benefits and drawbacks of using a wall to reduce the frequency of park area flooding. A floodwall would reduce the frequency of flooding from smaller, more frequent flood events. It would have a smaller footprint than Alt 4-2 and Alt 4-3.

Design Assumptions and Considerations

The design would need to account for interior drainage. This could be accomplished by (1) leaving a gap in the wall that is closed during a flood response, (2) constructing gravity inlets and pipes with back-flow preventers, or (3) constructing pump stations.

Table 4-9 lists the design parameter assumptions for floodwalls protecting each park. The floodwall alternatives would provide similar levels of flood protection as the levee and fill alternatives. The river would overtop the floodwalls at about the 50-year event, and the area behind the levees would become available for flood storage.

Table 4-9 Floodwall Dimension Assumptions for Each Park

Design Dimension	Ames Mill Park	Riverside Lions Park	Babcock Park
Length (feet)	360	350	460
Top Elevation (feet)	907	908	908
Max Height (feet)	2	3	3

Permitting

- Floodplain permitting—Constructing a wall in the floodplain means the projects would need to meet the City of Northfield's local floodplain ordinance requirements. The wall locations in the parks are in the flood-fringe portion of the FEMA regulatory floodplain. This means no-rise certification would not be required.

Benefits

- Reduces the frequency of flooding in the park areas
- Would require less soil to construct than Alt 4-2
- Would retain most of the available flood storage within the parks for larger flood events

Drawbacks

- The wall would add some fill in the floodplain, which reduces the available flood storage.
- Wall system would need to be designed to overtop without scouring the ground behind the wall.
- The wall would need to be maintained.
- Floodwalls create interior drainage challenges by blocking surface runoff from draining to the river.

4.4.5 Parks Hydraulic Profiles

Figure A-7 and Figure A-9 in Attachment A show hydraulic profiles for a range of flood events. Ames Park is shown on Figure A-7. Riverside Lions and Babcock Park are shown on Figure A-9. The figures show the proposed level of protection needed to limit flooding in the parks to less than the 10% AEP (10-year) flood event.

4.4.6 Parks Inundation Mapping

Figure B-8 in Attachment B is the existing-conditions flood inundation map for the three parks. Figure B-9 shows proposed inundation extents for the park fill alternatives Alt 4-2, Alt 5-2, and Alt 6-2. Figure B-10 shows the proposed inundation extents for the park levee and floodwall alternatives. Both figures show that the 50-year floodplain is reduced but the 100-year and 500-year floodplains are not.

5 Carleton College Mitigation Alternatives Analysis

Barr, City, and College staff identified potential flood mitigation strategies for five locations during the Carleton College site visit in August 2022. These locations are listed below. Figures in Attachment C illustrate the structural alternatives for each location. Figure C-1 is a location map for the area of Carleton College included in the study.

- Area CC1 Student Houses (Figure C-2)
- Area CC2 Stadium Area (Figure C-3 and Figure C-4)
- Area CC3 West Gym (Figure C-5)
- Area CC4 Pump House (Figure C-6)
- Area CC5 Practice Fields (Figure C-7)

Table 5-1 lists the low floor and low opening elevations for each property in the study.

Table 5-1 Carleton College Structure Low Floor and Low Opening Elevations vs 1% AEP Flood

Name	Low Floor ⁽¹⁾ (feet)	Low Opening ⁽²⁾ (feet)	1% AEP Flood Elevation ⁽³⁾ (feet)
Prentice House	899.0 ⁽⁴⁾	906.0	901.5
Allen House	899.0	902.0	901.0
Wilson House	898.0	903.0	901.0
Stadium	900.0	900.0	901.0
West Gym	898.5	898.5	900.0
Pump House	902.0	902.0	900.5

(1) Low floor elevations were estimated to the nearest half-foot based on LiDAR, site photos, and assuming 9 feet between first floor and basement floor.

(2) Low opening elevations were estimated to the nearest half-foot based on LiDAR topography and site photos.

(3) 1% AEP flood elevations were calculated using the updated Cannon River hydraulic model

(4) Red text indicates value is lower than the 1% AEP flood elevation at that location

5.1 Area CC1 Student Houses

The three student houses are between Colvill Memorial Highway (Highway 19) and the river, just upstream of the Stadium. The basements of the three houses are 2 to 3 feet below the 1% AEP flood elevation. However, the low openings for the houses are above the 1% AEP flood elevation. This means the structures are more susceptible to basement flooding from groundwater seepage than from overland flows. Flood damage to the structures could occur from groundwater seepage into the basement or from a larger flood that reaches the low openings. Figure 5-1 shows the three student houses along Highway 19, south of the Stadium.



Figure 5-1 Student Houses (left to right: Wilson House, Allen House, Prentice House)

Table 5-2 lists the flood risk reduction alternatives evaluated for the student houses.

Table 5-2 Area CC1 Student Houses Flood Risk Reduction Alternatives

Alternative	Name	Description
Alt CC1-1	No Change	Continue to use emergency measures such as sandbags and pumps to protect individual properties during a flood response.
Alt CC1-2	Temporary Barrier	Using temporary barriers to block floodwaters from reaching the structures.
Alt CC1-3	Remove Structures	Demolish or relocate structures and convert the space into an area that can be flooded without causing significant damage to infrastructure.

Other alternative(s) considered but not evaluated:

- Dry Floodproofing** – Retrofit to make building exteriors impermeable and allow for rapid installation of temporary flood barrier panels in front of building openings. The college plans to remove these structures in the next 5 to 10 years due to safety issues with students having to cross Highway 19 daily to reach campus. Investing in structural improvements to the structures is unlikely to be a worthwhile investment.

- **Levee/Floodwall** – Constructing an earthen berm or concrete wall between the river and the houses would keep floodwaters away from the structures. A seepage cutoff would likely be needed to prevent groundwater seepage. The cost of this alternative is several times the value of the structures. Therefore, it was not carried forward for evaluation.
- **Buyouts** – The community could get FEMA funding to buyout the properties. This would put deed restrictions on the property that would limit future use of this space. This is not consistent with the expressed interests of Carleton College for future use of this area. Therefore, it was not carried forward for evaluation.

5.1.1 Alternative CC1-1 No Change

The no-change alternative considers the benefits and drawbacks of making no changes to managing flood risk for the student houses. For the 1% annual chance flood, floodwaters may not reach the structures above ground, but there could be basement flooding from groundwater seepage.

Benefits

- Minimal up-front investment

Drawbacks

- Does not reduce flood risk to the structures
- Flood response actions could require significant effort by the college
- Disruptions associated with relocating students during and after a flood
- Recurring costs associated with flood response and damages

5.1.2 Alternative CC1-2 Temporary Barrier

The temporary barrier alternative considers the benefits and drawbacks of using a deployable barrier to keep water away from the base of structures up to a flood elevation of 904. This is about 2 to 3 feet higher than the 2010 flood peak in this area. About 250 feet of barrier would be needed to protect the three houses. Figure C-2 in Attachment C shows a schematic plan view alignment for this alternative.

Design Considerations

- Select a product that provides at least 2 feet of barrier height
- Select a product that is collapsible or stackable for ease of storage
- Identify a storage location for the barrier
- Consider installation time relative to advanced warning time

Benefits

- Low cost
- Easier to deploy and remove than sandbags

Drawbacks

- Materials for the temporary barrier need to be stored and maintained to be available and in good condition when there is a flood.
- Temporary barrier requires installation; they are not automatic or passive. The City's and/or College's emergency action plan would need to define installation triggers. There needs to be enough time and personnel available to complete the installation before floodwater arrive.
- Temporary barrier would not prevent or inhibit basement flooding from groundwater seepage.

5.1.3 Alternative CC1-3 Remove Structures

The remove structures alternative would vacate residents from the three houses and demolish the structures.

Benefits

- Eliminates flood risk for the current structures.
- Addresses safety concerns associated with student residents having to frequently cross Highway 19 to travel between their residence and the main campus.

Drawbacks

- Reduces the available on-campus housing for the college.

5.2 Area CC2 Stadium Area

The Stadium area consists of a track, football field, and structure with bleacher seating over locker rooms and other Stadium facilities. The structure is between the field and the river. There is a narrow access road that runs between the structure and the river. The low floor of the Stadium structure (Table 5-1) is approximately 1 foot below the peak elevation of the 1% AEP flood. The Stadium area flooded in 2010 and 2016. Figure 5-2 shows the Stadium during the 2010 flood. The rubberized track can be seen bulging up through the floodwaters.



Figure 5-2 Stadium Flooding September 25, 2010

Flood mitigation efforts deployed after the 2010 flood and a lower flood peak in 2016 significantly reduced the extent of damages during the 2016 flood relative to the 2010 flood. Post-2010 flood mitigation measures included installing posts for flood barrier panels for exterior Stadium doors, elevation of electrical and mechanical equipment within the structure, and flood proofing an interior room with electrical and mechanical equipment with posts for temporary flood barrier and sumps. Figure 5-3 shows the south Stadium entrance. The metal channels on either side of the double doors are in place to hold a stoplog temporary closure during a flood. Figure 5-4 shows the internal door to the electrical room within the Stadium, which has its own temporary stoplog closure.



Figure 5-3 Stadium South Entrance with Posts for Stoplog Temporary Closure



Figure 5-4 Stadium Electrical Room Flood Door with Posts for Stoplog Temporary Closure

Residual flood risk for the Stadium structure is from seepage through the structure membrane and inundation to the track and field area.

Table 5-3 lists the flood risk reduction alternatives evaluated for the Stadium area.

Table 5-3 Area CC2 Stadium Area Flood Risk Reduction Alternatives

Alternative	Name	Description
Alt CC2-1	No Change	Continue to use temporary flood barrier panels in front of doorways (installed post-2010 flood) to protect the property during a flood response.
Alt CC2-2	Dry Floodproofing	Retrofit to make building exterior impermeable.
Alt CC2-3	Dry Floodproofing and Temporary Barriers	In addition to dry floodproofing the Stadium structure, use temporary barriers to limit inundation of the track and field area.
Alt CC2-4	Dry Floodproofing and Floodwalls	In addition to dry floodproofing the Stadium structure, construct floodwalls extending from the Stadium around the track and field area to high ground.

Other alternative(s) considered by not evaluated:

- Full Levee/Floodwall** – Constructing an earthen berm and/or concrete wall between the river and Stadium area would keep floodwaters away from the structures. This would require up to 1500 feet of levee/floodwall. The space between the back side of the Stadium and the river is too narrow for a levee. A floodwall in this location would eliminate the access road around the back side of the Stadium, which would require creating a new access point to the parking lot near the West Gym. The cost of a levee/floodwall system would be in the 10’s of millions of dollars, which

far exceeds the potential benefits. Therefore, this alternative was not carried forward for evaluation.

5.2.1 Alternative CC2-1 No Change (Stadium)

The no-change alternative considers the benefits and drawbacks of making no changes to managing flood risk for the Stadium area. For the 1% annual chance flood, the college would install its temporary flood barrier panels over Stadium doorways. Floodwaters would press against the sides of the structure. Seepage through the structure membrane would cause interior flooding. Sumps in the structure may or may not be able to keep up with the seepage. Building contents could be damaged. The track and field area would inundate, potentially delaminating the track (as occurred in 2010), requiring it to be replaced.

Benefits

- Minimal up-front investment

Drawbacks

- Does not reduce flood risk to the structure or track and field area
- Flood response actions require significant effort by the college
- Disruptions associated with canceling/rescheduling events during post-flood repairs
- Recurring costs associated with flood response and damages

5.2.2 Alternative CC2-2 Dry Floodproofing (Stadium)

The dry floodproofing alternative considers the benefits and drawbacks of sealing the building envelope up to elevation 903.0 to minimize the ability for water to enter the Stadium structure. This would provide approximately 2 feet of freeboard above the 1% AEP flood elevation. Dry floodproofing would be accomplished by sealing cracks in the building envelope and verifying that the walls are structurally capable of withstanding the hydrostatic pressure of water against the sides of the building. The Stadium already has stoplog temporary closures that can be installed in front of exterior doors.

Design Considerations

- Sealing the building envelope will involve applying a waterproof coating to the masonry exterior of the structure.
- Structural reinforcement of the walls may be necessary.
- The 2010 floodwaters were about 1 foot below the windowsills on the east side of the Stadium (see Figure 5-2). Alternative assumes no temporary flood barrier panels over the windows.

Benefits

- Reduces flood risk for the Stadium structure and its contents

Drawbacks

- Does not prevent floodwaters from reaching the structure

- Structure would not be accessible during a flood event
- Does not reduce flood risk to the track and field area
- May require significant retrofitting of structure
- Dry floodproofing is not recommended for flood depths greater than 3 feet

5.2.3 Alternative CC2-3 Temporary Barriers and Dry Floodproofing (Stadium)

The temporary barriers and dry floodproofing alternative builds on Alternative CC2-2 by adding temporary barriers to protect the track and field area. This would require approximately 750 feet of temporary barrier. Figure C-3 in Attachment C show the temporary barrier alignments extending from the Stadium steps to high ground.

Design Considerations

- Same dry flood proofing considerations as Alternative CC2-1.
- Temporary barriers will need a storage location.
- Emergency action plan will need to be updated to establish triggers for when to deploy the barriers.
- Adequate staff resources need to be on-hand to deploy the barriers within the advanced warning time for a flood.

Benefits

- Provides flood risk reduction for both the Stadium and the track and field area
- Structure would be accessible during a 1% annual chance flood event

Drawbacks

- Does not prevent floodwaters from reaching the Stadium structure
- May require significant retrofitting of structure
- System is not passive—requires time and human resources to deploy the temporary barriers
- Dry floodproofing is not recommended for flood depths greater than 3 feet

5.2.4 Alternative CC2-4 Floodwalls and Dry Floodproofing (Stadium)

The floodwalls and dry floodproofing alternative builds on Alternative CC2-3 by adding floodwalls and temporary closures to protect the track and field area. This would require approximately 750 feet of floodwall and five temporary closures. Figure C-4 in Attachment C shows the floodwall alignments extending from the Stadium steps to high ground.

Design Considerations

- Same dry flood proofing considerations as Alternative CC2-1.

-
- Assumes floodwall is constructed along the alignment for the perimeter fence. New, shorter fence would be constructed on top of the floodwall.
 - Temporary closure stoplogs will need a storage location.
 - Emergency action plan will need to be updated to establish triggers for when to deploy the temporary closures.
 - Adequate staff resources need to be on-hand to deploy the barriers within the advanced warning time for a flood.

Benefits

- Provides flood risk reduction for both the Stadium and the track and field area
- Structure would be accessible during a 1% annual chance flood event
- Limited installation required, relative to the Temporary Barriers and Dry Floodproofing alternative

Drawbacks

- Does not prevent floodwaters from reaching the Stadium structure
- May require significant retrofitting of structure
- System is not passive—requires time and human resources to deploy stoplog closures
- Dry floodproofing is not recommended for flood depths greater than 3 feet
- May require removal and reconstruction of scoreboard at south end of Stadium

5.3 Area CC3 West Gym Basement

The West Gym basement is accessed from the west side of the building. It contains mechanical and electrical equipment as well as storage for materials used for operating and maintaining the facility. The floor of the basement (Table 5-1) is below the 1% chance flood elevation. During the 2010 flood there was approximately 18 inches of water in the basement area. Figure 5-5 shows the two access doors for the West Gym basement. The metal channels on either side of both doors are in place to hold stoplog temporary closures during a flood.



Figure 5-5 West Gym Doors

Residual flood risk for the West Gym basement is from seepage through the structure membrane. Because the basement is only accessible from the two exterior doors, there is no access to the basement once the temporary closures are installed. This prevents staff from monitoring and mitigating interior flooding during a flood event.

Table 5-4 lists the flood risk reduction alternatives evaluated for the West Gym basement

Table 5-4 Area CC3 West Gym Basement Flood Risk Reduction Alternatives

Alternative	Name	Description
Alt CC3-1	No Change	Continue to use emergency measures such as stoplog temporary closures, sandbags and pumps to protect the property during a flood response.
Alt CC3-2	Temporary Closure	Construct a temporary closure that is offset from the entry points for the basement to allow for egress during flood events and prevent floodwaters from pressing up against the building.

5.3.1 Alternative CC3-1 No Change (West Gym)

The no-change alternative considers the benefits and drawbacks of making no changes to managing flood risk for the West Gym basement. For floods that reach the structure, the college installs temporary flood barriers over the two doorways and floodwaters press against the walls adjacent to the doors. Seepage through the structure membrane would cause interior flooding. Sumps in the structure may or may not keep up with the seepage. Building contents could be damaged.

Benefits

- Minimal up-front investment

Drawbacks

- Does not reduce flood risk to structure and its contents
- Recurring costs associated with flood response and damages

5.3.2 Alternative CC3-2 Setback Temporary Closure (West Gym)

The setback temporary closure alternative considers the benefits and drawbacks of constructing a new closure that is away from the building and an egress route so that staff can access the basement during a flood. Figure C-5 in Attachment C shows a schematic of the proposed closure.

Design Considerations

- New closure would be approximately 15-feet wide and 4-feet tall.
- Reconstruct pavement at base of closure to provide a smooth sill for the closure to rest on.
- Construct concrete wing walls that tie into the existing embankment on either side of the driveway in front of the gym basement doors.
- Construct stairs and a sidewalk behind the closure to provide access to the gym doors when the closure is installed. May require fill to create enough space for the walkway.

Benefits

- Setback closure would keep floodwaters from pushing against the side of the building.
- Staff would have access to the basement area during a flood.

Drawbacks

- Temporary closure is not passive—requires time and human resources to deploy the closure.

5.4 Area CC4 Pump House

The Pump House is a small building on the west side of Highway 19, between the track and field area and the West Gym; the building houses mechanical and electrical equipment. The Pump House provides access to a tunnel under Highway 19 that connects to the Facilities Building. The college has constructed a 2-foot-high berm around the entrance to the pump house. The top of the berm is at approximately elevation 904. The 1% AEP flood elevation is 901. The low opening is approximately 902. The low floor of the Pump House is approximately elevation 898. There is a high-voltage electrical panel in the pump house, the bottom of which is about 1-foot above the floor. Figure 5-6 shows four images of the Pump House. From left to right, the first image shows the entry door; the second shows the tunnel under the highway; the third shows the stairs leading down from the doorway into the pump house; and the fourth shows the electrical panel at the base of the entrance stairs.



Figure 5-6 Pump House Door, Tunnel, Entrance Stairs, and Electrical Panel (left to right)

The college can use portable pumps to remove water from the Pump House. If water enters the Pump House too quickly, the high-voltage electrical panel would have to be de-energized. If water gets several feet deep it could flow through the tunnel and into the basement of the Facilities Building, which could affect heating operations for other parts of campus.

Table 5-5 lists the flood risk reduction alternatives evaluated for the Pump House.

Table 5-5 Area CC4 Pump House Flood Risk Reduction Alternatives

Alternative	Name	Description
Alt CC4-1	No Change	Continue to use existing flood risk mitigation strategies.
Alt CC4-2	Temporary Flood Barrier Panel	Install hardware for a temporary flood barrier in front of the Pump House door, similar to what exists for the West Gym and the Stadium.
Alt CC4-3	Elevate Electrical Panel	Replace the electrical panel inside the Pump House so it is at least one foot higher than the low opening.
Alt CC4-4	Sump Pump	Install a sump pump in the floor of the Pump House to automatically dewater the building if water gets into the structure.

Other alternative(s) considered but not evaluated:

- Flood Door**—This would involve replacing the existing door with a flood door that is designed to be watertight. They require activation for them to be watertight. Flood doors are more expensive than temporary flood barrier panels for similar benefits. Therefore, this alternative was not evaluated.

5.4.1 Alternative CC4-1 No Change (Pump House)

The no-change alternative considers the benefits and drawbacks of making no changes to managing flood risk for the Pump House. The berm in front of the entrance to the Pump House is high enough that it should prevent the 1% AEP flood event from reaching the door of the Pump House.

Benefits

- Minimal up-front investment

Drawbacks

- Does not reduce flood risk to the electrical panel and Pump House

5.4.2 Alternative CC4-2 Temporary Stoplog Closure (Pump House)

The temporary stoplog closure alternative evaluates the benefits and drawbacks of using a stoplog closure in front of the Pump House door to keep water from seeping through the door if the berm is overtopped or water comes through the drain pipe through the berm.

Design Considerations

- Stoplogs would be small and could be stored on-site
- Install metal slots on either side of the door to receive stoplogs during a flood event
- Use the same flood barrier panel system as used on West Gym and the Stadium

Benefits

- Small up-front investment
- Stoplogs can be installed quickly without special training
- Increases the elevation of flood protection elevation to approximately 905
- College staff are already familiar with this type of temporary barrier

Drawbacks

- Active system that requires staff resources to install flood barrier panels ahead of the flood peak
- Only access to the Pump House once the flood barrier panel is installed is through the tunnel
- Sealing the doorway would block the closest outlet point for pumping water out of the structure

5.4.3 Alternative CC4-3 Elevate Electrical Panel (Pump House)

The elevate electrical panel alternative evaluates the benefits and drawbacks of modifying the high-voltage-electrical panel so it is less likely to be inundated if floodwater gets into the Pump House.

Design Considerations

- Confirm feasibility of modifying the panel
- Confirm access requirements for the panel

Benefits

- Reduces the risk of a de-energizing event
- Reduces the risk of a life safety event if staff are working in the Pump House during a flood

Drawbacks

- Panel remains in the structure and could still be impacted during flood larger than the 1% annual chance flood event.

5.4.4 Alternative CC4-4 Sump Pump (Pump House)

The sump pump alternative evaluates the benefits and drawbacks of installing a sump pump in the basement of the Pump House that can automatically dewater the floor of the Pump House if flooded.

Design Considerations

- Determine the size of pump needed to keep water from getting more than 6 inches deep on the floor of the Pump House
- Determine discharge point for the sump. Does it need to go to the sanitary sewer? Or can it be discharged onto the ground adjacent to the structure?

Benefits

- Provides a passive means of managing water that seeps into the Pump House
- Reduces the risk of a life safety event if staff are working in the Pump House during a flood

Drawbacks

- Pumps need to be maintained

5.5 Area CC5 West Practice Fields

The West Practice Fields are 7.5 acres of turf north of the West Gym that are used for open field athletic practices and occasional event parking. During flood events, floodwaters from the Cannon River back up into the area. Slow moving water deposits a significant volume of sediment. Restoration of the practice field requires removal of this sediment and seeding or sodding to reestablish the turf. This has happened at least three times since 2010. Field elevations range from roughly 894 to 897. This elevation range is lower than the 10% annual chance flood event in the hydraulic model, meaning the fields have a greater than a 10% chance of flooding in a given year. Roughly two-thirds of the area is delineated as regulatory floodway. Figure C-1 and Figure C-7 in Attachment C show the mapped regulatory floodplain for the West Practice Fields area.

Figure 5-7 shows the West Practices Fields during the 2010 flood. The top of the soccer goal in the background of the photo suggests that there was approximately 7 feet of water at that location. Table 5-6 lists the flood risk reduction alternatives evaluated for the West Practice Fields.



Figure 5-7 West Practice Fields During the 2010 Flood Looking North

Table 5-6 Area CC5 West Practice Fields Flood Risk Reduction Alternatives

Alternative	Name	Description
Alt CC5-1	No Change	Continue to use existing flood risk mitigation strategies.
Alt CC5-2	Berm	Construct a low berm along the perimeter of the fields adjacent to the river that prevents flooding from the 10-year flood event.

Alternatives considered but not evaluated

- Fill Outside of the Floodway** – The college could use fill to raise up a portion of the practice field area. While this would reduce the frequency of flooding for about one-third of the field area, it would create a tiered practice field area with an irregular shape that would require a reconfiguration of the fields as they are currently used. The college would not be able to fit as many different separate full fields (soccer, football, etc.) in the same space. The remaining area would still be flood prone and require costly cleanup after flood events.

5.5.1 Alternative CC5-1 No Change (West Practice Fields)

The no-change alternative considers the benefits and drawbacks of making no changes to managing flood risk for the West Practice Fields.

Benefits

- Minimal up-front investment
- No impacts to the regulatory floodplain

Drawbacks

- Continued operation and maintenance expenses related to periodic cleanup and restoration of the fields after flood events.

5.5.2 Alternative CC5-2 Berm (West Practice Fields)

The berm alternative considers the benefits and drawbacks of using a low berm between the river and the practice fields to block floodwaters from inundating the fields during smaller flood events up to about the 10% AEP (10-year) flood. Larger flood events would continue to have access to the broader floodplain.

Design Considerations

- Hydraulic modeling would be needed to verify that a berm could be constructed without causing a rise in base flood elevation.
- Assumes interior drainage will need to be managed by leaving a gap in the berm that could be filled temporarily with sandbags or soil when flooding is expected.

Benefits

- Reduces frequency of flooding for the entire area.
- Retains most of the existing field area for full sized practice fields.

Drawbacks

- Additional operations and maintenance associated with managing interior drainage.
- May increase channel velocities during smaller flood events, which may require mitigation against bank erosion.
- Would require permitting of fill in the floodplain.

5.5.3 Carleton College Hydraulic Profiles

Figure C-8 in Attachment C shows hydraulic profiles for a range of flood events at Carleton College. The figure shows structures and recommended flood mitigation measures relative to the different expected annual exceedance probability flood levels.

5.5.4 Carleton College Inundation Mapping

Figure D-1 in Attachment D shows existing floodplain mapping for the Carleton College study area. Proposed-conditions flood inundation maps were created for alternatives that would modify the flooding extents. The mitigation alternatives for the Student Houses, Pump House and West Practice Fields would not affect 100-year inundation extents. Figures D-2, D-3, and D-4 show the effect of the three different alternatives for the Stadium and the West Gym alternative.

6 Cost Estimating

6.1 Estimator's Qualification of Estimated Construction Cost

The feasibility-level construction cost estimate provided in this report is based on Barr's experience and qualifications and represents our best judgment as experienced and qualified professionals familiar with the project. This opinion is based on the project-related information available to Barr at this time, current information about probable future costs, and a concept-level design for the Project. The opinion of construction cost will likely change as more information becomes available and further design is completed. In addition, because we have no control over the eventual cost of labor, materials, equipment, or services furnished by others, or over a contractor's methods of determining prices, or over competitive bidding or market conditions, Barr cannot and does not guarantee that proposals, bids, or actual construction costs will not vary from the opinion of probable construction cost presented in this report. Greater assurance as to the probable construction cost can be achieved through additional design to provide more complete project definition.

6.2 Estimate Type

These construction cost estimates, documentation, and discussion are intended to provide background information for initial feasibility assessment and preliminary analysis purposes. These cost estimates correspond to a Class 4 estimate class (AACE International Recommended Practice No. 18R-97 and ASTM E 2516-06 Standard Classification for Cost Estimate Classification System). This estimate classification is characterized by limited project definition and the wide-scale use of parametric models and engineering judgment to calculate costs.

6.3 Cost Estimate Summary

Table 6-1 lists the estimated total project cost for each of the Northfield alternatives, as well as a low and high estimate for the total project cost. Table 6-2 lists similar cost data for the Carleton College alternatives. Attachment E contains a breakdown of the components of the total project cost and cost comparison charts.

Table 6-1 Northfield Alternative Cost Estimate Summary

Alternative	Name	Estimated Total Project Cost	Cost Range	
			Low End (-25%)	Cost Range High End (+50%)
Alt 1-1	No Change	N/A	N/A	N/A
Alt 1-2	Floodwall Extension	\$2,619,000	\$1,970,000	\$3,930,000
Alt 1-3	Channel Floodwall	\$3,806,000	\$2,860,000	\$5,710,000
Alt 1-4	Two Floodwalls	\$1,199,000	\$900,000	\$1,800,000
Alt 1-5	Buyouts	\$2,830,000	\$2,550,000	\$3,400,000
Alt 2-1	No Change	N/A	N/A	N/A
Alt 2-2	Dry Floodproofing	\$544,000	\$410,000	\$820,000
Alt 2-3	Wet Floodproofing	\$1,376,000	\$1,040,000	\$2,070,000
Alt 2-4	Buyouts	\$1,900,000	\$1,710,000	\$2,280,000
Alt 3-1	No Change	N/A	N/A	N/A
Alt 3-2	Dry Floodproofing	\$196,000	\$150,000	\$300,000
Alt 3-3	Floodwall	\$2,871,000	\$2,160,000	\$4,310,000
Alt 3-4	Temporary Barriers	\$85,000	\$64,000	\$128,000
Alt 3-5	Buyouts	\$8,230,000	\$7,410,000	\$9,880,000
Alt 4-1	No Change	N/A	N/A	N/A
Alt 4-2	Ames Park Fill	\$176,000	\$140,000	\$270,000
Alt 4-3	Ames Park Levee	\$204,000	\$160,000	\$310,000
Alt 4-4	Ames Park Floodwall	\$994,000	\$750,000	\$1,500,000
Alt 5-1	No Change	N/A	N/A	N/A
Alt 5-2	Riverside Lions Park Fill	\$167,000	\$130,000	\$260,000
Alt 5-3	Riverside Lions Park Levee	\$211,000	\$160,000	\$320,000
Alt 5-4	Riverside Lions Park Floodwall	\$962,000	\$730,000	\$1,450,000
Alt 6-1	No Change	N/A	N/A	N/A
Alt 6-2	Babcock Park Fill	\$378,000	\$290,000	\$570,000
Alt 6-3	Babcock Park Levee	\$281,000	\$220,000	\$430,000
Alt 6-4	Babcock Park Floodwall	\$1,256,000	\$950,000	\$1,890,000

Table 6-2 Carleton College Alternative Cost Estimate Summary

Alternative	Name	Estimated Total Project Cost	Cost Range	
			Low End (-25%)	Cost Range High End (+50%)
Alt CC1-1	No Change	N/A	N/A	N/A
Alt CC1-2	Temporary Barriers	\$24,000	\$20,000	\$40,000
Alt CC1-3	Remove Structures	\$1,010,000	\$760,000	\$1,520,000
Alt CC2-1	No Change	N/A	N/A	N/A
Alt CC2-2	Dry Floodproofing	\$295,000	\$230,000	\$450,000
Alt CC2-3	Temporary Barrier	\$277,000	\$210,000	\$420,000
Alt CC2-4	Floodwall	\$1,622,000	\$1,220,000	\$2,440,000
Alt CC3-1	No Change	N/A	N/A	N/A
Alt CC3-2	Temporary Closure	\$161,000	\$130,000	\$250,000
Alt CC4-1	No Change	N/A	N/A	N/A
Alt CC4-2	Temporary Closure	\$4,000	\$3,000	\$6,000
Alt CC4-3	Elevate Electrical Panel	\$169,000	\$130,000	\$260,000
Alt CC4-4	Sump Pump	\$26,000	\$20,000	\$40,000
Alt CC5-1	No Change	N/A	N/A	N/A
Alt CC5-2	Practice Field Berm	\$65,000	\$50,000	\$100,000

6.4 Basis for Cost Estimate

The basis and methodology used to develop the cost estimates are described below.

- Mobilization is assumed to be 5% of construction costs for projects over \$500,000 and 10% for project under \$500,000.
- Erosion and sediment control are assumed to be 2% of construction costs for projects over \$500,000 and 5% for projects under \$500,000.
- Contingency is assumed to be 25% of construction costs, including mobilization.
- Planning, engineering, and design are assumed to be 25% of construction costs with contingency.
- Permitting and regulatory approvals are assumed to be 10% of construction costs with contingency.
- Acquisition cost estimates are based on 135% of a typical cost per square foot for commercial office space. For the smaller buildings downstream of the dam, Barr assumed \$160 per square foot. For the larger buildings upstream of the dam Barr assumed \$100 per square foot. These

value estimates are all higher than the market value estimate on the Rice County property tax website.

- Demolition costs for acquired commercial structures account for demolition of the structure, abatement of hazardous substances, utility excavation, and backfilling.
- The estimated accuracy range for the total project cost is -25% and +50% for construction projects and -10% to +20% for acquisition alternatives.

6.5 Operations and Maintenance Costs

Most alternatives would require ongoing operations and maintenance costs. Table 6-3 lists the estimated annual operations and maintenance costs of each alternative. These are order-of-magnitude estimates based on anticipated labor during a flood response, anticipated frequency of flood events, storage costs, annual maintenance labor and expenses, and interior drainage system operation costs. These estimates should be refined during the design of a selected alternative. Buyout areas are assumed to require operation and maintenance costs similar to parks in the floodplain.

Table 6-3 Annual Operation and Maintenance Cost Estimates

Alternative	Name	Estimated Annual Cost
Alt 1-1	No Change	\$16,000
Alt 1-2	Floodwall Extension	\$11,000
Alt 1-3	Channel Floodwall	\$11,000
Alt 1-4	Two Floodwalls	\$11,000
Alt 1-5	Buyouts	\$1,000
Alt 2-1	No Change	\$17,000
Alt 2-2	Dry Floodproofing	\$12,000
Alt 2-3	Wet Floodproofing	\$13,000
Alt 2-4	Buyouts	\$1,000
Alt 3-1	No Change	\$6,000
Alt 3-2	Dry Floodproofing	\$13,000
Alt 3-3	Floodwall	\$21,000
Alt 3-4	Temporary Barriers	\$9,000
Alt 3-5	Buyouts	\$1,000
Alt 4-1	No Change	\$6,000
Alt 4-2	Ames Park Fill	\$1,000
Alt 4-3	Ames Park Levee	\$8,000
Alt 4-4	Ames Park Floodwall	\$12,000
Alt 5-1	No Change	\$6,000
Alt 5-2	Riverside Lions Park Fill	\$1,000
Alt 5-3	Riverside Lions Park Levee	\$8,000
Alt 5-4	Riverside Lions Park Floodwall	\$12,000
Alt 6-1	No Change	\$6,000
Alt 6-2	Babcock Park Fill	\$1,000
Alt 6-3	Babcock Park Levee	\$8,000
Alt 6-4	Babcock Park Floodwall	\$12,000

Table 6-4 Carleton College Annual Operation and Maintenance Cost Estimates

Alternative	Name	Estimated Annual Cost
Alt CC1-1	No Change	\$1,000
Alt CC1-2	Temporary Barriers	\$7,000
Alt CC1-3	Remove Structures	\$4,000
Alt CC2-1	No Change	\$5,000
Alt CC2-2	Dry Floodproofing	\$5,000
Alt CC2-3	Temporary Barrier	\$19,000
Alt CC2-4	Floodwall	\$4,000
Alt CC3-1	No Change	\$6,000
Alt CC3-2	Setback Temporary Barrier	\$3,000
Alt CC4-1	No Change	\$1,000
Alt CC4-2	Temporary Barriers	\$5,000
Alt CC4-3	Elevate Electrical Panel	\$5,000
Alt CC4-4	Sump Pump	\$3,000
Alt CC5-1	No Change	\$50,000
Alt CC5-2	Practice Field Berm	\$11,000

7 Recommendations

Barr scored the alternatives based on whether they align with the Riverfront Plan, meet City goals, meet property owner goals, and provide effective flood protection for the flood of record. This score was divided into the total project cost and the estimated annual maintenance cost times a 50-year design life. Lower values in these calculations mean a more cost-effective project. These scores were used to make recommendations about whether each alternative should be considered further. Attachment F contains the tables used to score each alternative.

Table 7-1 lists the alternatives for Area 1 with the recommended alternative in **bold**. Table 7-2 lists the alternatives for Area 2, with the recommended alternative in **bold**. Table 7-3 lists the alternatives for Area 3, with the recommended alternative in **bold**. Table 7-4 shows the alternatives for the three parks; no recommendation is given. Table 7-5 lists the Carleton College alternatives, with the recommended alternatives in **bold**.

The information and recommendations presented in this report are intended to provide the basis for the City of Northfield to select preferred alternatives that can be advanced to a second phase involving a FEMA benefit-cost analysis.

Table 7-1 Area 1 Alternatives Recommendations

Alternative	Name	Aligns with Riverfront Plan	Consider Further	Notes
Alt 1-1	No Change	No	No	Does not meet goals of the project
Alt 1-2	Floodwall Extension	Yes	Yes	Provides robust protection with low effort for operation and maintenance
Alt 1-3	Channel Floodwall	Maybe	No	Would be expensive to maintain river access views
Alt 1-4	Two Floodwalls	No	No	Most cost-effective structural alternative. Does not protect lot near 2 nd Street Bridge
Alt 1-5	Buyouts	No	No	Does not meet goals of the project

Table 7-2 Area 2 Alternatives Recommendations

Alternative	Name	Aligns with Riverfront Plan	Consider Further	Notes
Alt 2-1	No Change	No	Maybe	Does not meet goals of the project
Alt 2-2	Dry Floodproofing	Yes	Maybe	Dry floodproofing is difficult to achieve and will require active management by property owner.
Alt 2-3	Wet Floodproofing	Maybe	No	Alt 2-2 and Alt 2-4 are more cost-effective
Alt 2-4	Buyouts	Maybe	Maybe	Consider if property owners are willing

Table 7-3 Area 3 Alternatives Recommendations

Alternative	Name	Aligns with Riverfront Plan	Consider Further	Notes
Alt 3-1	No Change	Maybe	Yes	Low openings for buildings are 2 feet above the flood of record
Alt 3-2	Dry Floodproofing	Yes	No	Unnecessary based on flood history
Alt 3-3	Floodwall	Maybe	No	Unnecessary based on flood history.
Alt 3-4	Temporary Barriers	Maybe	No	Unnecessary based on flood history
Alt 3-5	Buyouts	Maybe	No	Unnecessary based on flood history

Table 7-4 Park Alternatives Recommendations

Alternatives	Name	Aligns with Riverfront Plan	Consider Further	Description
Alt 4-1 Ames Alt 5-1 Riverside Alt 6-1 Babcock	No Change	Maybe	Maybe	Preserves floodplain storage
Alt 4-2 Ames Alt 5-2 Riverside Alt 6-2 Babcock	Fill	Yes	Maybe	Filling in the flood fringe for parks is generally not a good floodplain management policy
Alt 4-3 Ames Alt 5-3 Riverside Alt 6-3 Babcock	Levee or Floodwall	Maybe	Maybe	Reduces flood frequency in park areas without significantly reducing flood storage

Table 7-5 Carleton College Alternatives Recommendations

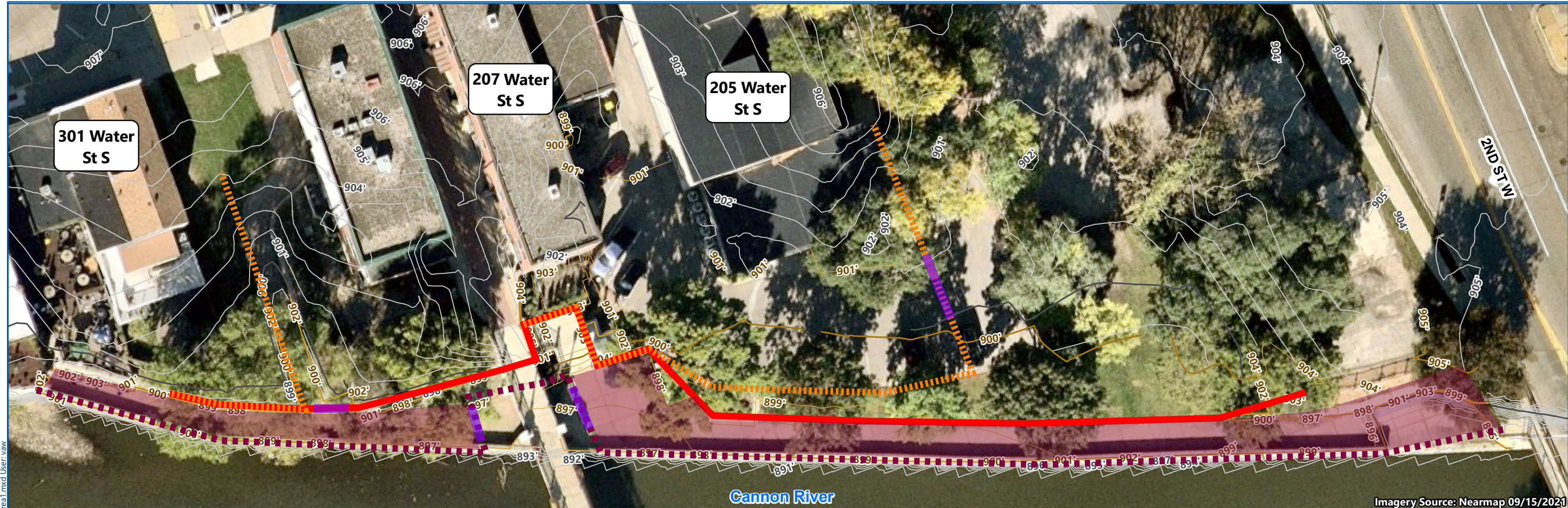
Alternative	Name	Aligns with Riverfront Plan	Aligns with College Goals	Consider Further	Notes
Alt CC1-1	No Change	N/A	Yes	Yes	College plans to remove houses within 5 years
Alt CC1-2	Temporary Barrier	N/A	Maybe	No	Not worth the investment given plans to remove houses within 5 years.
Alt CC1-3	Buyouts	N/A	No	No	Deed restrictions for FEMA buyouts are undesirable.
Alt CC2-1	No Change	N/A	No	Maybe	Track and structure at risk
Alt CC2-2	Dry Floodproofing	N/A	Yes	Maybe	Only protects structure
Alt CC2-3	Temporary Barrier	N/A	Maybe	Maybe	Labor intensive to install, protects track. Less expensive than floodwall.
Alt CC2-4	Floodwall	N/A	Yes	Yes	Low maintenance, protects track
Alt CC3-1	No Change	N/A	No	No	Current temporary closures do not allow for egress
Alt CC3-2	Temporary Closure	N/A	Yes	Yes	Preferred alternative for college because it maintains egress for emergency exit.
Alt CC4-1	No Change	N/A	Maybe	Yes	Current mitigation may be sufficient
Alt CC4-2	Temporary Closure	N/A	Yes	No	Unlikely to be cost effective
Alt CC4-3	Elevate Electrical Panel	N/A	Yes	Maybe	Unlikely to be cost effective
Alt CC4-4	Sump Pump	N/A	Yes	Maybe	Unlikely to be cost effective
Alt CC5-1	No Change	N/A	No	Maybe	May not be able to reduce flood risk due to floodway designation
Alt CC5-2	Berm	N/A	Yes	Yes	Reducing backwater flooding from Spring Creek could significantly reduce post-flood restoration costs

8 References

- [1] City of Northfield, "Northfield Climate Action Plan, Carbon Free 2040," 2019.
- [2] City of Northfield, "Riverfront Enhancement Action Plan, Northfield Minnesota," 2020.
- [3] FEMA, "Effective Flood Insurance Study for Rice County," 2012.
- [4] FEMA, "Preliminary Flood Insurance Study, Rice County, Minnesota and Incorporated Areas, 27131CV000B," 2019.
- [5] FEMA, "Letter of Map Revision 12-05-1809P," 2012.
- [6] USGS, "Water Data, Cannon River at Northfield MN Gage 05355024," [Online]. Available: <https://waterdata.usgs.gov/monitoring-location/05355024/#parameterCode=00065&period=P7D>. [Accessed 2021].
- [7] Barr Engineering Co., "Cannon River Flood-Frequency Analysis Update," 2022.
- [8] USACE, "Cannon River Basin, Hydrology Study and Report," St. Paul District, St. Paul, 2015.
- [9] Barr Engineering Co., "Cannon River Future Flood Risk Analysis Memorandum," Minneapolis, 2023.
- [10] Barr Engineering Co., "Cannon River Hydraulic Model Updates," Barr, Minneapolis, 2022.

Attachment A

Northfield Alternatives Conceptual Design Figures



Imagery Source: Nearmap 09/15/2021

Alt 1-2 Floodwall Extension

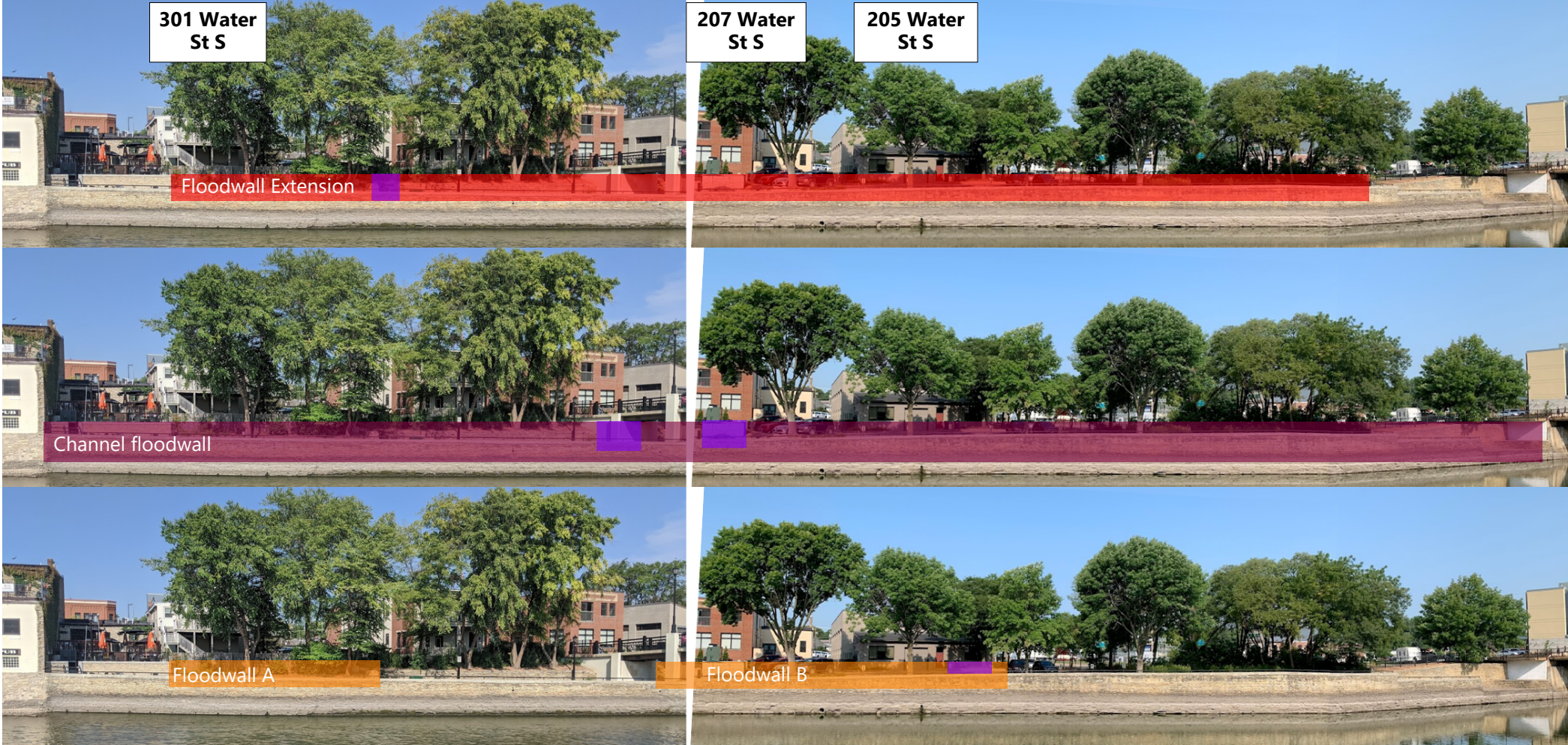
- █ Top of Wall = 904
- Length = 415 feet
- █ Temporary Closures = 1

Alt 1-3 Channel Floodwall

- █ Elevate Riverwalk = 901.5
- █ Top of Wall = 904
- Length = 500 feet
- █ Temporary Closures = 2

Alt 1-4 Two Floodwalls

- █ Top of Wall = 904
- Length A = 135 feet
- Length B = 230 feet
- █ Temporary Closures = 1

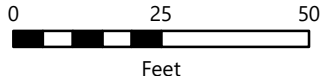


Survey Contours

- ~ Index (10-Foot Interval)
- ~ Intermediate (1-Foot Interval)

LiDAR Contours

- ~ Index (10-Foot Interval)
- ~ Intermediate (1-Foot Interval)



Note: Legend, Scale, and North Arrow reference the plan view only.

**NORTHFIELD DOWNTOWN
FLOOD STUDY**
Area 1 Alternatives
205-301 Water St.





Alt 2-2 Dry Floodproofing

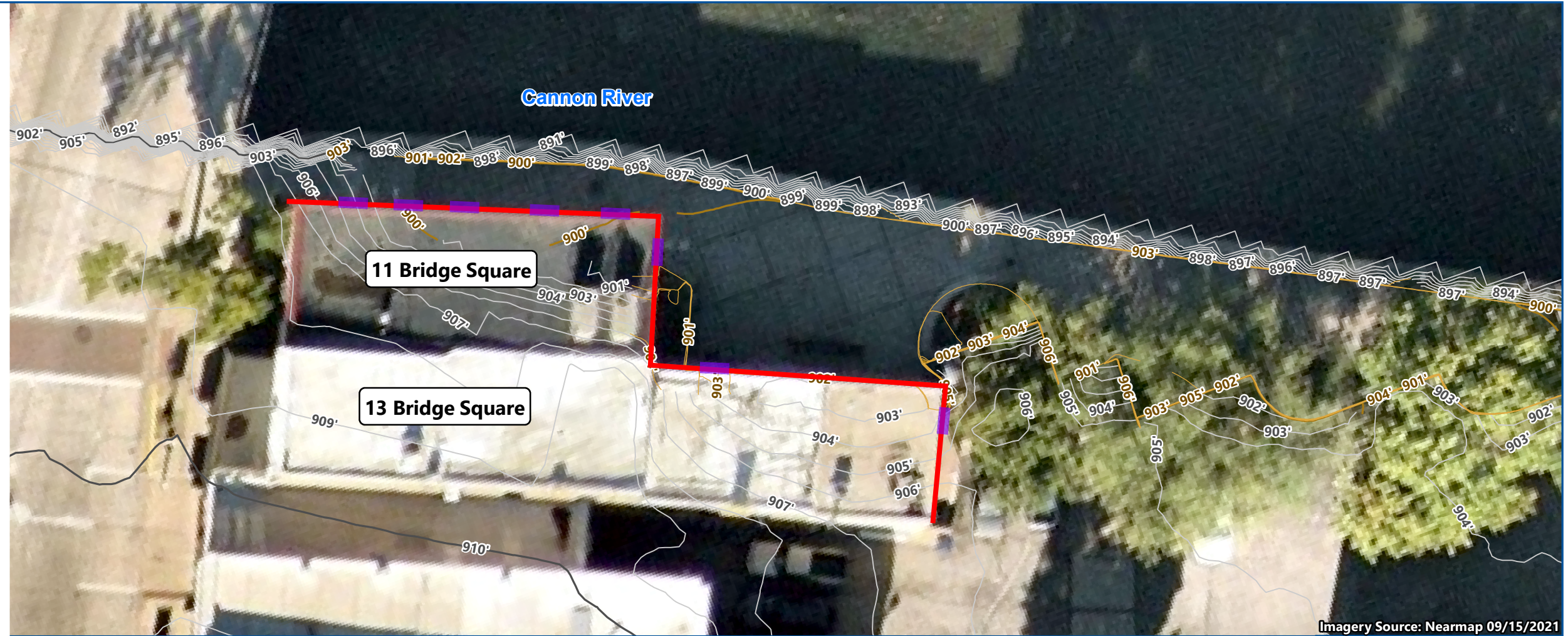
Protection Elevation = 904

- Seal Building Envelope
- Opening Covers = 8

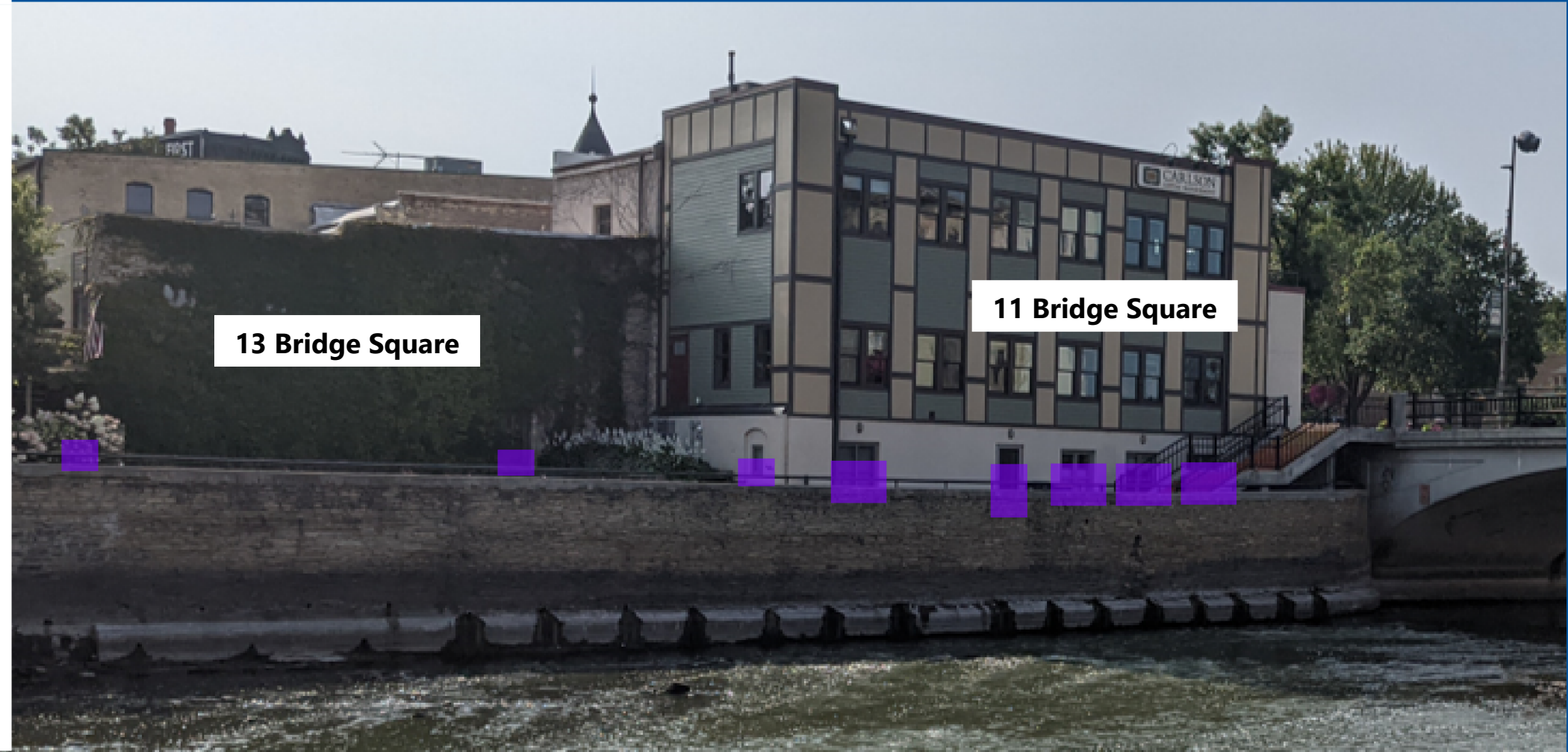
Alt 2-3 Wet Flood Proofing

Voluntary buyout of lower levels of both structures

Install openings to allow water to enter and leave the structures. Retrofit interior of lower level so flooding does not damage the structures.



Imagery Source: Nearmap 09/15/2021



Survey Contours

- Index (10-Foot Interval)
- Intermediate (1-Foot Interval)

LiDAR Contours

- Index (10-Foot Interval)
- Intermediate (1-Foot Interval)

0 10 20
Feet

Note: Legend, Scale, and North Arrow reference the plan view only.

Alt 3-2 Dry Floodproofing

Protection Elevation = 912

Seal Building Envelope

630 Water St = 520 feet

516 Water St = 460 feet

500 Water St = 330 feet

Door Covers

630 Water St = 4

516 Water St = 3

500 Water St = 5

Alt 3-3 Floodwall

Top of Wall = 912

Length = 920 feet

Temporary Closures

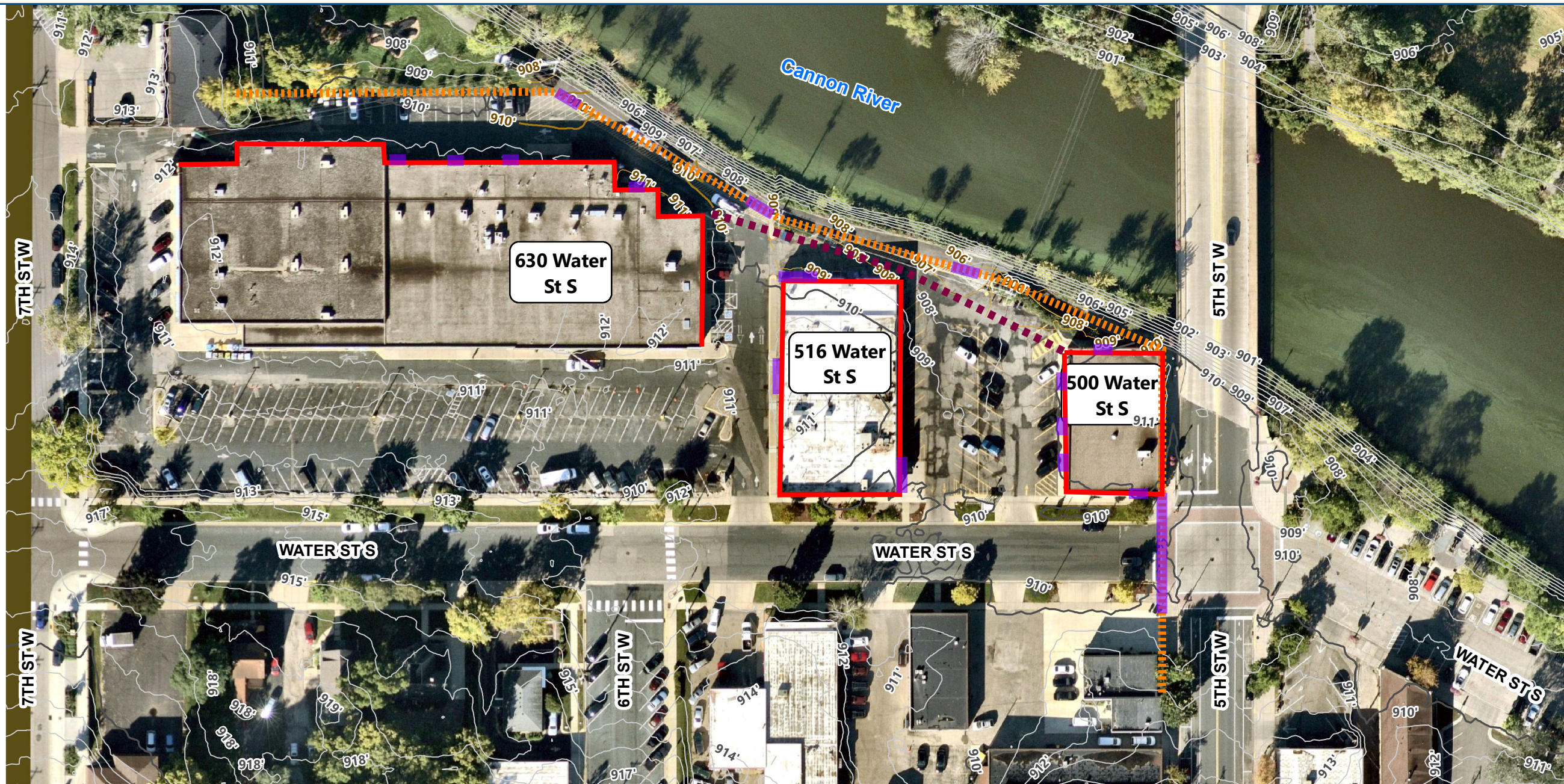
8' Closures (3)

80' Closure across Water St

Alt 3-4 Temporary Barrier

Top of Barrier = 910

Length = 270 feet



630 Water St S



516 Water St S



500 Water St S



Survey Contours

Index (10-Foot Interval)

Intermediate (1-Foot Interval)

LiDAR Contours

Index (10-Foot Interval)

Intermediate (1-Foot Interval)

North Arrow

Scale

0 70 140

Feet

Note: Legend, Scale, and North Arrow reference the plan view only.

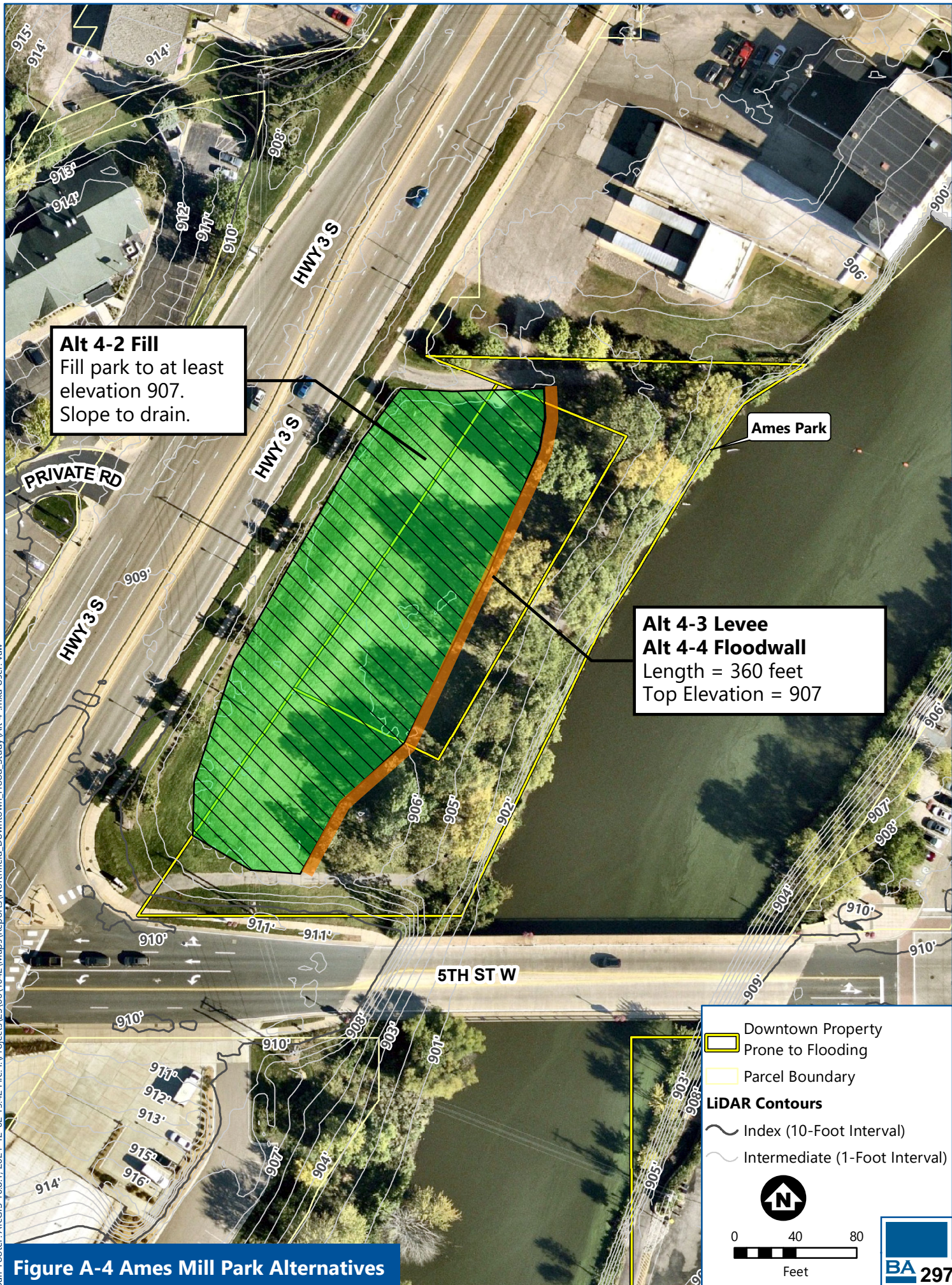
NORTHFIELD DOWNTOWN

FLOOD STUDY

Area 3 Alternatives

500-516 Water St.

FIGURE A-3



Alt 4-2 Fill
 Fill park to at least elevation 907.
 Slope to drain.

Alt 4-3 Levee
Alt 4-4 Floodwall
 Length = 360 feet
 Top Elevation = 907

- Downtown Property Prone to Flooding
- Parcel Boundary

LiDAR Contours

- Index (10-Foot Interval)
- Intermediate (1-Foot Interval)

0 40 80
Feet

Figure A-4 Ames Mill Park Alternatives

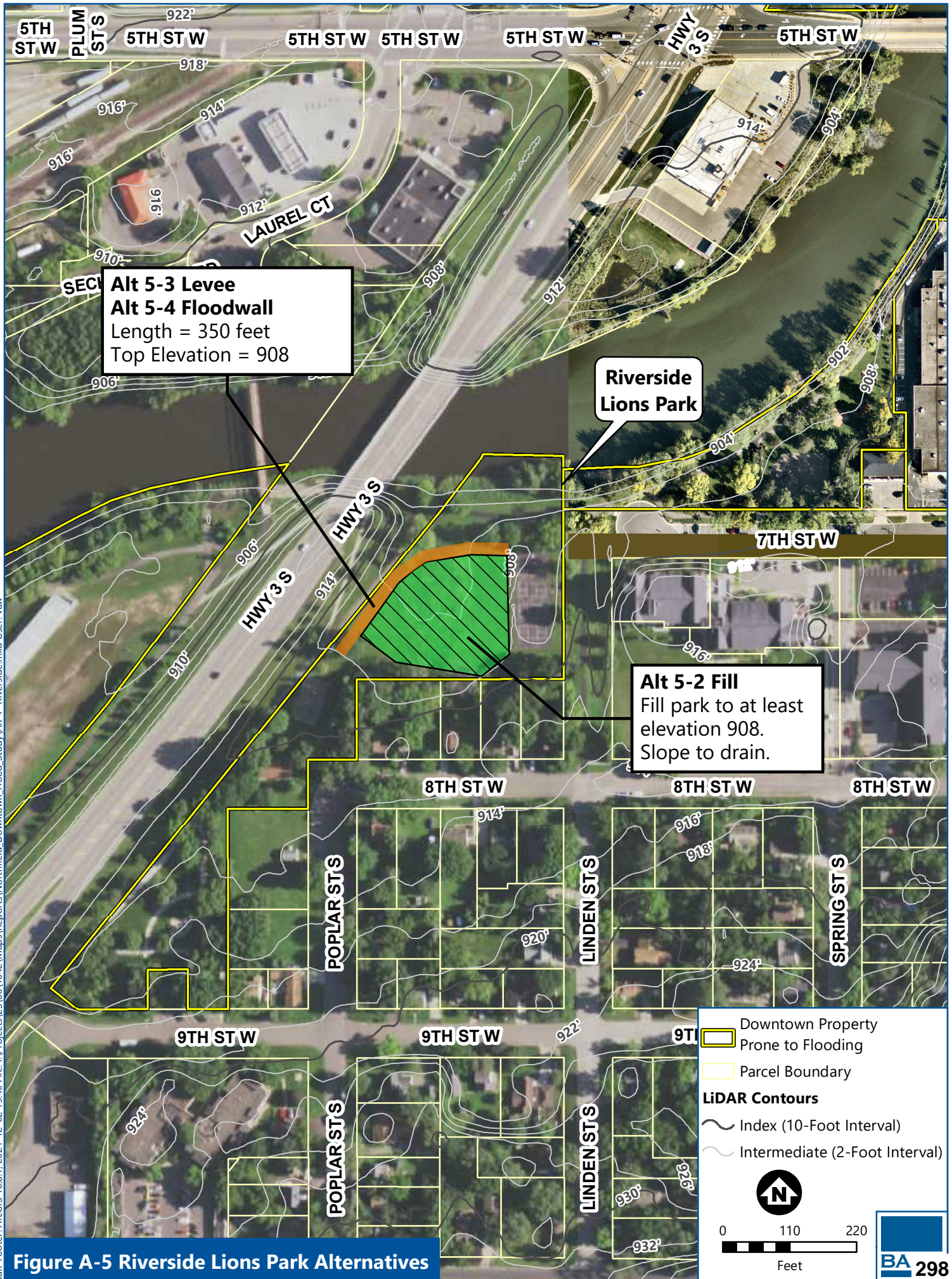


Figure A-5 Riverside Lions Park Alternatives

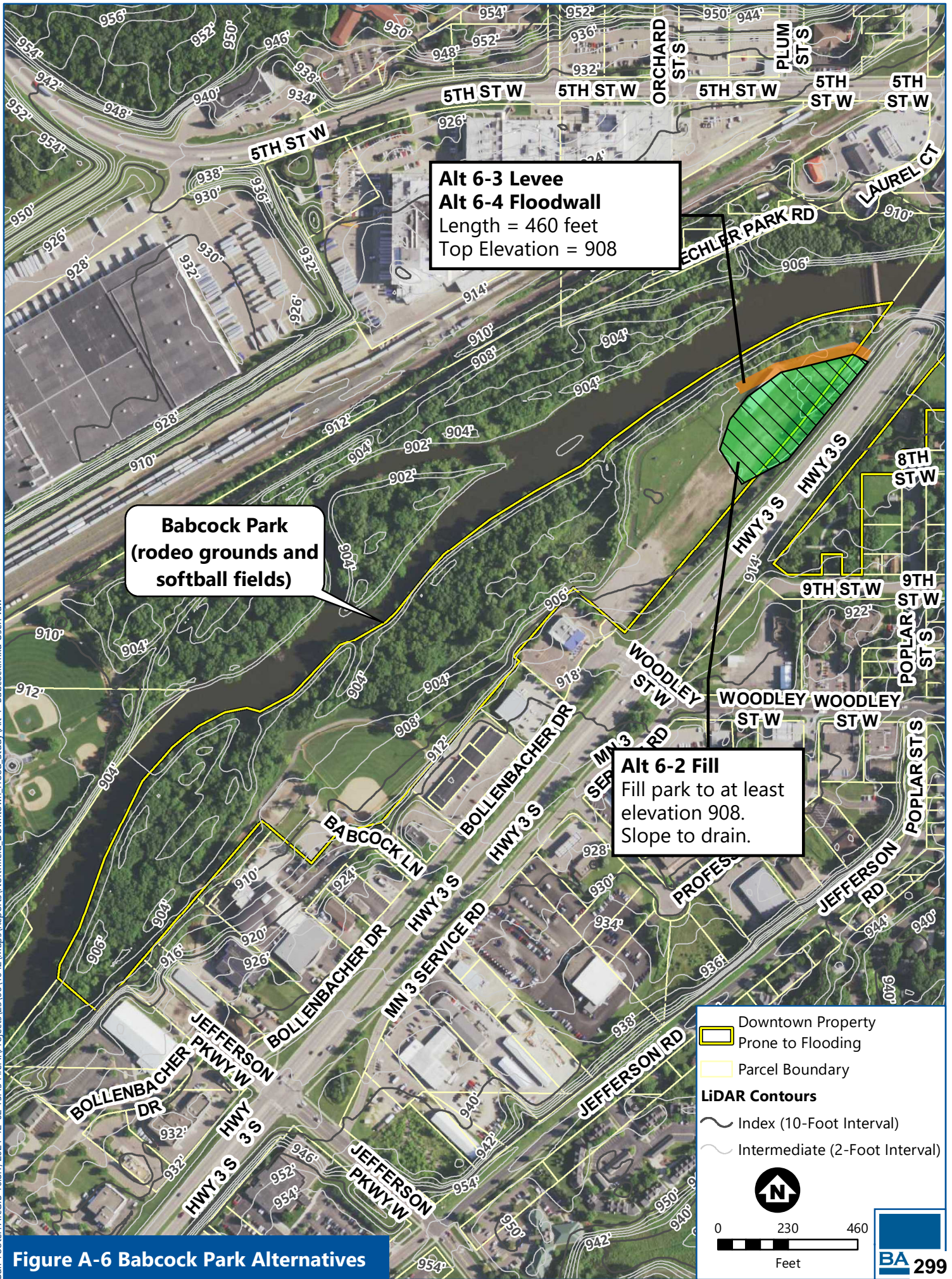
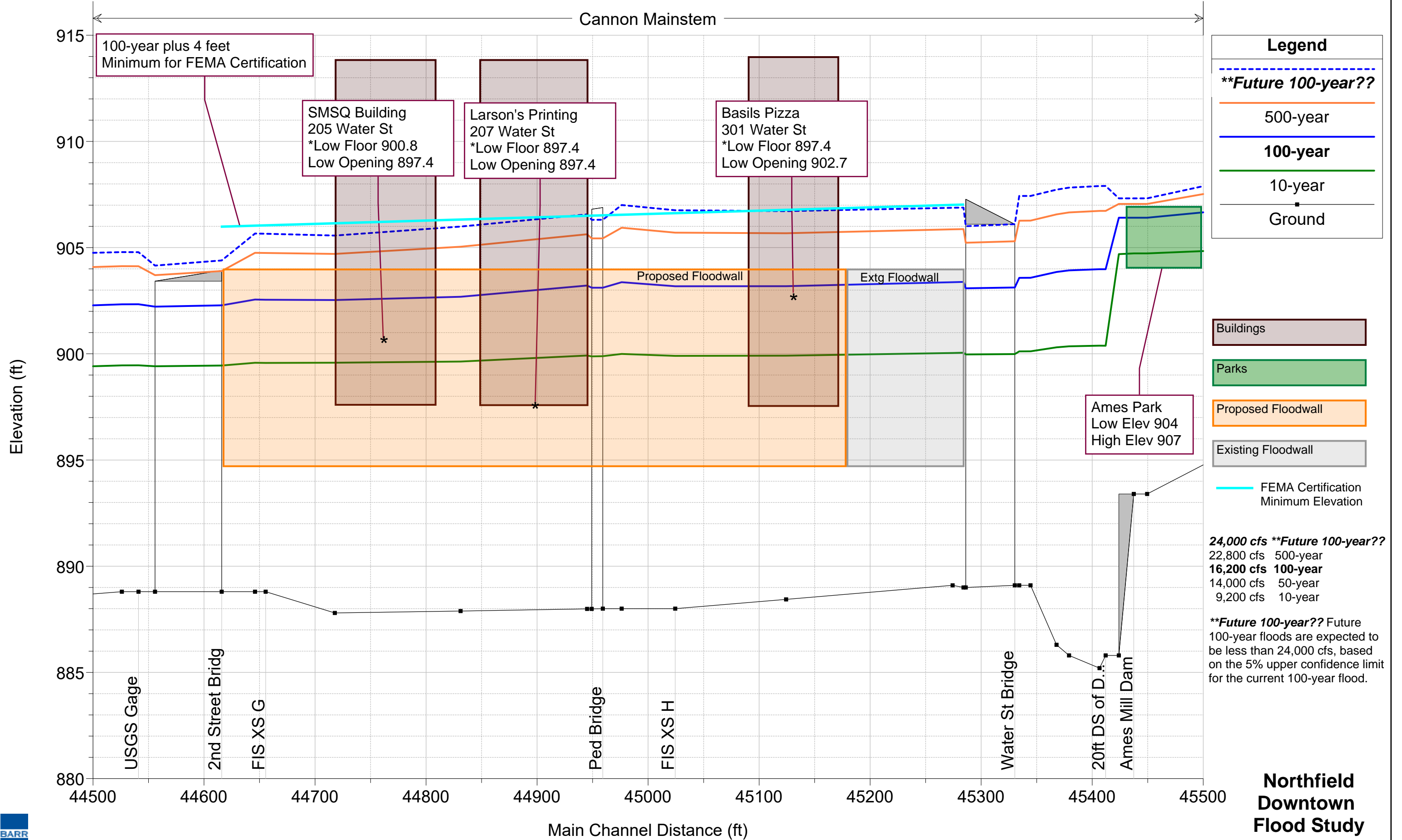


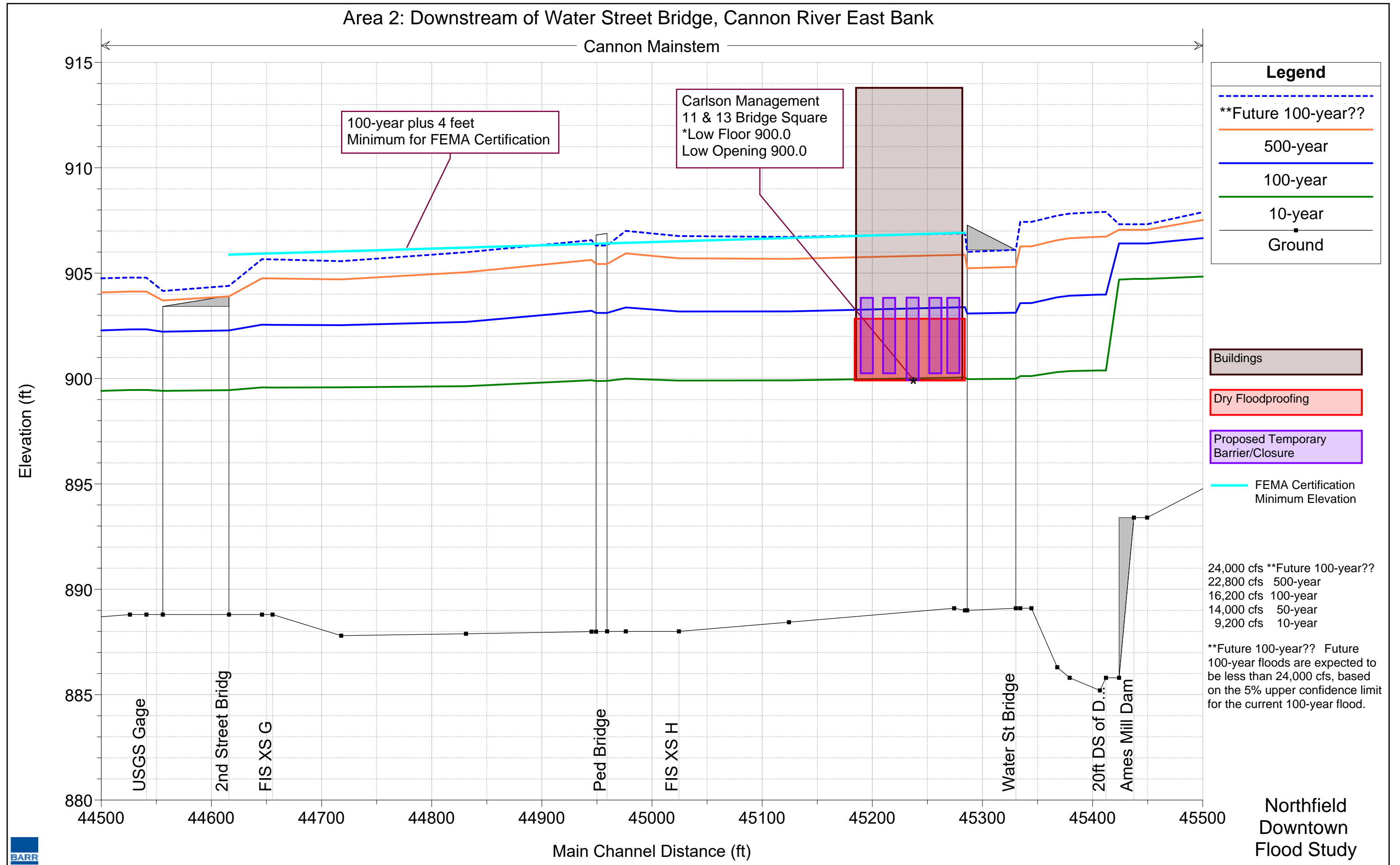
Figure A-6 Babcock Park Alternatives

Area 1: 2nd Street to Ames Park, Cannon River West Bank



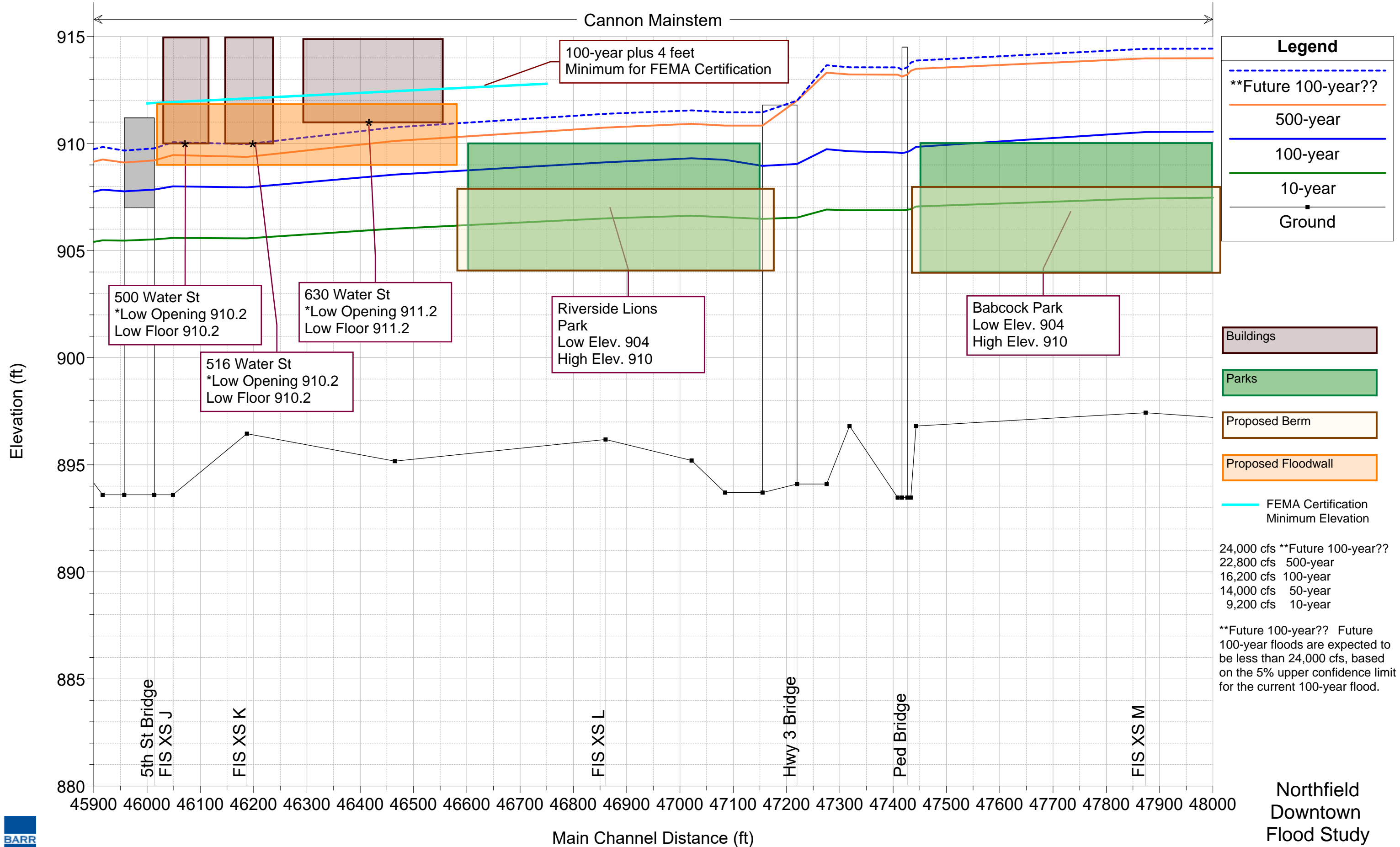
300 Figure A-7 Cannon River Flood Profiles for Area 1 and Ames Park





301 Figure A-8 Cannon River Flood Profiles for Area 2

Area 3: Upstream of 5th Street, Cannon River East Bank

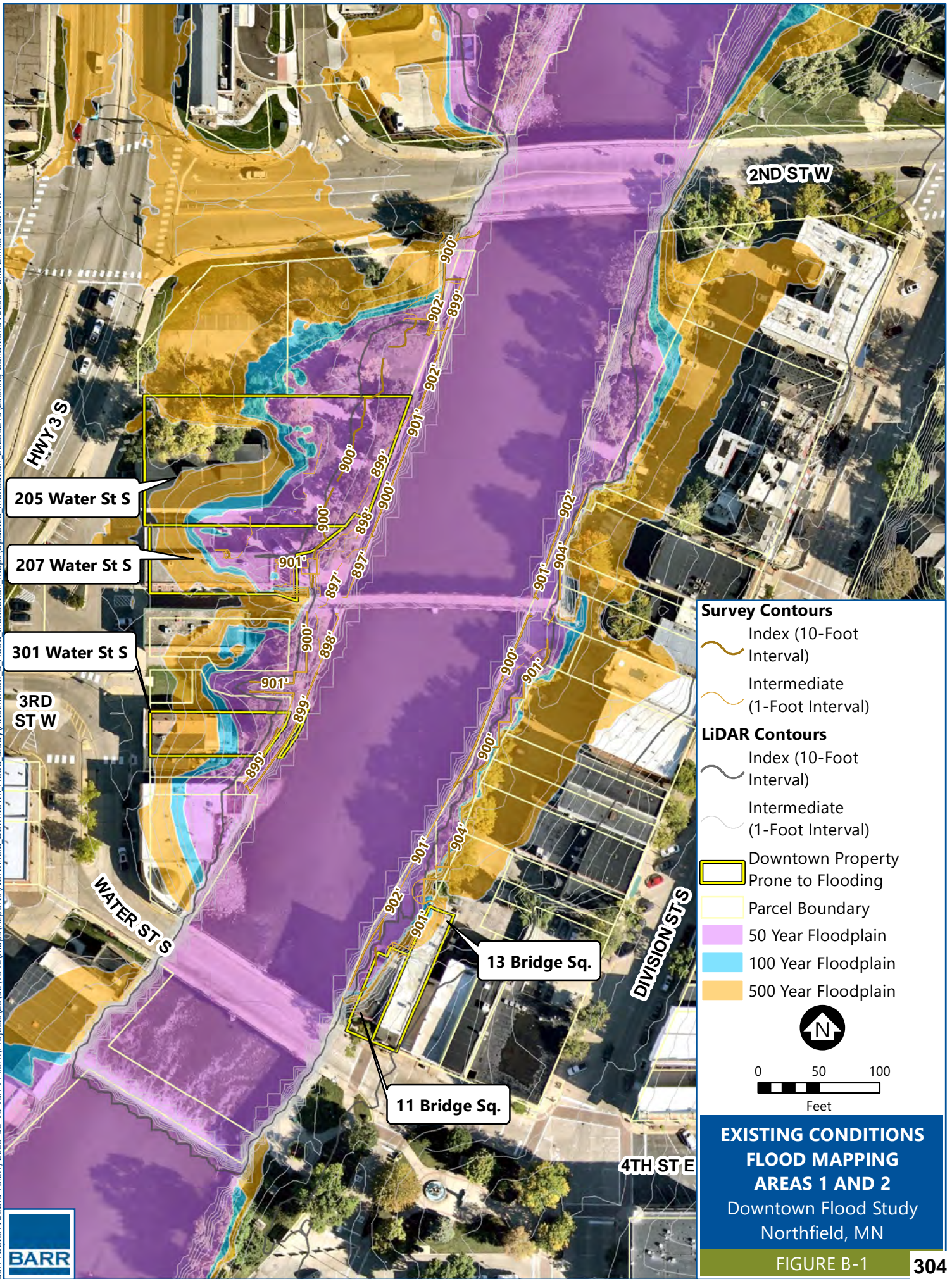


302 Figure A-9 Cannon River Flood Profiles for Area 3, Riverside Lions Park, and Babcock Park



Attachment B

Northfield Alternatives Flood Inundation Maps



- Survey Contours**
- Index (10-Foot Interval)
 - Intermediate (1-Foot Interval)
- LiDAR Contours**
- Index (10-Foot Interval)
 - Intermediate (1-Foot Interval)
- Downtown Property Prone to Flooding
 - Parcel Boundary
 - 50 Year Floodplain
 - 100 Year Floodplain
 - 500 Year Floodplain

0 50 100
 Feet

↑

**EXISTING CONDITIONS
 FLOOD MAPPING
 AREAS 1 AND 2**
 Downtown Flood Study
 Northfield, MN



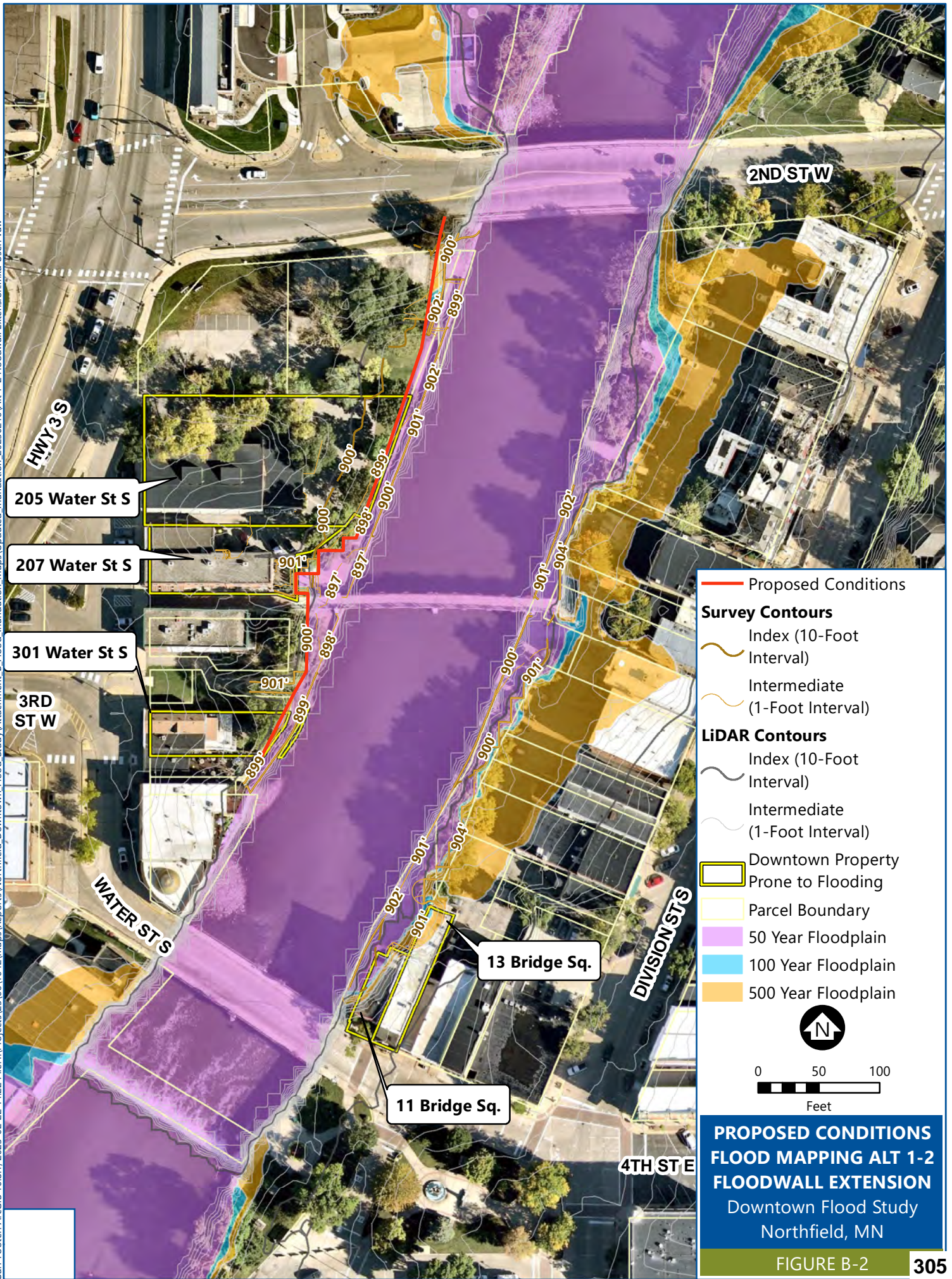
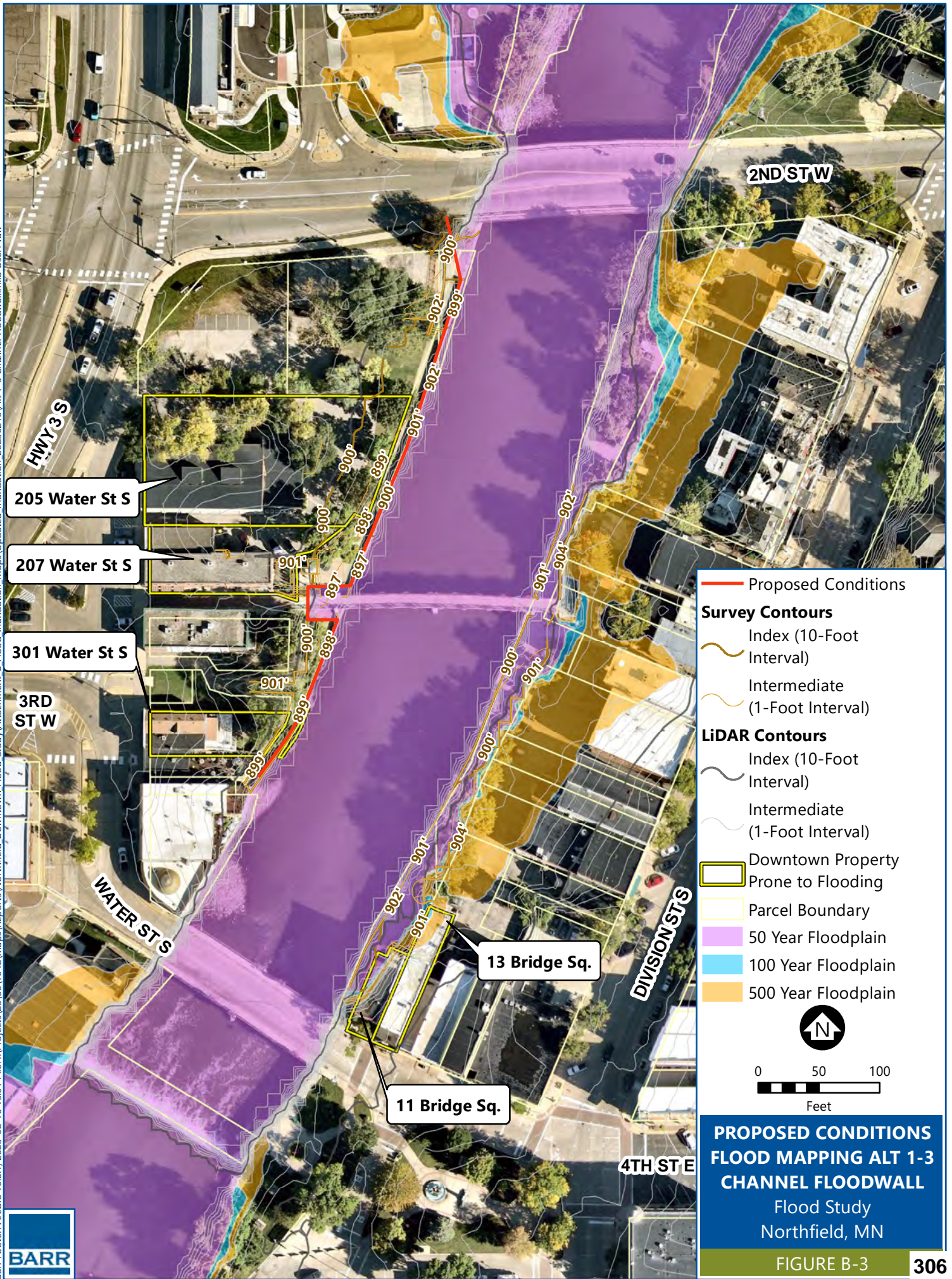
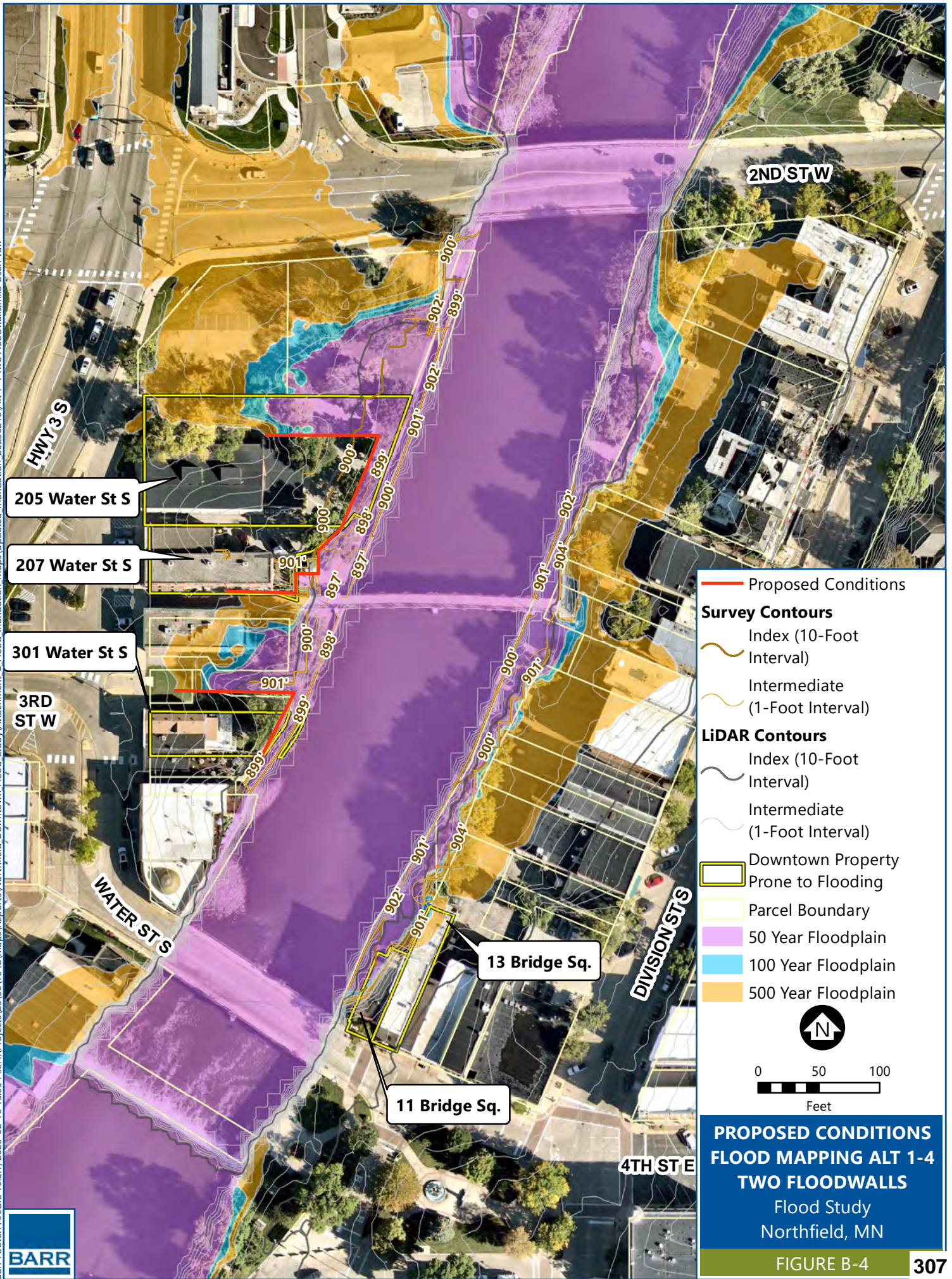


FIGURE B-2





Proposed Conditions

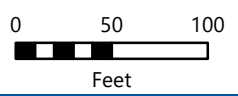
Survey Contours

- Index (10-Foot Interval)
- Intermediate (1-Foot Interval)

LIDAR Contours

- Index (10-Foot Interval)
- Intermediate (1-Foot Interval)

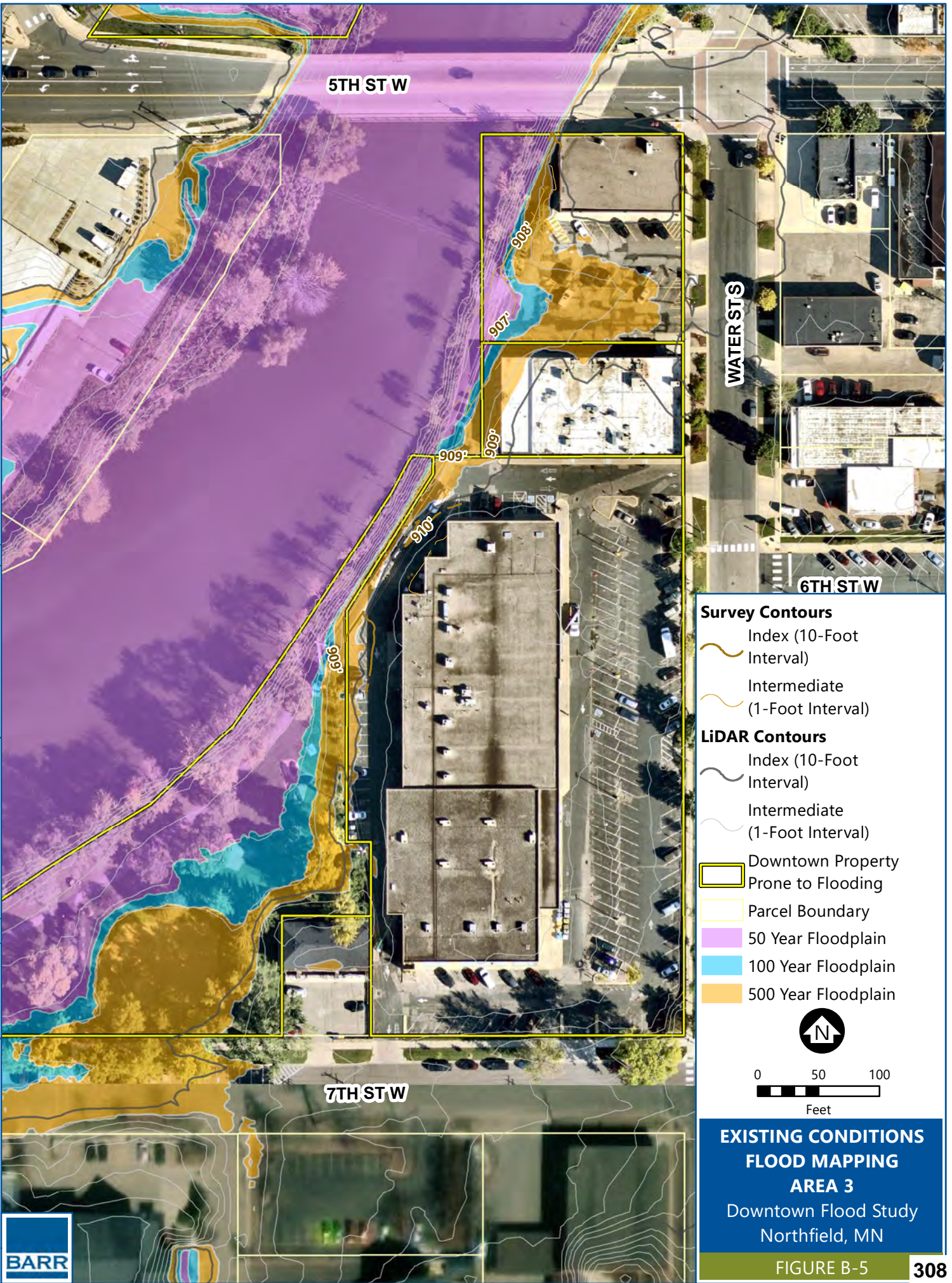
- Downtown Property Prone to Flooding
- Parcel Boundary
- 50 Year Floodplain
- 100 Year Floodplain
- 500 Year Floodplain



PROPOSED CONDITIONS FLOOD MAPPING ALT 1-4 TWO FLOODWALLS

Flood Study
Northfield, MN





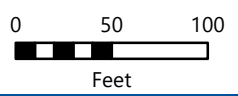
5TH ST W

WATER STS

6TH ST W

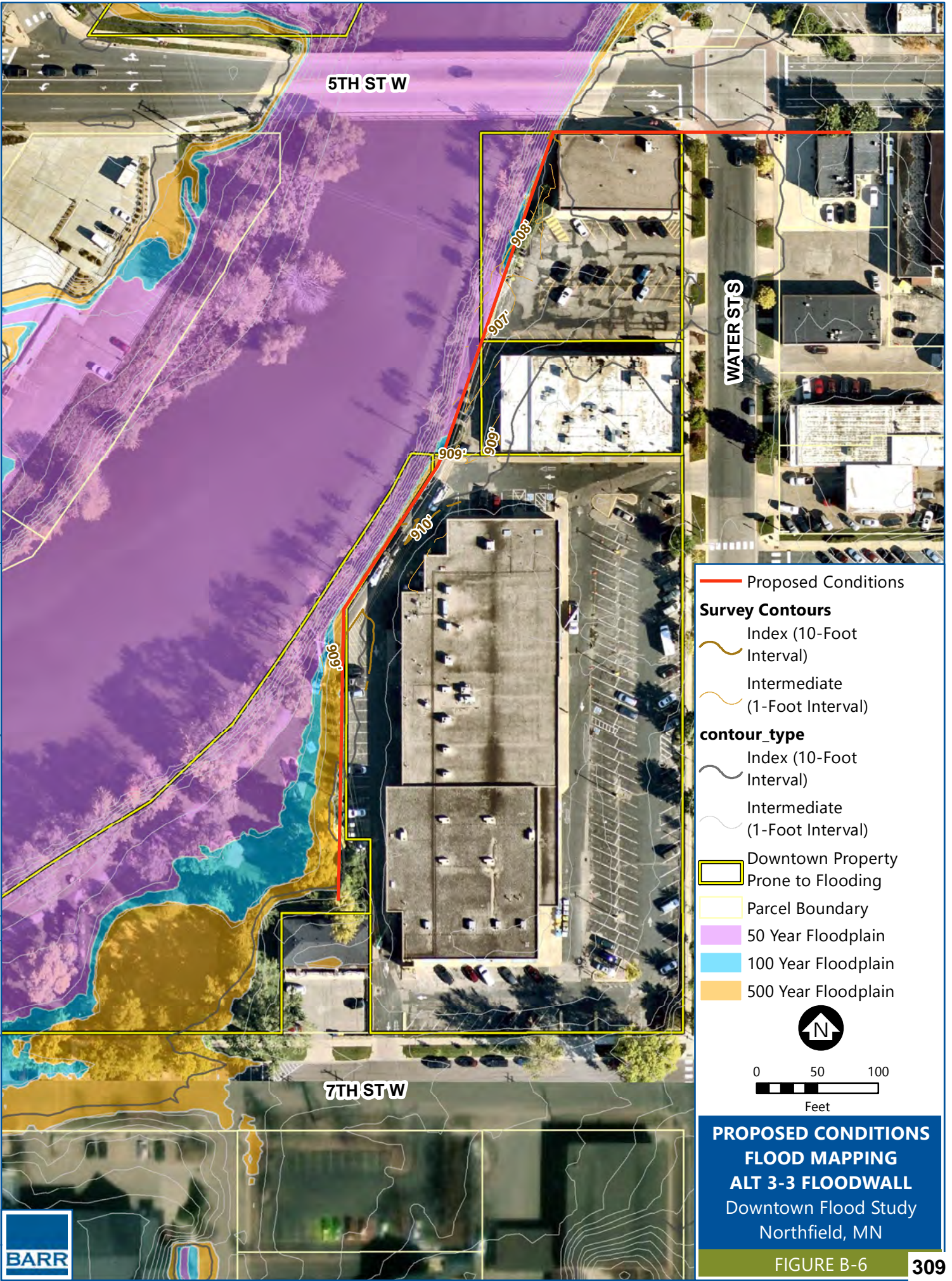
7TH ST W

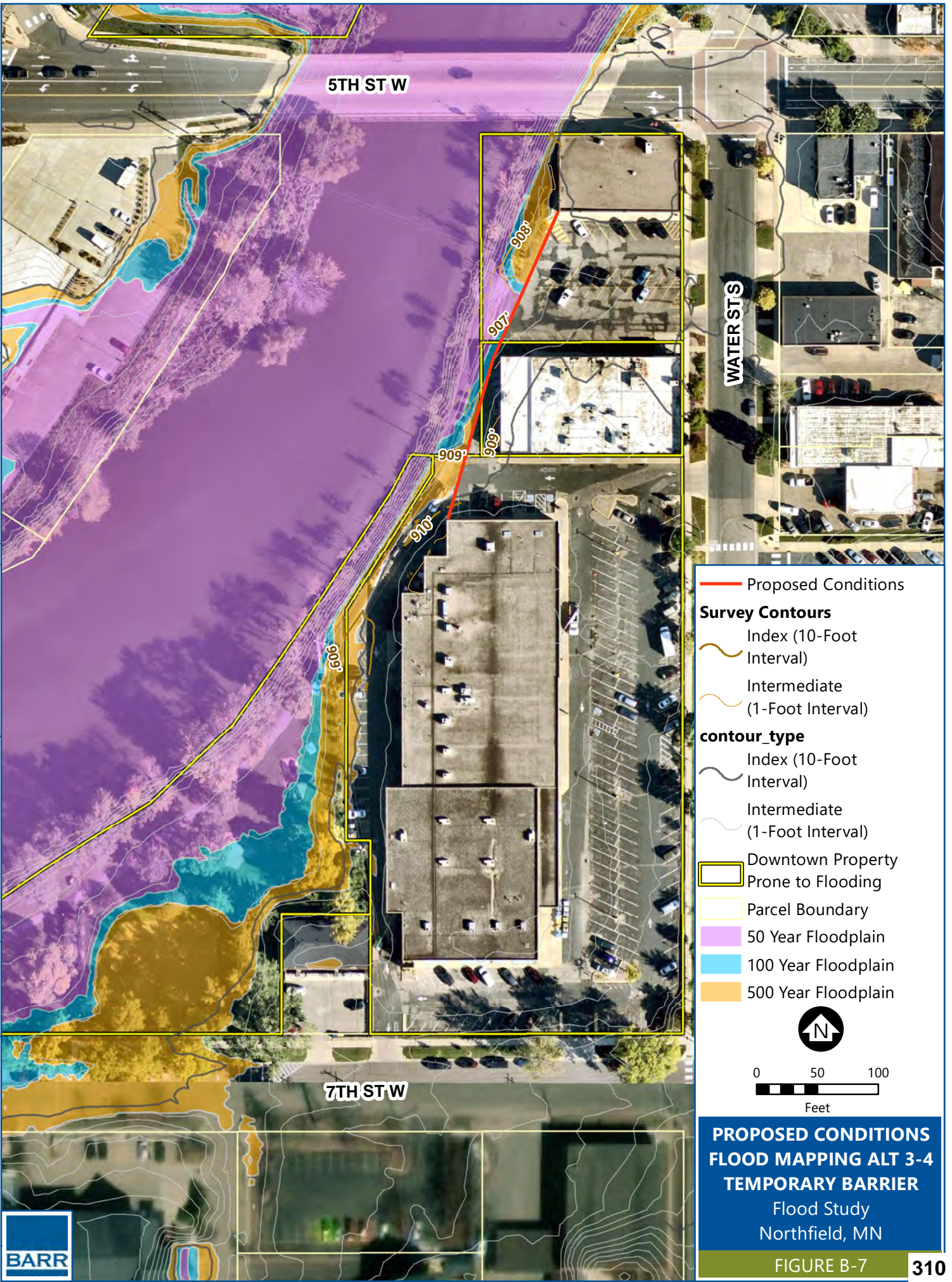
- Survey Contours**
 - Index (10-Foot Interval)
 - Intermediate (1-Foot Interval)
- LiDAR Contours**
 - Index (10-Foot Interval)
 - Intermediate (1-Foot Interval)
- Downtown Property Prone to Flooding
- Parcel Boundary
- 50 Year Floodplain
- 100 Year Floodplain
- 500 Year Floodplain



EXISTING CONDITIONS FLOOD MAPPING AREA 3
Downtown Flood Study
Northfield, MN



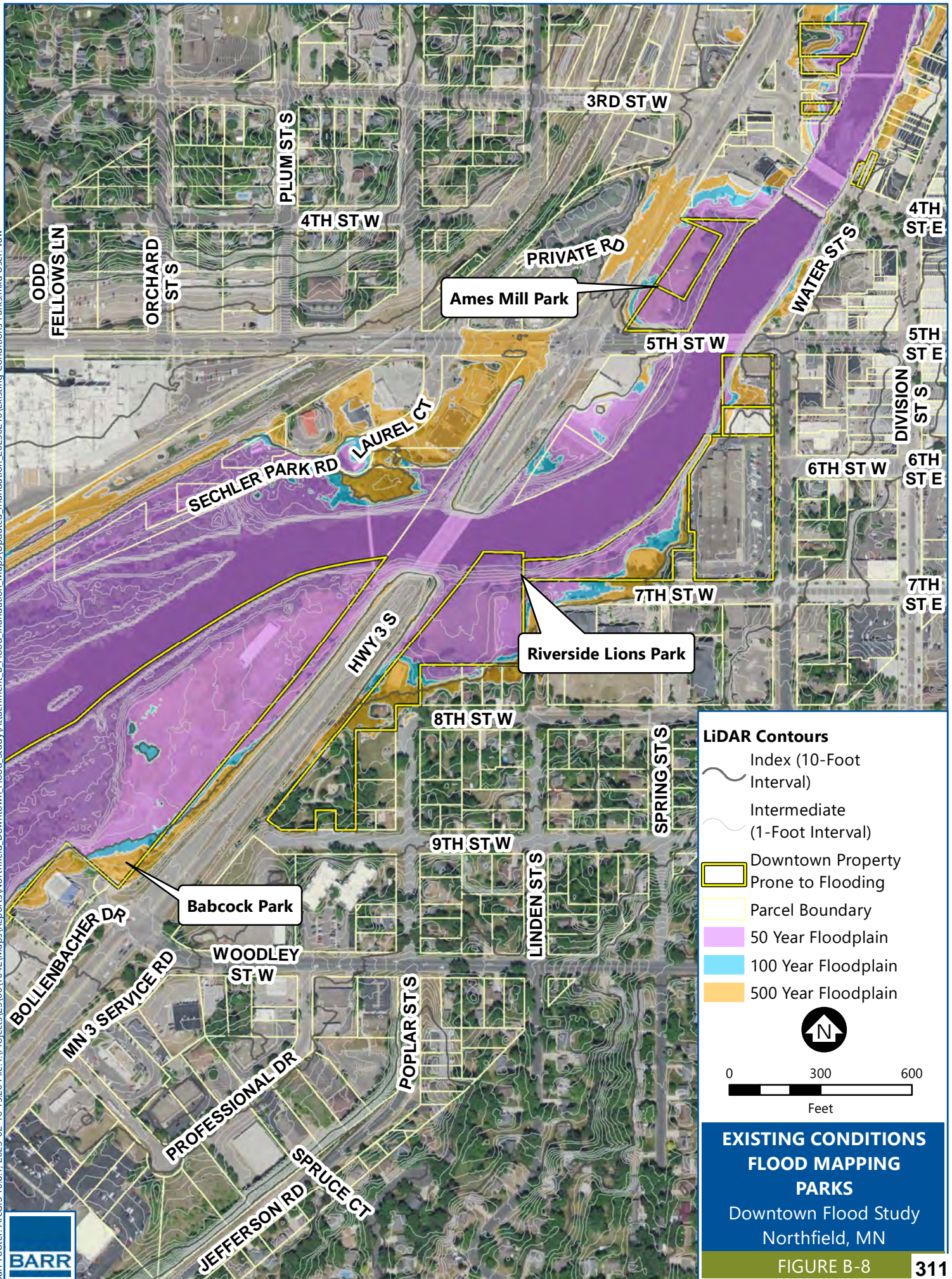




- Proposed Conditions
- Survey Contours**
 - Index (10-Foot Interval)
 - Intermediate (1-Foot Interval)
- contour_type**
 - Index (10-Foot Interval)
 - Intermediate (1-Foot Interval)
- Downtown Property Prone to Flooding
- Parcel Boundary
- 50 Year Floodplain
- 100 Year Floodplain
- 500 Year Floodplain

0 50 100
Feet

**PROPOSED CONDITIONS
FLOOD MAPPING ALT 3-4
TEMPORARY BARRIER**
Flood Study
Northfield, MN
FIGURE B-7 310



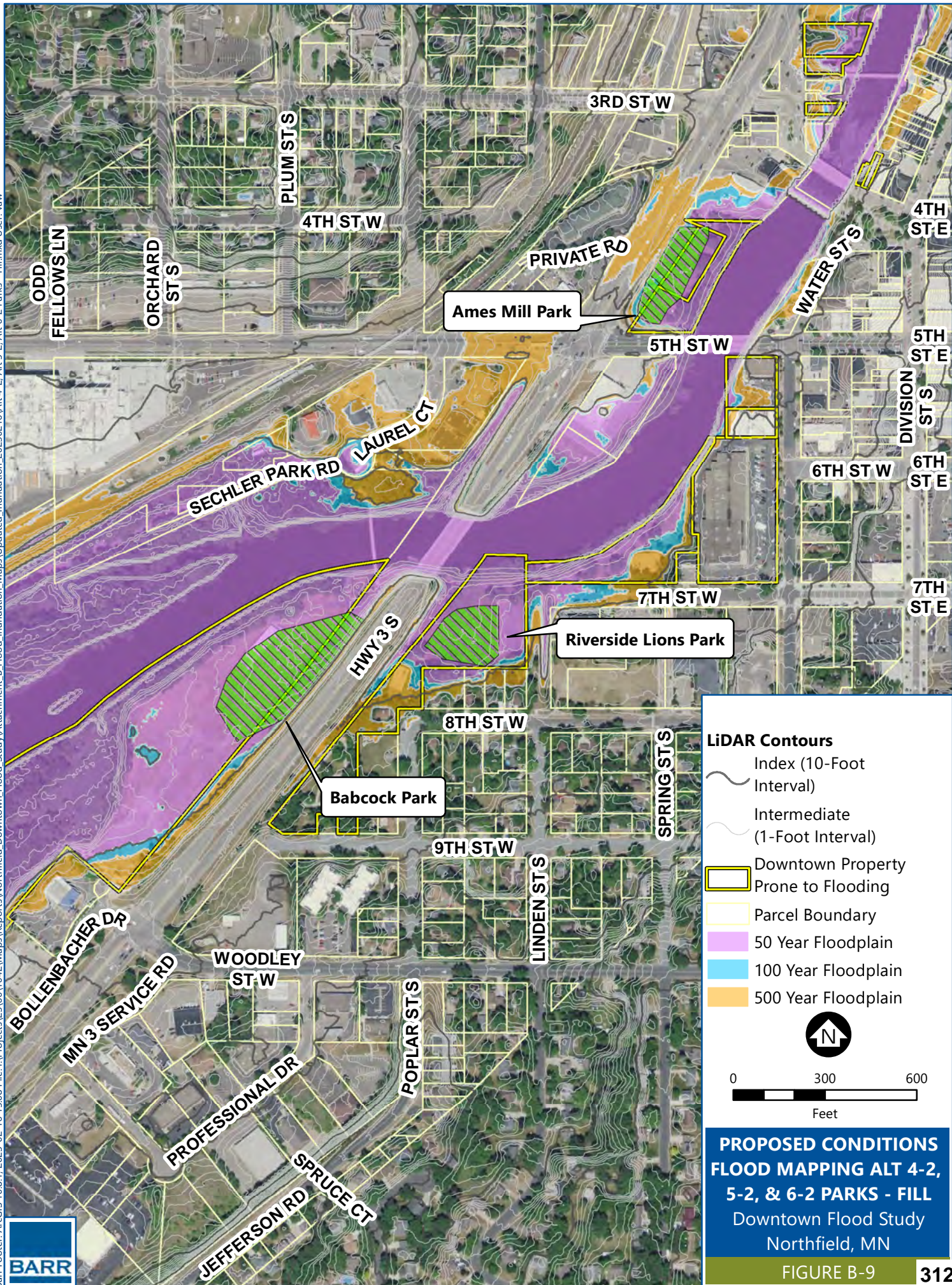
LIDAR Contours

- Index (10-Foot Interval)
- Intermediate (1-Foot Interval)

- Downtown Property Prone to Flooding
- Parcel Boundary
- 50 Year Floodplain
- 100 Year Floodplain
- 500 Year Floodplain

EXISTING CONDITIONS FLOOD MAPPING PARKS
 Downtown Flood Study
 Northfield, MN
 FIGURE B-8 **311**





LIDAR Contours

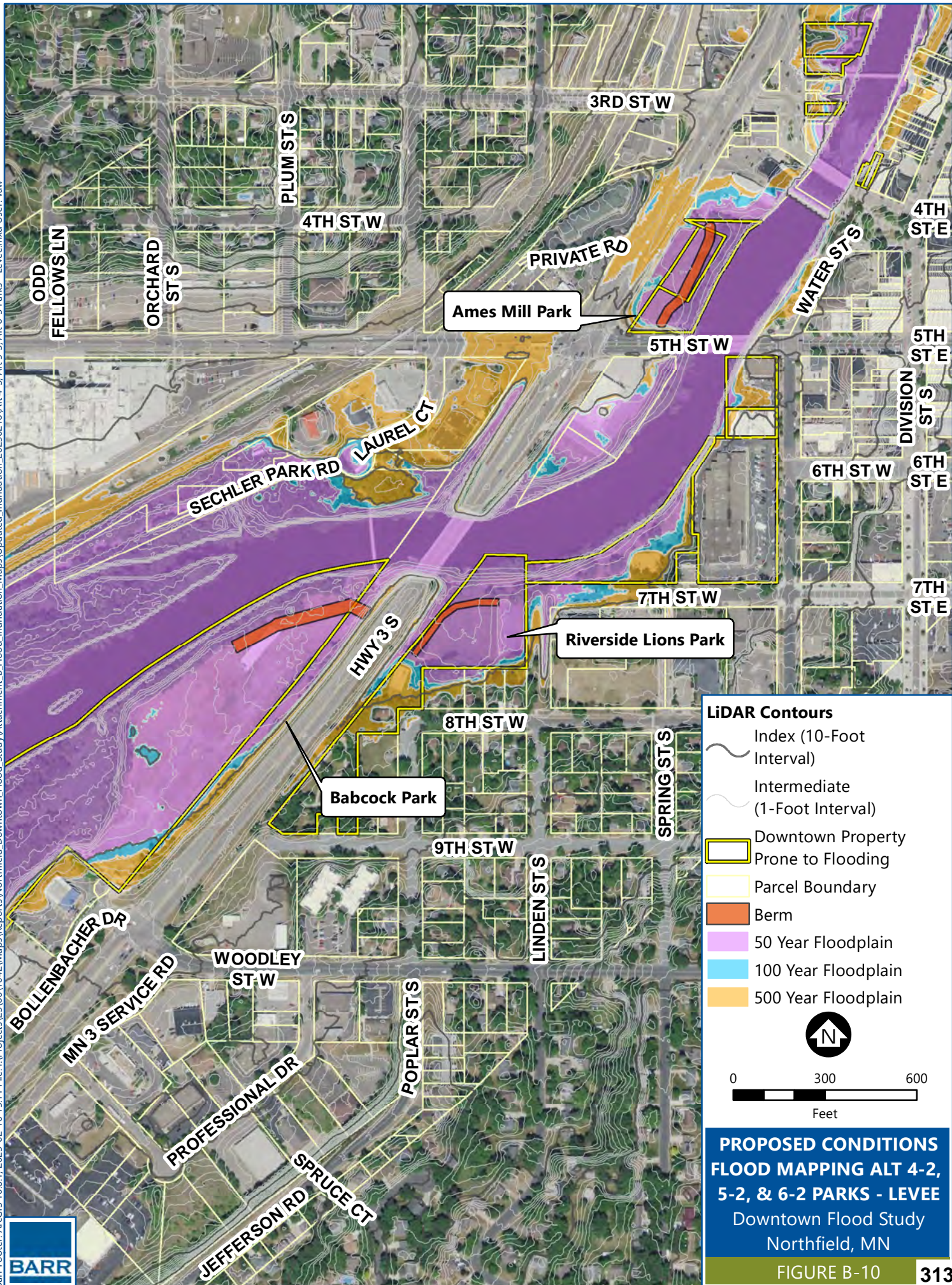
- Index (10-Foot Interval)
- Intermediate (1-Foot Interval)

- Downtown Property Prone to Flooding
- Parcel Boundary
- 50 Year Floodplain
- 100 Year Floodplain
- 500 Year Floodplain

0 300 600
Feet

PROPOSED CONDITIONS FLOOD MAPPING ALT 4-2, 5-2, & 6-2 PARKS - FILL
Downtown Flood Study
Northfield, MN
FIGURE B-9 **312**





LIDAR Contours

- Index (10-Foot Interval)
- Intermediate (1-Foot Interval)

Downtown Property Prone to Flooding

Parcel Boundary

Berm

50 Year Floodplain

100 Year Floodplain

500 Year Floodplain

0 300 600
Feet

**PROPOSED CONDITIONS
FLOOD MAPPING ALT 4-2,
5-2, & 6-2 PARKS - LEVEE**
Downtown Flood Study
Northfield, MN
FIGURE B-10 313



Attachment C

Carleton College Alternatives Concept Design Figures



Barr Footer: ArcGIS 10.8.1, 2023-02-09 17:21 File: \\barr.com\d\Projects\23166\1042\Maps\Reports\Carlton_Alternatives\Figure C-1 Carleton Alternatives Overview.mxd User: vaw

Imagery Source: Nearmap 09/02/2022

- Floodwall
- Temporary Barrier
- Temporary Closure
- Seal Building Envelope
- Berm
- Temporary Closure
- Index Contour (10-Foot Interval)
- Intermediate Contour (1-Foot Interval)
- Floodway
- FEMA 100-Year Floodplain
- New 100-Year Floodplain

NORTHFIELD DOWNTOWN FLOOD STUDY
CARLETON COLLEGE
 Overview Map
 Northfield, MN

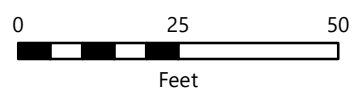
0 120 240
 Feet

FIGURE C-1 **315**



Imagery Source: Nearmap 09/02/2022

- █ Temporary Barrier
- ~ Index Contour (10-Foot Interval)
- ~ Intermediate Contour (1-Foot Interval)
- █ Temporary Barrier

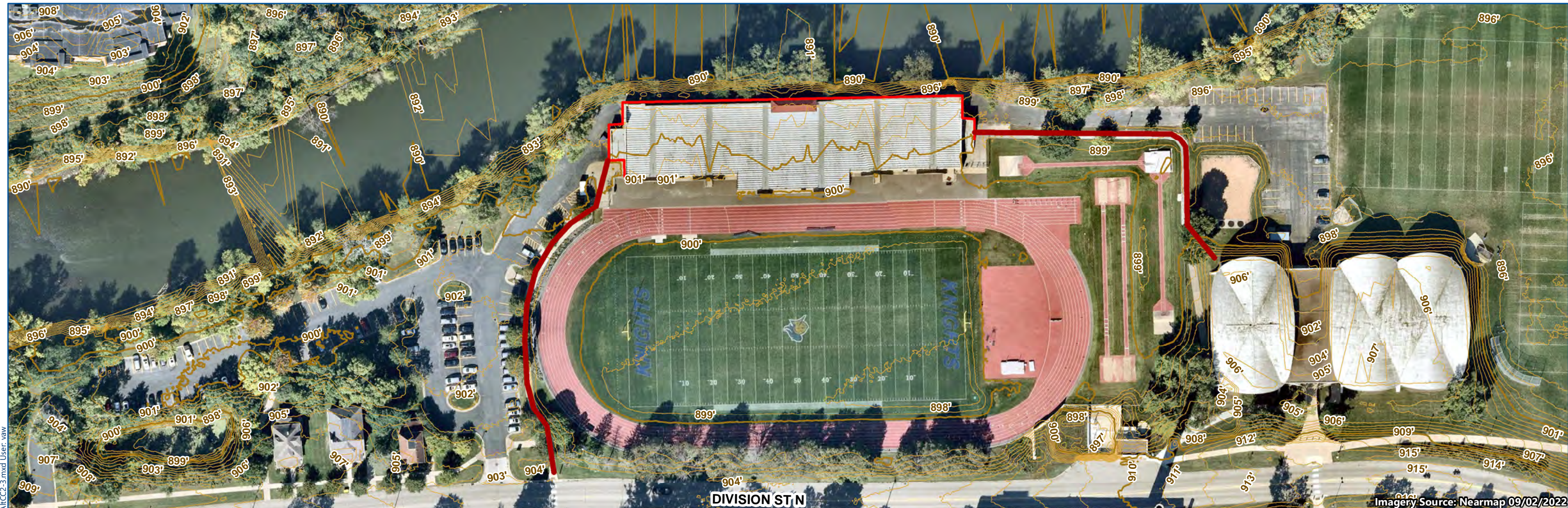


Note: Scale, and North Arrow reference the plan view only.

NORTHFIELD DOWNTOWN FLOOD STUDY
CARLETON COLLEGE
 Area CC1 Student Houses
 Alt CC1-2 Temporary Barrier
 Northfield, MN

Barr Footer: ArcGIS 10.8.1, 2023-02-09 17:41 File: \\barr.com\gis\Projects\23166\1042\Maps\Reports\Carlton_Alternatives\Figure C-2 Area CC1-2.mxd User: vaw

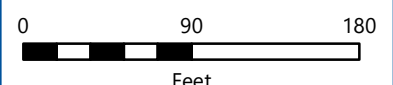




Imagery Source: Nearmap 09/02/2022



- Temporary Barrier
- ▭ Seal Building Envelope
- ~ Index Contour (10-Foot Interval)
- ~ Intermediate Contour (1-Foot Interval)
- ▭ Temporary Barrier

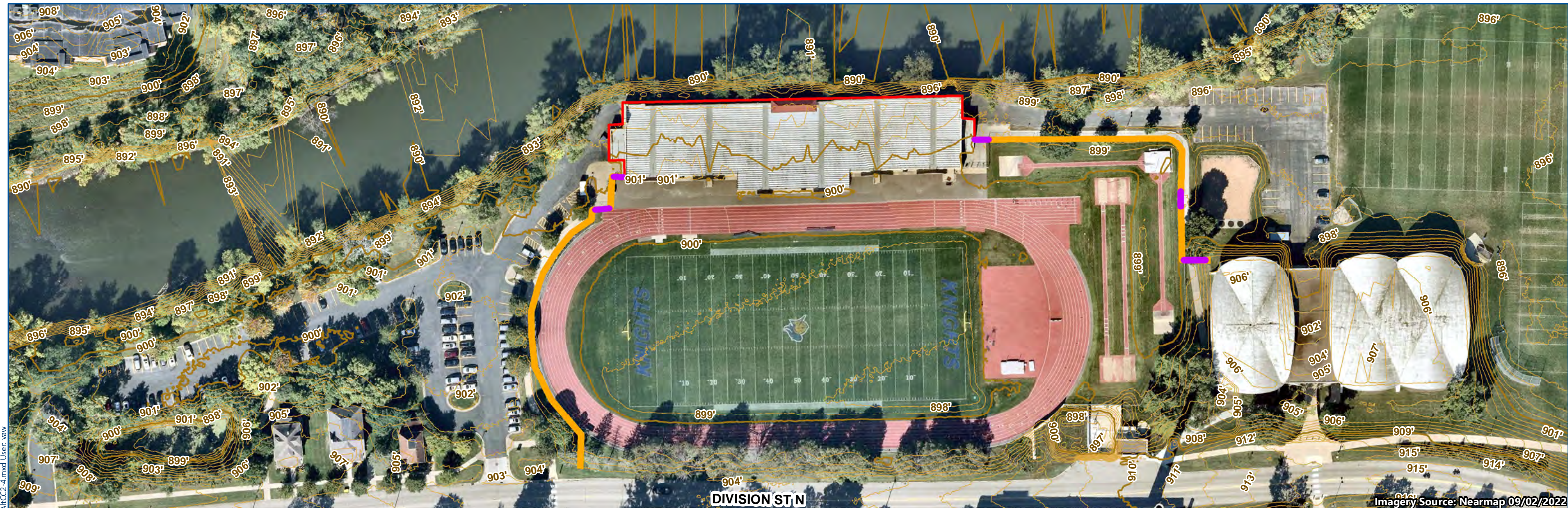


Note: Scale, and North Arrow reference the plan view only.

NORTHFIELD DOWNTOWN FLOOD STUDY
CARLETON COLLEGE
 Area CC2 Stadium
 Alt CC2-3 Temporary Barrier
 Northfield, MN

Barr Footer: ArcGIS 10.8.1, 2023-02-09 17:42 File: \\barr.com\gis\Projects\23166\1042\Map3\Reports\Carlton_Alternatives\Figure C-3 Area CC2 AltCC2-3.mxd User: vaw




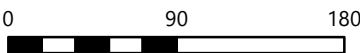


Imagery Source: Nearmap 09/02/2022



- Floodwall
- Temporary Closure
- Seal Building Envelope
- Index Contour (10-Foot Interval)
- Intermediate Contour (1-Foot Interval)
- Floodwall
- Temporary Closure





0 90 180
Feet

Note: Scale, and North Arrow reference the plan view only.

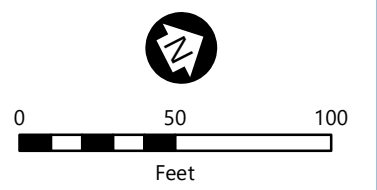
NORTHFIELD DOWNTOWN FLOOD STUDY
CARLETON COLLEGE
 Area CC2 Stadium
 Alt CC2-4 Floodwall
 Northfield, MN



Imagery Source: Nearmap 09/02/2022



- Temporary Closure
- Sidewalk Access
- Index Contour (10-Foot Interval)
- Intermediate Contour (1-Foot Interval)
- Temporary Closure



Note: Scale, and North Arrow reference the plan view only.

NORTHFIELD DOWNTOWN FLOOD STUDY
CARLETON COLLEGE
 Area CC3 West Gym
 Alt CC3-2 Temporary Closure
 Northfield, MN

FIGURE C-5 319

Barr Footer: ArcGIS 10.8.1, 2023-02-09 17:59 File: \\barrcom\gis\Projects\23166\1042\Maps\Reports\Carlton_Alternatives\Figure C-5 Area CC3 Alt3-2.mxd User: vaw







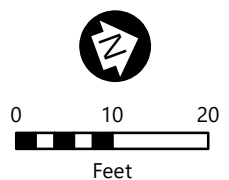


Imagery Source: Nearmap 09/02/2022

Barr Footer: ArcGIS 10.8.1, 2023-02-14 15:01 File: \\barr.com\gis\Projects\23166\1042\Maps\Reports\Carlton_Alternatives\Figure C-6 Area CC4 AltCC4-2.mxd User: vaw



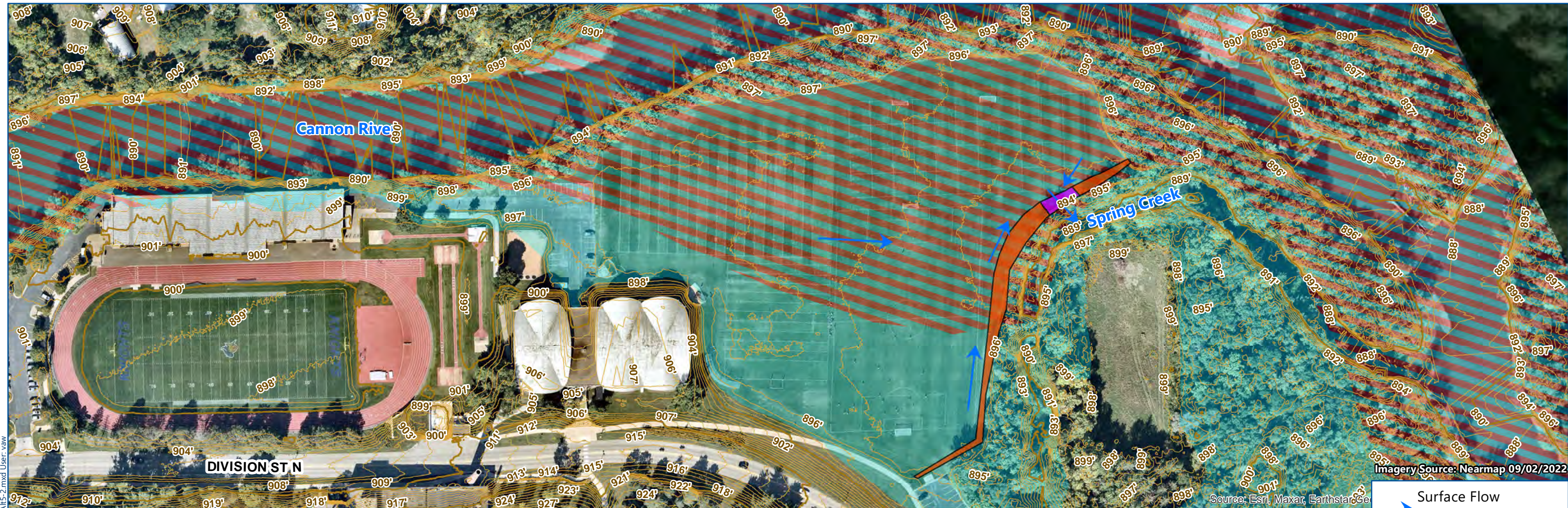
-  Temporary Closure
-  Index Contour (10-Foot Interval)
-  Intermediate Contour (1-Foot Interval)
-  Temporary Closure



Note: Scale, and North Arrow reference the plan view only.

NORTHFIELD DOWNTOWN FLOOD STUDY
CARLETON COLLEGE
 Area CC4 Pump House
 Alt C4-2
 Northfield, MN













Barr Footer: ArcGIS 10.8.1, 2023-02-14 15:06 File: \\barr.com\gis\Projects\23166\1042\Maps\Reports\Carlton_Alternatives\Figure C-7 Area CC5-2.mxd User: vaw

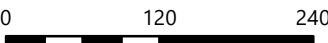
Imagery Source: Nearmap 09/02/2022

Source: Esri, Maxar, Earthstar, Geo



-  Surface Flow Direction
-  Berm
-  Temporary Closure
-  Index Contour (10-Foot Interval)
-  Intermediate Contour (1-Foot Interval)
-  Floodway
-  FEMA 100-Year Floodplain





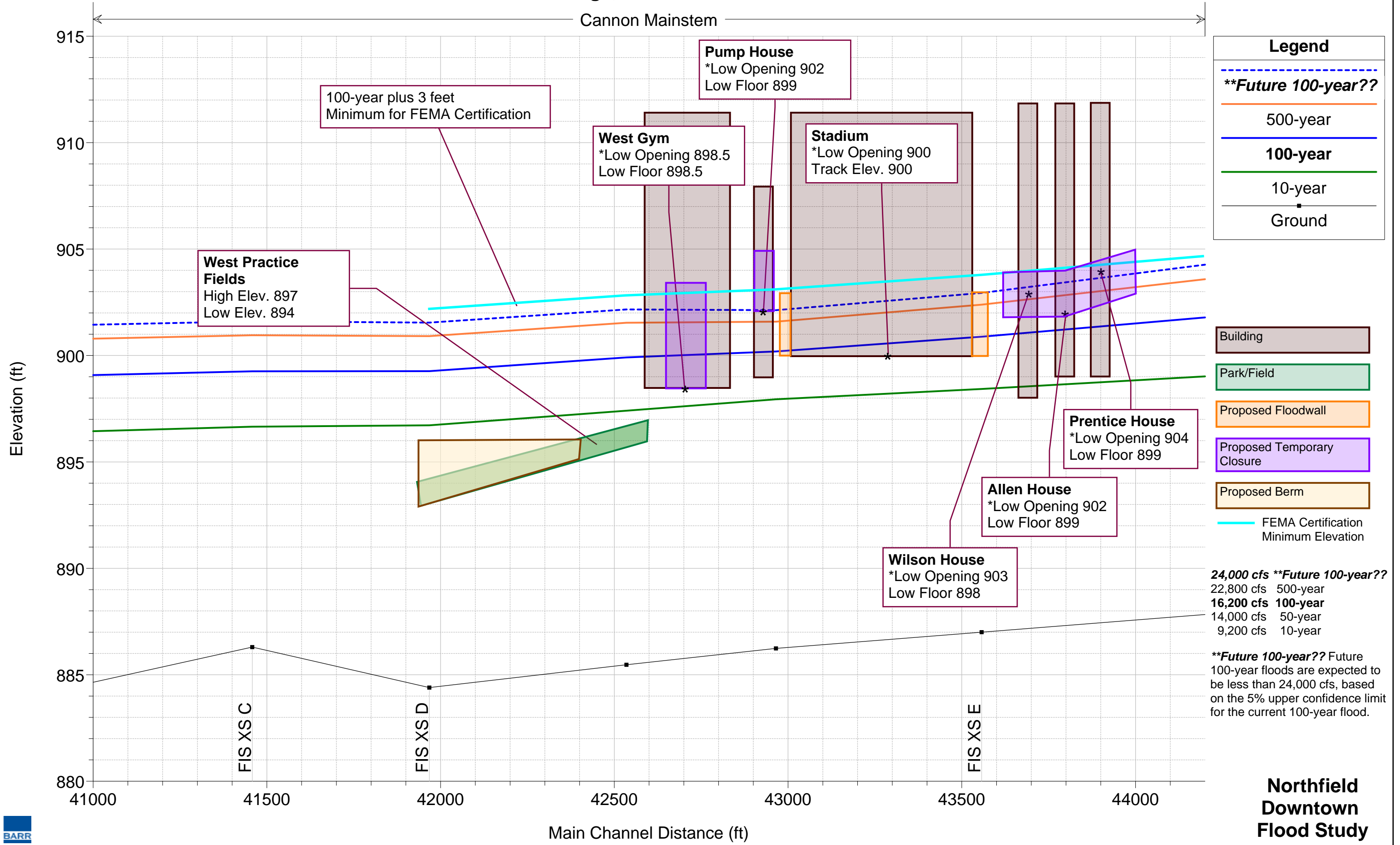
0 120 240
Feet

Note: Scale, and North Arrow reference the plan view only.

NORTHFIELD DOWNTOWN FLOOD STUDY
CARLETON COLLEGE
 Area CC5 Practice Fields
 Alt CC5-2 Berm
 Northfield, MN



Carleton College, Cannon River East Bank



322 Figure C-8 Cannon River Flood Profiles at Carleton College








Attachment D

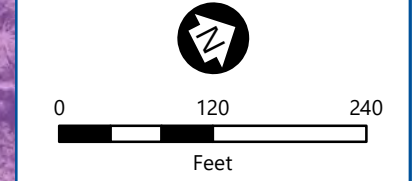
Carleton College Alternatives Flood Inundation Maps



Barr Footer: ArcGIS 10.8.1, 2023-02-22 11:41 File: \\barr.com\d\Projects\23166\1042\Maps\Reports\Carleton - Alternatives\Unundation - Maps\Figure D-1 Existing Conditions - Carleton College.mxd User: vaw

Imagery Source: Nearmap 09/02/2022

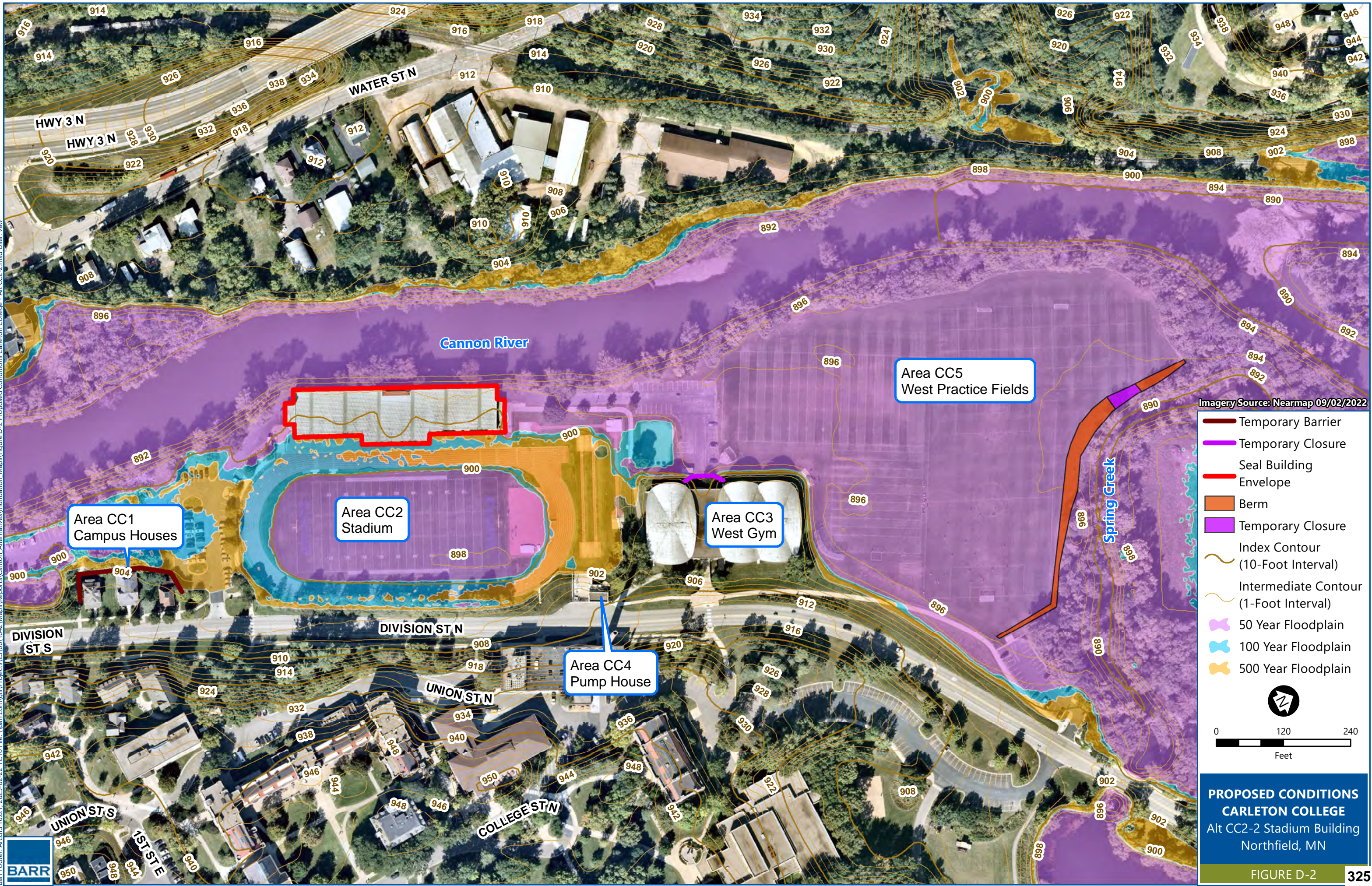
-  Index Contour (10-Foot Interval)
-  Intermediate Contour (1-Foot Interval)
-  50 Year Floodplain
-  100 Year Floodplain
-  500 Year Floodplain



**EXISTING CONDITIONS
CARLETON COLLEGE**
Overview Map
Northfield, MN



Barr Footer: ArcGIS 10.8.1, 2023-02-22 12:10 File: \\barr.com\dms\Projects\23166\1042\Maps\Reports\Carlton_AltCC2-2\Unundation_Maps\Figure D-2 Proposed Conditions Carlton College - Alt CC2-2.mxd User: vaw



Area CC5
West Practice Fields

Area CC1
Campus Houses

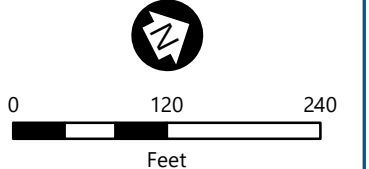
Area CC2
Stadium

Area CC3
West Gym

Area CC4
Pump House

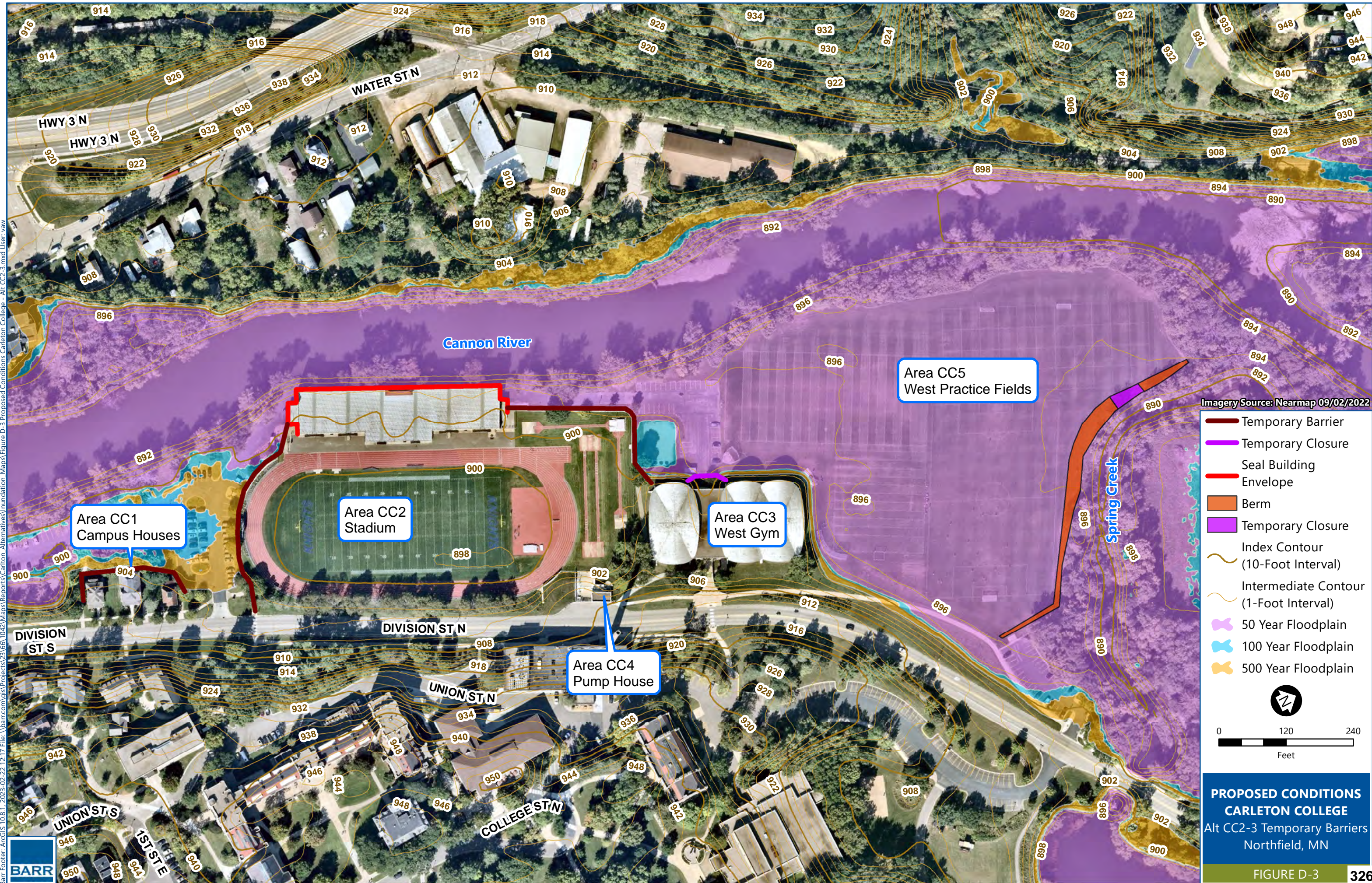
Imagery Source: Nearmap 09/02/2022

- Temporary Barrier
- Temporary Closure
- Seal Building Envelope
- Berm
- Temporary Closure
- Index Contour (10-Foot Interval)
- Intermediate Contour (1-Foot Interval)
- 50 Year Floodplain
- 100 Year Floodplain
- 500 Year Floodplain



**PROPOSED CONDITIONS
CARLETON COLLEGE**
Alt CC2-2 Stadium Building
Northfield, MN

Barr Footer: ArcGIS 10.8.1, 2023-02-22 12:17 File: \\barr.com\d\Projects\23166\1042\Maps\Reports\Carlton_AltCC2-3\Unundation_Maps\Figure D-3 Proposed Conditions Carlton College - Alt CC2-3.mxd User: vaw



Area CC5
West Practice Fields

Area CC1
Campus Houses

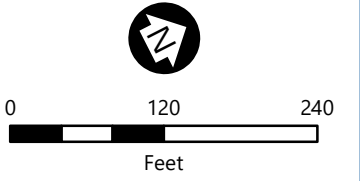
Area CC2
Stadium

Area CC3
West Gym

Area CC4
Pump House

Imagery Source: Nearmap 09/02/2022

- Temporary Barrier
- Temporary Closure
- Seal Building Envelope
- Berm
- Temporary Closure
- Index Contour (10-Foot Interval)
- Intermediate Contour (1-Foot Interval)
- 50 Year Floodplain
- 100 Year Floodplain
- 500 Year Floodplain



**PROPOSED CONDITIONS
CARLETON COLLEGE**
Alt CC2-3 Temporary Barriers
Northfield, MN

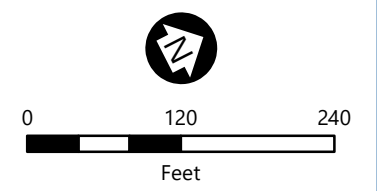




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Imagery Source: Nearmap 09/02/2022

- Temporary Barrier
- Temporary Closure
- Seal Building Envelope
- Berm
- Temporary Closure
- Index Contour (10-Foot Interval)
- Intermediate Contour (1-Foot Interval)
- 50 Year Floodplain
- 100 Year Floodplain
- 500 Year Floodplain



PROPOSED CONDITIONS
CARLETON COLLEGE
 Alt CC2-4 Floodwall
 Northfield, MN

FIGURE D-4 327

Attachment E

Engineer's Opinion of Probable Costs

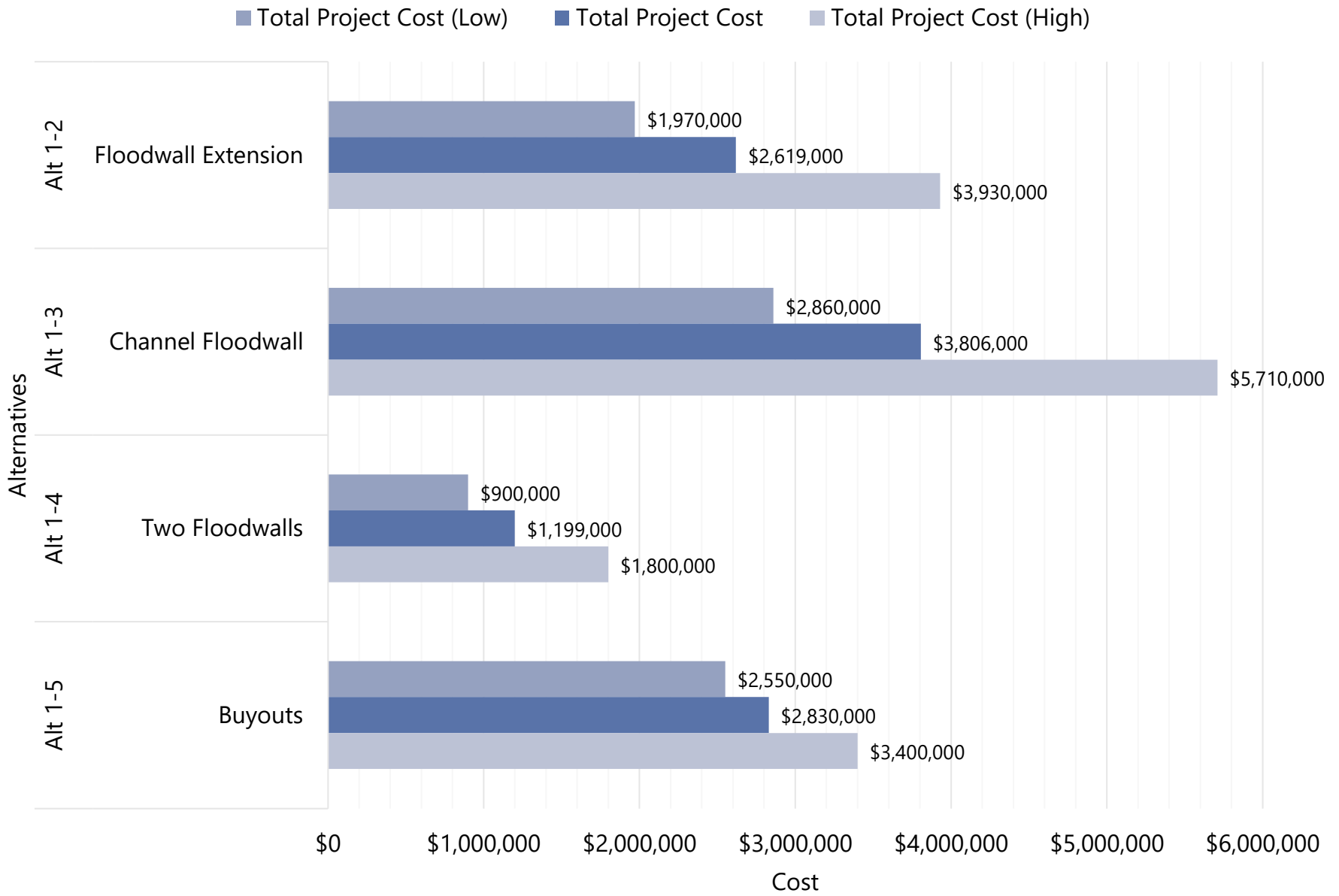
Northfield Downtown Flood Study - Class 4 Opinion of Probable Cost

Alternative	Name	Estimated Construction Cost	Engineering	Permitting	Total Project Cost	Total Project Cost (Low)	Total Project Cost (High)
Alt 1-1	No Change	N/A	N/A	N/A	N/A	N/A	N/A
Alt 1-2	Floodwall Extension	\$1,940,000	\$485,000	\$194,000	\$2,619,000	\$1,970,000	\$3,930,000
Alt 1-3	Channel Floodwall	\$2,819,000	\$705,000	\$282,000	\$3,806,000	\$2,860,000	\$5,710,000
Alt 1-4	Two Floodwalls	\$888,000	\$222,000	\$89,000	\$1,199,000	\$900,000	\$1,800,000
Alt 1-5	Buyouts	\$0	\$0	\$0	\$2,830,000	\$2,550,000	\$3,400,000
Alt 2-1	No Change	N/A	N/A	N/A	N/A	N/A	N/A
Alt 2-2	Dry Floodproofing	\$403,000	\$101,000	\$40,000	\$544,000	\$410,000	\$820,000
Alt 2-3	Wet Floodproofing	\$1,019,000	\$255,000	\$102,000	\$1,376,000	\$1,040,000	\$2,070,000
Alt 2-4	Buyouts	\$1,900,000	\$0	\$0	\$1,900,000	\$1,710,000	\$2,280,000
Alt 3-1	No Change	N/A	N/A	N/A	N/A	N/A	N/A
Alt 3-2	Dry Floodproofing	\$145,000	\$36,000	\$15,000	\$196,000	\$150,000	\$300,000
Alt 3-3	Floodwall	\$2,126,000	\$532,000	\$213,000	\$2,871,000	\$2,160,000	\$4,310,000
Alt 3-4	Temporary Barriers	\$85,000	\$0	\$0	\$85,000	\$64,000	\$128,000
Alt 3-5	Buyouts	\$8,230,000	\$0	\$0	\$8,230,000	\$7,410,000	\$9,880,000
Alt 4-1	No Change	N/A	N/A	N/A	N/A	N/A	N/A
Alt 4-2	Ames Park Fill	\$130,000	\$33,000	\$13,000	\$176,000	\$140,000	\$270,000
Alt 4-3	Ames Park Levee	\$151,000	\$38,000	\$15,000	\$204,000	\$160,000	\$310,000
Alt 4-4	Ames Park Floodwall	\$736,000	\$184,000	\$74,000	\$994,000	\$750,000	\$1,500,000
Alt 5-1	No Change	N/A	N/A	N/A	N/A	N/A	N/A
Alt 5-2	Riverside Lions Park Fill	\$124,000	\$31,000	\$12,000	\$167,000	\$130,000	\$260,000
Alt 5-3	Riverside Lions Park Levee	\$156,000	\$39,000	\$16,000	\$211,000	\$160,000	\$320,000
Alt 5-4	Riverside Lions Park Floodwall	\$713,000	\$178,000	\$71,000	\$962,000	\$730,000	\$1,450,000
Alt 6-1	No Change	N/A	N/A	N/A	N/A	N/A	N/A
Alt 6-2	Babcock Park Fill	\$280,000	\$70,000	\$28,000	\$378,000	\$290,000	\$570,000
Alt 6-3	Babcock Park Levee	\$208,000	\$52,000	\$21,000	\$281,000	\$220,000	\$430,000
Alt 6-4	Babcock Park Floodwall	\$930,000	\$233,000	\$93,000	\$1,256,000	\$950,000	\$1,890,000

Northfield Downtown Flood Study Carleton College Alts - Class 4 Opinion of Probable Cost

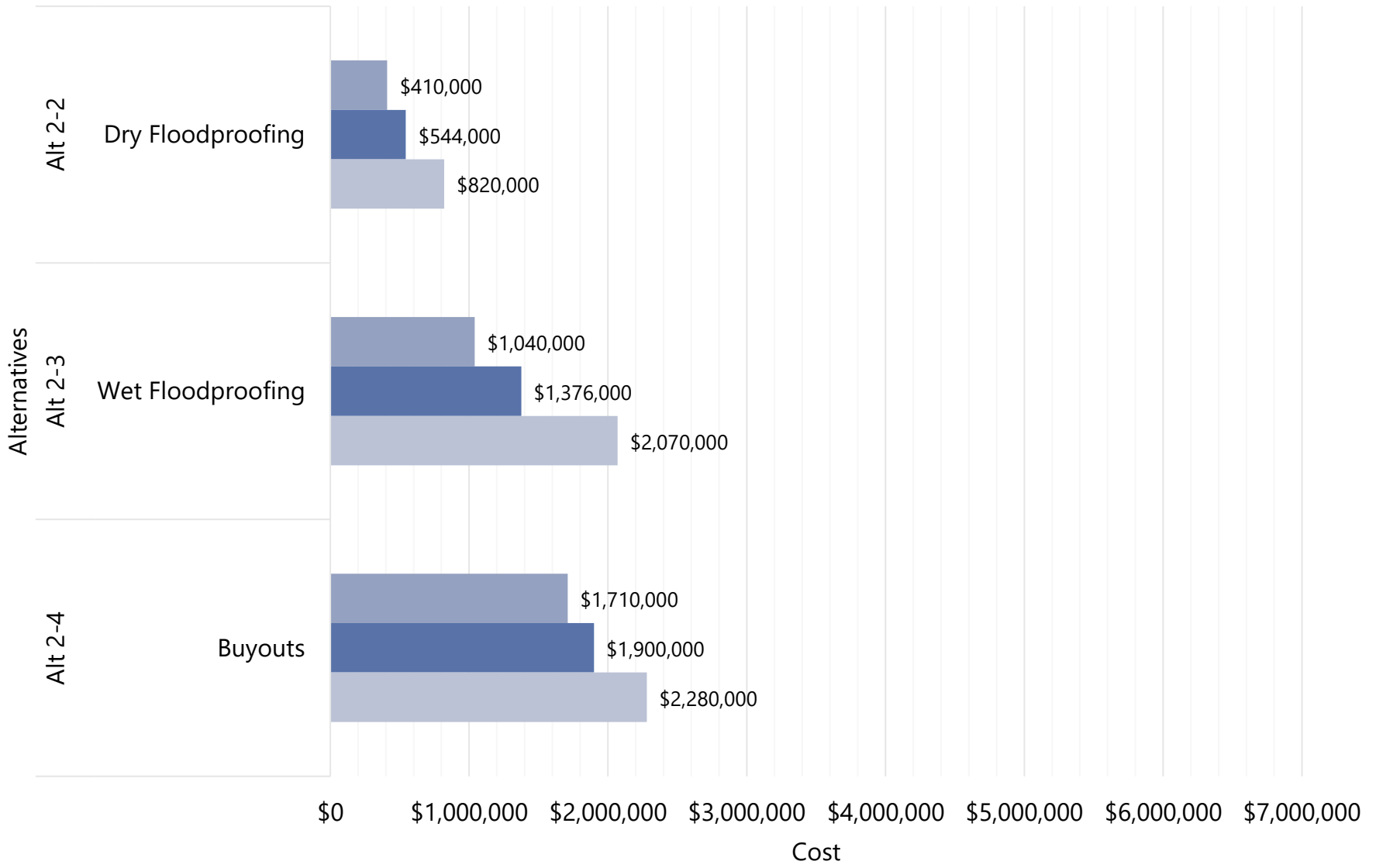
Alternative	Name	Estimated Construction Cost	Engineering	Permitting	Total Project Cost	Total Project Cost (Low)	Total Project Cost (High)
Alt CC1-1	No Change	N/A	N/A	N/A	N/A	N/A	N/A
Alt CC1-2	Temporary Barriers	\$24,000	\$0	\$0	\$24,000	\$20,000	\$40,000
Alt CC1-3	Buyouts	\$1,000,000	\$0	\$10,000	\$1,010,000	\$760,000	\$1,520,000
Alt CC2-1	No Change	N/A	N/A	N/A	N/A	N/A	N/A
Alt CC2-2	Dry Floodproofing	\$275,000	\$14,000	\$6,000	\$295,000	\$230,000	\$450,000
Alt CC2-3	Temporary Barrier	\$259,000	\$13,000	\$5,000	\$277,000	\$210,000	\$420,000
Alt CC2-4	Floodwall	\$1,410,000	\$141,000	\$71,000	\$1,622,000	\$1,220,000	\$2,440,000
Alt CC3-1	No Change	N/A	N/A	N/A	N/A	N/A	N/A
Alt CC3-2	Temporary Closure	\$119,000	\$30,000	\$12,000	\$161,000	\$130,000	\$250,000
Alt CC4-1	No Change	N/A	N/A	N/A	N/A	N/A	N/A
Alt CC4-2	Temporary Closure	\$3,000	\$800	\$300	\$4,000	\$3,000	\$6,000
Alt CC4-3	Elevate Electrical Panel	\$125,000	\$31,000	\$13,000	\$169,000	\$130,000	\$260,000
Alt CC4-4	Sump Pump	\$19,000	\$5,000	\$2,000	\$26,000	\$20,000	\$40,000
Alt CC5-1	No Change	N/A	N/A	N/A	N/A	N/A	N/A
Alt CC5-2	Practice Field Berm	\$46,000	\$12,000	\$7,000	\$65,000	\$50,000	\$100,000

Area 1 - Engineers Class 4 Opinion of Probable Cost

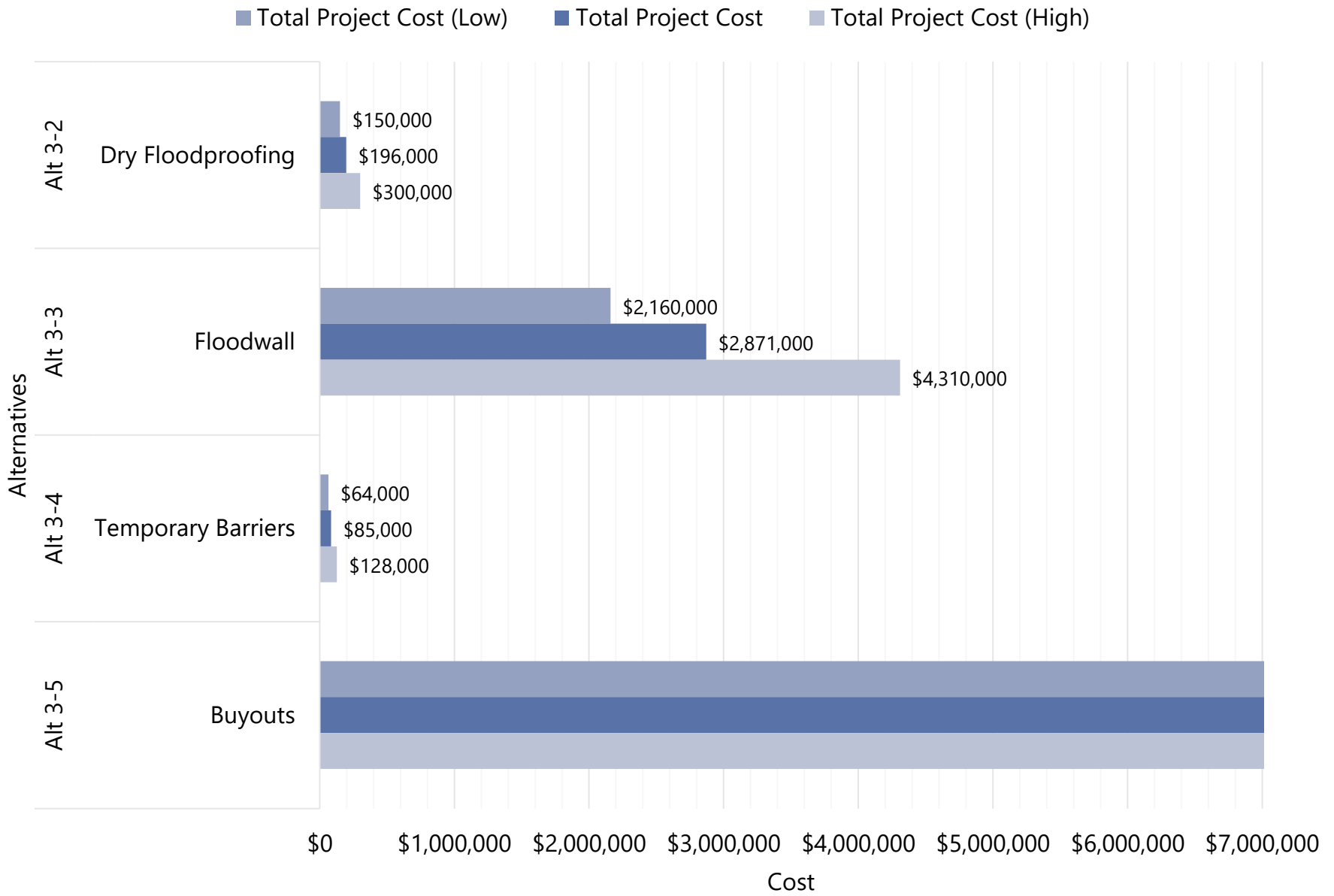


Area 2 - Engineers Class 4 Opinion of Probable Cost

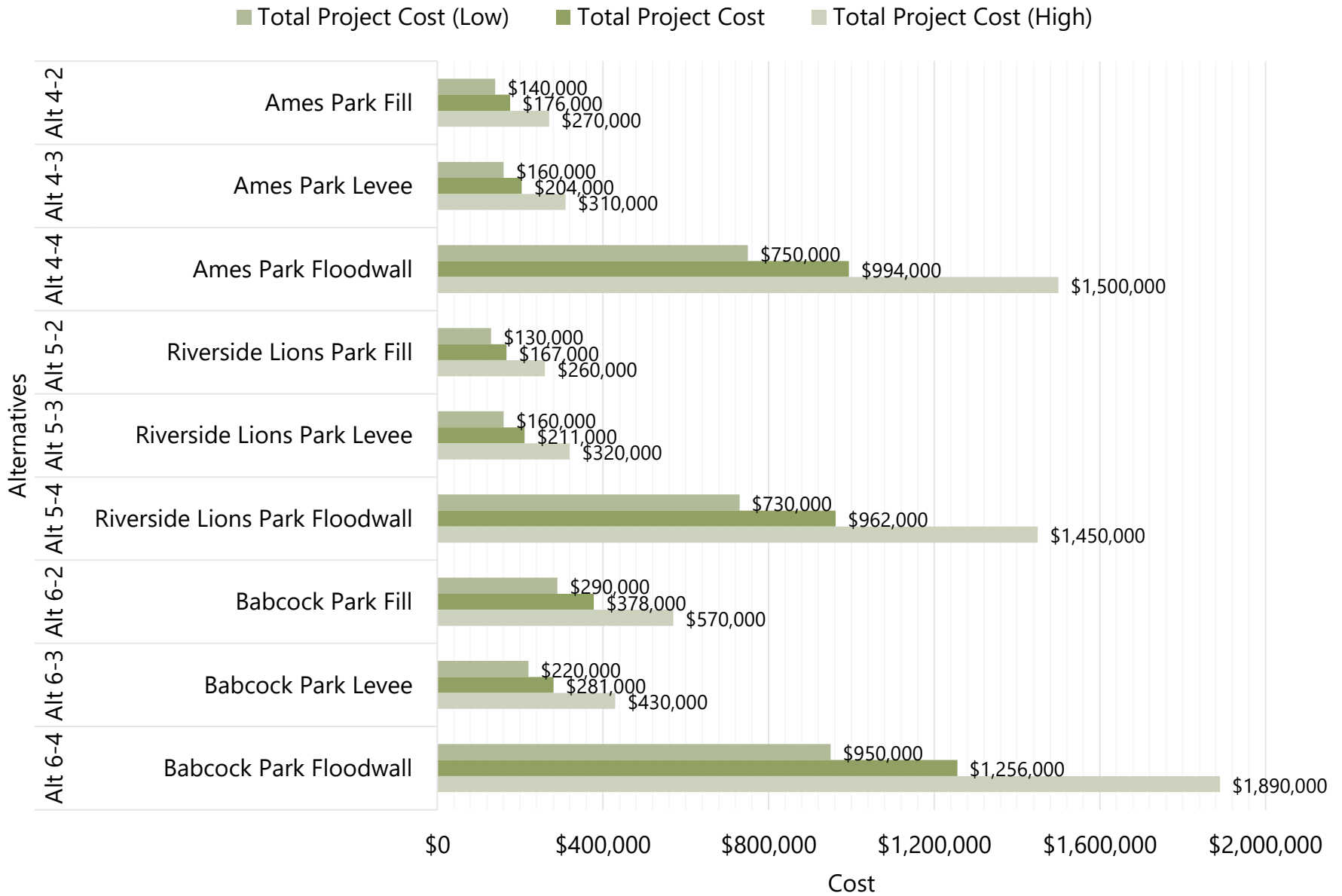
■ Total Project Cost (Low) ■ Total Project Cost ■ Total Project Cost (High)



Area 3 - Engineers Class 4 Opinion of Probable Cost

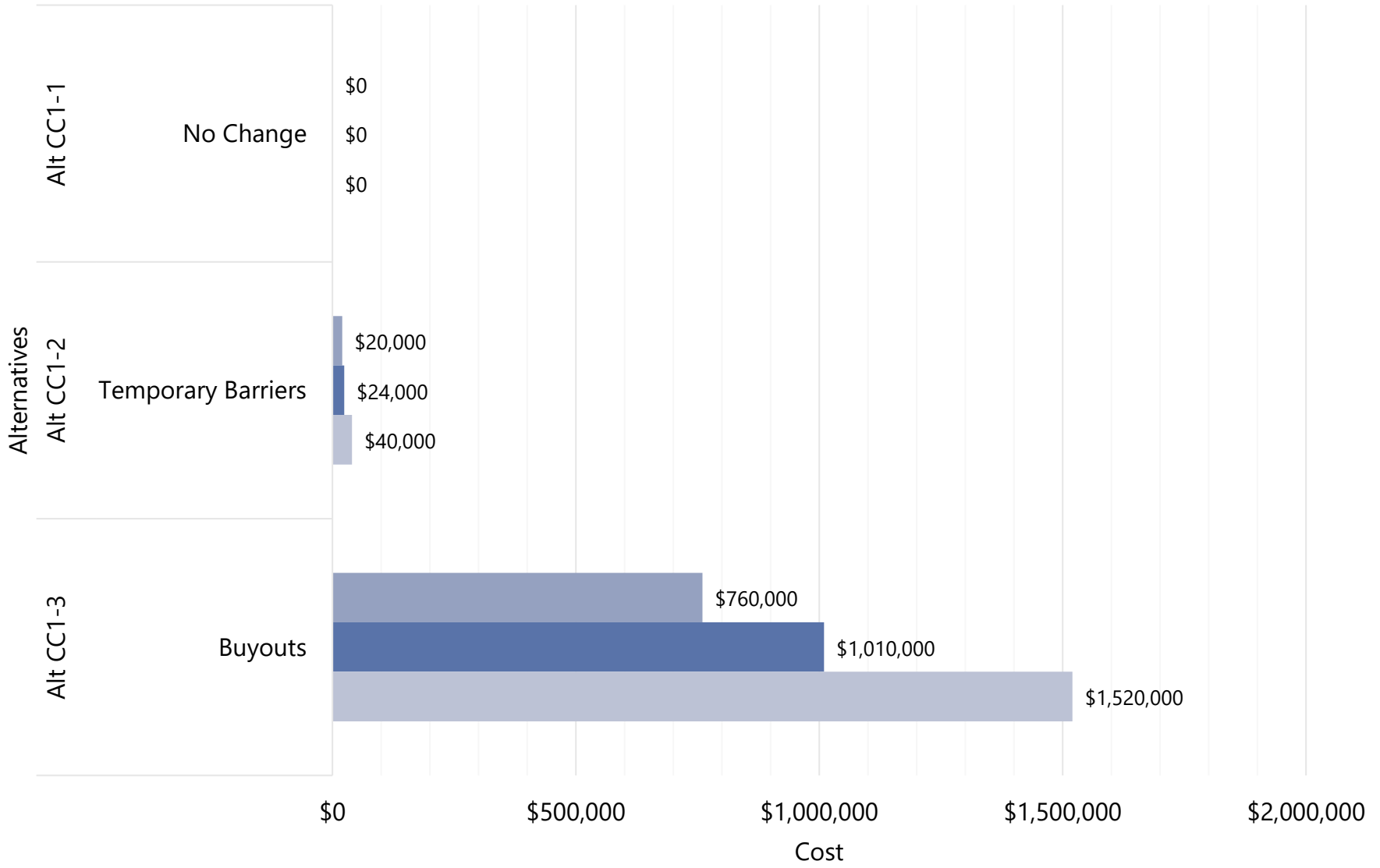


Parks - Engineers Class 4 Opinion of Probable Cost



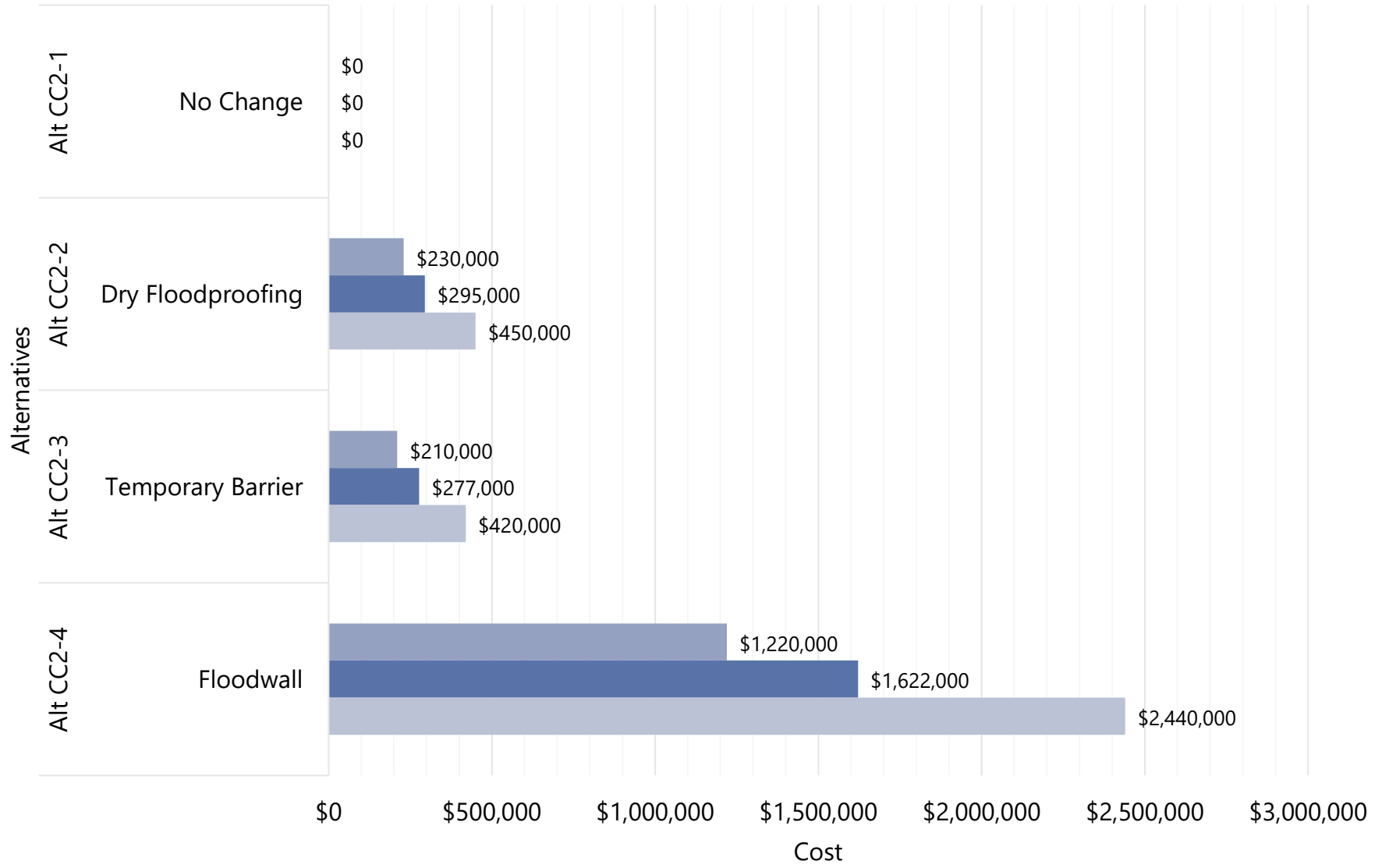
Area CC1 Student Houses - Engineers Class 4 Opinion of Probable Cost

■ Total Project Cost (Low) ■ Total Project Cost ■ Total Project Cost (High)



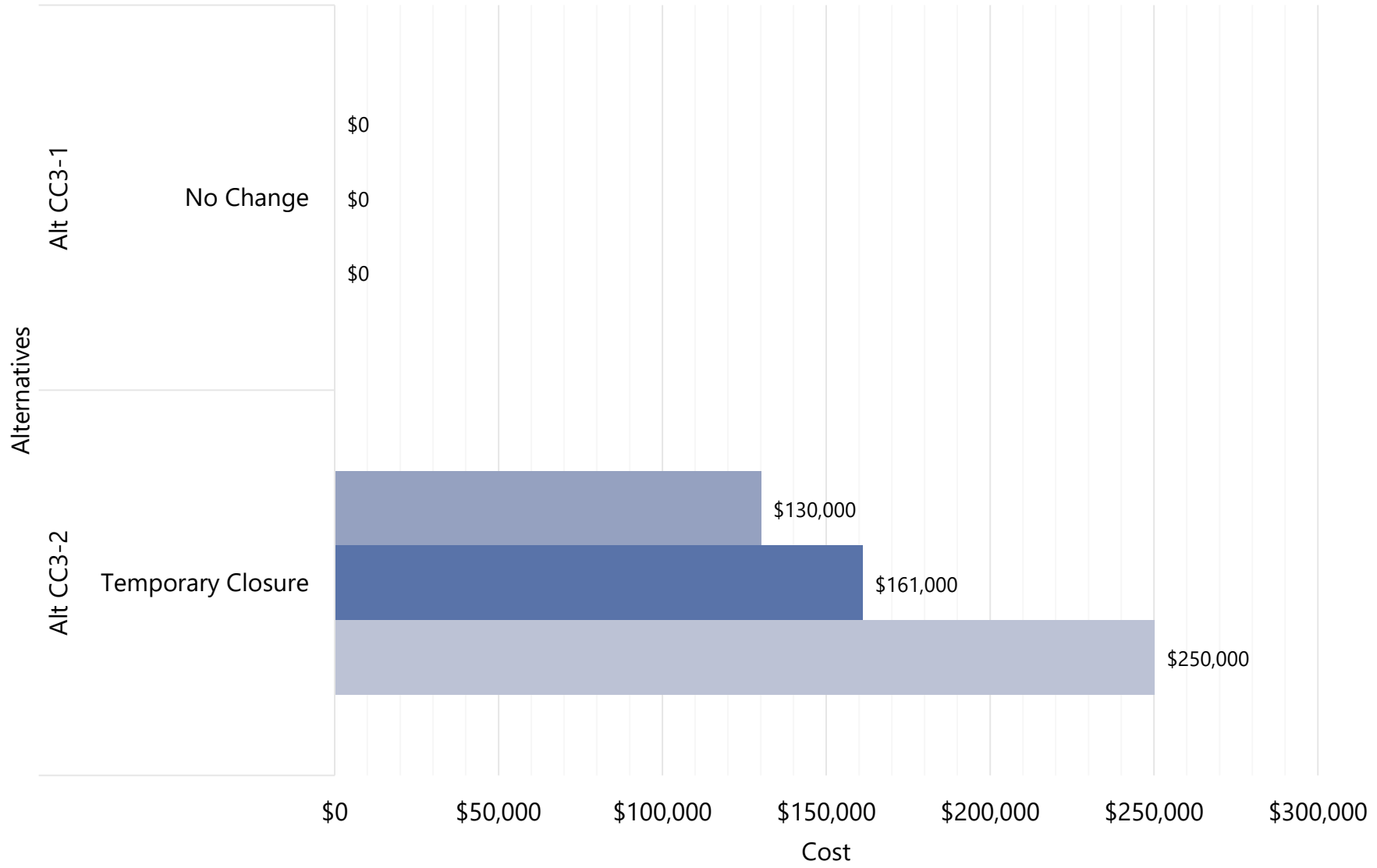
Area CC2 Stadium - Engineers Class 4 Opinion of Probable Cost

■ Total Project Cost (Low) ■ Total Project Cost ■ Total Project Cost (High)



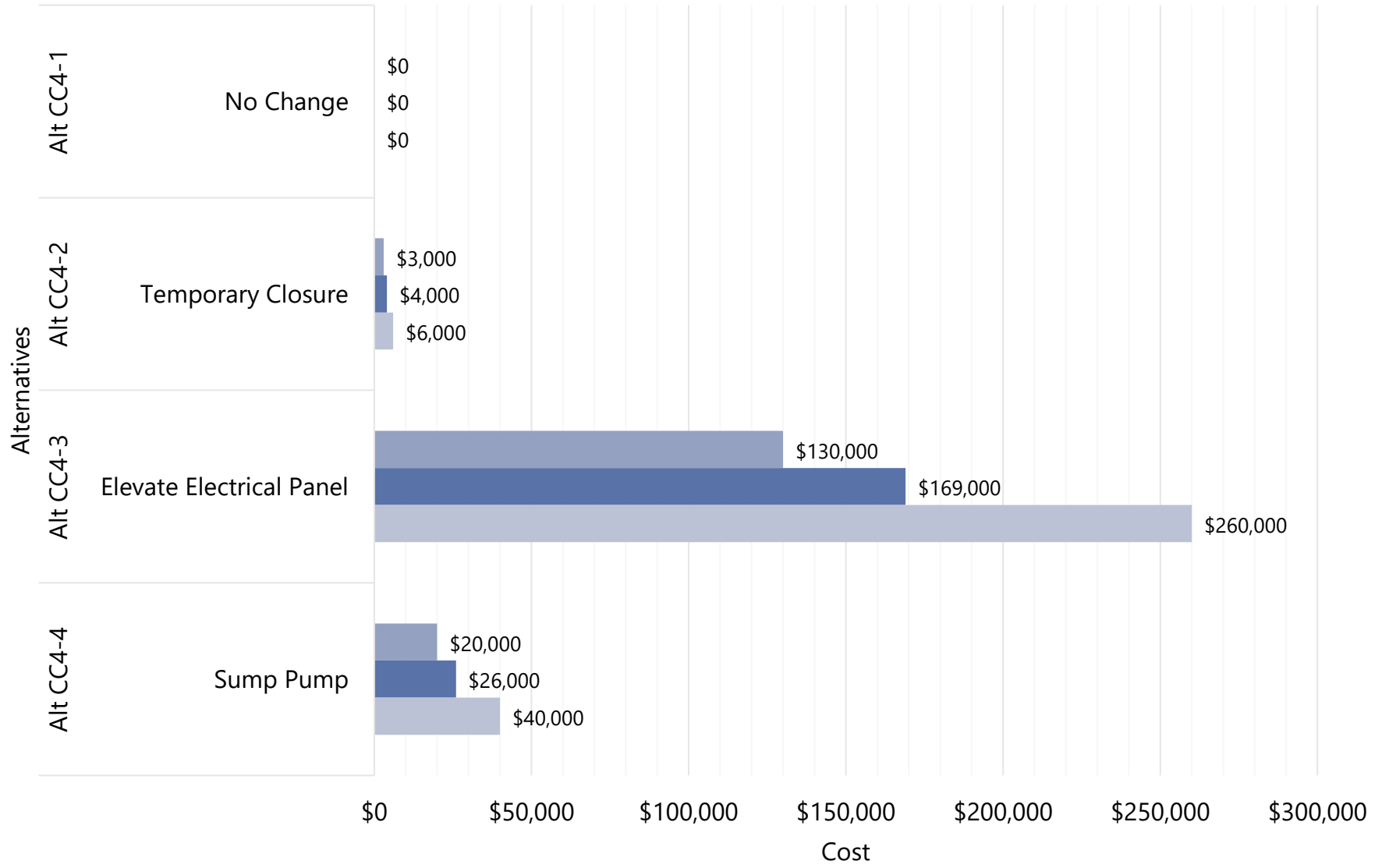
Area CC3 West Gym - Engineers Class 4 Opinion of Probable Cost

■ Total Project Cost (Low) ■ Total Project Cost ■ Total Project Cost (High)



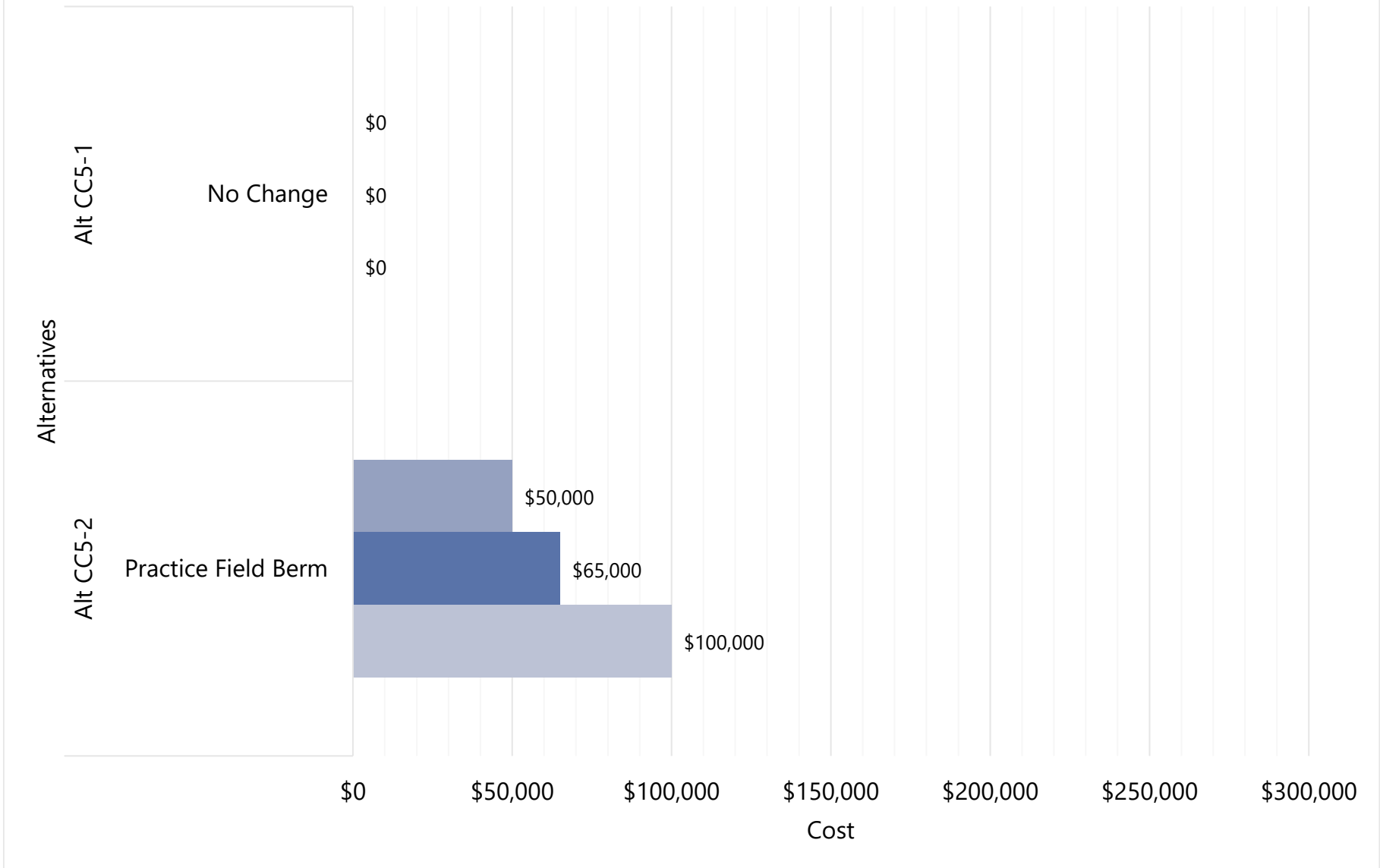
Area CC4 Pump House - Engineers Class 4 Opinion of Probable Cost

■ Total Project Cost (Low)
 ■ Total Project Cost
 ■ Total Project Cost (High)



Area CC5 West Practice Fields - Engineers Class 4 Opinion of Probable Cost

■ Total Project Cost (Low) ■ Total Project Cost ■ Total Project Cost (High)



Attachment F

Alternative Scoring and Recommendations

Northfield Downtown Flood Study - Alternative Scoring

				values weight	0 to 1 50	0 to 1 50	0 to 1 50	0 to 1 100	0 to 1 80	0 to 1 50	0 to 1 20	0 to 1 50				
Alternative	Name	Estimated Total Project Cost	O&M Cost Estimate	50-year Lifecycle Cost Estimate	Aligns with Riverfront Plan	Meets City Goals	Meets Property Owner Goals	Effective for flood of Record	Effective for flood of record + 1 ft	Effective for flood of record + 2 ft	Effective for flood of record + 4 ft	O&M Cost Score	Weighted Effectiveness Score	Lifecycle Cost/ Weighted Effectiveness Score	Consider Further	Basis for Recommendation
Alt 1-1	No Change	\$0	\$16,000	\$800,000	0.3	0.1	0.0	0.5	0.0	0.0	0.0	0.76	108	7,401	No	Does not meet City goals
Alt 1-2	Floodwall Extension	\$2,619,000	\$11,000	\$3,169,000	0.9	0.9	1.0	1.0	0.6	0.0	0.0	0.52	314	10,086	Yes	Meets City goals
Alt 1-3	Channel Floodwall	\$3,806,000	\$11,000	\$4,356,000	0.5	0.7	1.0	1.0	0.6	0.0	0.0	0.52	284	15,328	No	Alt 1-4 is more cost effective
Alt 1-4	Two Floodwalls	\$1,199,000	\$11,000	\$1,749,000	0.3	0.3	1.0	1.0	0.6	0.0	0.0	0.52	254	6,881	No	Does not meet City goals
Alt 1-5	Buyouts	\$2,830,000	\$1,000	\$2,880,000	0.3	0.3	0.0	1.0	1.0	1.0	1.0	0.05	282	10,199	Maybe	Does not meet City goals
Alt 2-1	No Change	\$0	\$17,000	\$850,000	0.3	0.1	0.0	0.0	0.0	0.0	0.0	0.81	60	14,055	No	Does not meet City goals
Alt 2-2	Dry Floodproofing	\$544,000	\$12,000	\$1,144,000	0.9	0.8	0.9	1.0	1.0	0.0	0.0	0.57	339	3,379	Maybe	Dry Floodproofing is difficult to achieve
Alt 2-3	Wet Floodproofing	\$1,376,000	\$13,000	\$2,026,000	0.8	0.7	0.4	1.0	1.0	1.0	1.0	0.62	376	5,389	No	Not cost effective
Alt 2-4	Buyouts	\$1,900,000	\$1,000	\$1,950,000	0.3	0.3	0.2	1.0	1.0	1.0	1.0	0.05	292	6,669	Maybe	Property owners unlikely to accept
Alt 3-1	No Change	\$0	\$6,000	\$300,000	0.9	0.3	0.3	1.0	1.0	1.0	0.2	0.29	323	928	Yes	Low openings 2 feet above flood of record
Alt 3-2	Dry Floodproofing	\$196,000	\$13,000	\$846,000	0.9	0.8	0.8	1.0	1.0	1.0	0.5	0.62	396	2,137	No	Unnecessary based on flood history
Alt 3-3	Floodwall	\$2,871,000	\$21,000	\$3,921,000	0.6	0.9	0.8	1.0	1.0	1.0	1.0	1.00	415	9,448	No	Unnecessary based on flood history
Alt 3-4	Temporary Barriers	\$85,000	\$9,000	\$535,000	0.6	0.1	0.1	1.0	1.0	0.8	0.0	0.43	281	1,901	No	Unnecessary based on flood history
Alt 3-5	Buyouts	\$8,230,000	\$1,000	\$8,280,000	0.3	0.3	0.0	1.0	1.0	1.0	1.0	0.05	282	29,322	No	Unnecessary based on flood history

Northfield Downtown Flood Study - Parks Alternative Scoring

values 0 to 1 0 to 1 0 to 1 0 to 1 0 to 1 0 to 1 0 to 1 0 to 1
weight 50 50 50 100 80 50 20 50

Alternative	Name	Estimated Total Project Cost	O&M Cost	50-year Lifecycle Cost	Aligns with Riverfront Plan	Meets City Goals	Meets Property Owner Goals	Effective 2-year flood	Effective 10-year flood	Effective 25-year flood	Effective 50-year flood	O&M Cost Score	Weighted Effectiveness Score	Lifecycle Cost/ Weighted Effectiveness Score	Consider Further	Basis for Recommendation
Alt 4-1	No Change	\$ -	\$ 6,000	\$ 800,000	0.3	0.3	1.0	1.0	0.0	0.0	0.0	0.76	93	7,401	Maybe	Preserves floodplain storage
Alt 4-2	Ames Park Fill	\$ 176,000	\$ 1,000	\$ 226,000	0.8	0.9	1.0	1.0	1.0	1.0	1.0	0.08	349	647	Maybe	Filling in the flood fringe for parks is not good
Alt 4-3	Ames Park Levee	\$ 204,000	\$ 8,000	\$ 604,000	0.7	0.8	1.0	1.0	1.0	1.0	1.0	0.67	373	1,618	Maybe	Reduces flood frequency in park areas without
Alt 4-4	Ames Park Floodwall	\$ 994,000	\$ 12,000	\$ 1,594,000	0.7	0.8	1.0	1.0	1.0	1.0	1.0	1.00	390	4,087	No	high cost
Alt 5-1	No Change	\$ -	\$ 6,000	\$ 300,000	0.3	0.3	1.0	1.0	0.0	0.0	0.0	0.50	190	1,579	Maybe	Preserves floodplain storage
Alt 5-2	Riverside Lions Park Fill	\$ 167,000	\$ 1,000	\$ 217,000	0.8	0.9	1.0	1.0	1.0	1.0	1.0	0.08	349	621	Maybe	Filling in the flood fringe for parks is not good
Alt 5-3	Riverside Lions Park Levee	\$ 211,000	\$ 8,000	\$ 611,000	0.7	0.8	1.0	1.0	1.0	1.0	1.0	0.67	373	1,637	Maybe	Reduces flood frequency in park areas without
Alt 5-4	Riverside Lions Park Floodwall	\$ 962,000	\$ 12,000	\$ 1,562,000	0.7	0.8	1.0	1.0	1.0	1.0	1.0	1.00	390	4,005	No	high cost
Alt 6-1	No Change	\$ -	\$ 6,000	\$ 300,000	0.3	0.3	1.0	1.0	0.0	0.0	0.0	0.50	190	1,579	Maybe	Preserves floodplain storage
Alt 6-2	Babcock Park Fill	\$ 378,000	\$ 1,000	\$ 428,000	0.8	0.9	1.0	1.0	1.0	1.0	1.0	0.08	349	1,226	Maybe	Filling in the flood fringe for parks is not good
Alt 6-3	Babcock Park Levee	\$ 281,000	\$ 8,000	\$ 681,000	0.7	0.8	1.0	1.0	1.0	1.0	1.0	0.67	373	1,824	Maybe	Reduces flood frequency in park areas without
Alt 6-4	Babcock Park Floodwall	\$ 1,256,000	\$ 12,000	\$ 1,856,000	0.7	0.8	1.0	1.0	1.0	1.0	1.0	1.00	390	4,759	No	high cost

Northfield Downtown Flood Study - Carleton College Alternative Scoring

Alternative	Name	Estimated Total Project Cost	O&M Cost Estimate	50-year Lifecycle Cost Estimate	Meets College Goals	values	0 to 1	0 to 1	0 to 1	0 to 1	0 to 1	Weighted Effectiveness Score	Lifecycle Cost/ Weighted Effectiveness Score	Consider Further	Basis for Recommendation
						weight	300	100	80	50	20				
Alt CC1-1	No Change	\$0	\$1,000	\$50,000	0.0	0.5	0.5	0.5	0.0	0.02	116	431	Yes	College plans to remove houses within 5 years	
Alt CC1-2	Temporary Barriers	\$24,000	\$7,000	\$374,000	1.0	0.5	0.5	0.5	1.0	0.14	442	846	No	Not worth the investment given plans to remove houses within 5 years.	
Alt CC1-3	Buyouts	\$1,010,000	\$4,000	\$1,210,000	1.0	0.5	0.5	0.5	1.0	0.08	439	2,756	No	Deed restrictions for FEMA buyouts are undesirable.	
Alt CC2-1	No Change	\$0	\$5,000	\$250,000	0.0	0.5	0.5	0.0	0.0	0.10	95	2,632	Maybe	Track and structure at risk	
Alt CC2-2	Dry Floodproofing	\$295,000	\$5,000	\$545,000	1.0	0.5	0.5	1.0	1.0	0.10	465	1,172	Maybe	Only protects structure	
Alt CC2-3	Temporary Barrier	\$277,000	\$19,000	\$1,227,000	1.0	0.5	0.5	1.0	1.0	0.38	479	2,562	Maybe	Labor intensive to install, protects track. Less expensive than floodwall.	
Alt CC2-4	Floodwall	\$1,622,000	\$4,000	\$1,822,000	1.0	0.5	0.5	1.0	1.0	0.08	464	3,927	Yes	Low maintenance, protects track	
Alt CC3-1	No Change	\$0	\$6,000	\$300,000	0.0	0.5	0.0	0.0	0.0	0.12	56	5,357	No	Current temporary closures do not allow for egress	
Alt CC3-2	Temporary Closure	\$161,000	\$3,000	\$311,000	1.0	0.5	1.0	1.0	1.0	0.06	503	618	Yes	Preferred alternative for college because it maintains egress for emergency exit.	
Alt CC4-1	No Change	\$0	\$1,000	\$50,000	0.0	0.5	0.5	0.5	0.5	0.02	126	397	Yes	Current mitigation may be sufficient	
Alt CC4-2	Temporary Closure	\$4,000	\$5,000	\$254,000	0.5	0.5	0.5	0.5	0.5	0.10	280	907	No	Unlikely to be cost effective	
Alt CC4-3	Elevate Electrical Panel	\$169,000	\$5,000	\$419,000	1.0	0.5	0.5	0.5	0.5	0.10	430	974	Maybe	Unlikely to be cost effective	
Alt CC4-4	Sump Pump	\$26,000	\$3,000	\$176,000	0.5	0.5	0.5	0.5	0.5	0.06	278	633	Maybe	Unlikely to be cost effective	
Alt CC5-1	No Change	\$0	\$50,000	\$2,500,000	0.0	0.0	0.0	0.0	0.0	1.00	50	50,000	Maybe	May not be able to reduce flood risk due to floodway designation	
Alt CC5-2	Practice Field Berm	\$65,000	\$11,000	\$615,000	1.0	1.0	0.0	0.0	0.0	0.22	411	1,496	Yes	Reducing backwater flooding from Spring Creek could significantly reduce post-flood restoration costs	

Notes

Lifecycle Cost divided by Weighted Effectiveness Score is a measure of cost per quantitative estimate of value. Lower numbers generally indicate a more cost effective project.

Project Subapplication

*required field

Start a subapplication	
* Organization you are applying for	City of Northfield
* Organization you are applying to	FEMA
* Subapplication title	City of Northfield Downtown Floodwall Extension
* Subapplication type	Local Government
* Document control number (optional)	

Subapplicant information

Subapplicant information	
Name of federal agency	FEMA
Type of submission	<input type="checkbox"/> Pre-application <input checked="" type="checkbox"/> Application <input type="checkbox"/> Changed/Corrected application
* Type of Subapplicant	<input type="checkbox"/> State Government <input checked="" type="checkbox"/> Local Government <input type="checkbox"/> Indian Tribal Government <input type="checkbox"/> Special Governmental District <input type="checkbox"/> Private Non-Profit <input type="checkbox"/> Other
* Is Subapplication subject to review by Executive Order 12372 Process?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No, program is not covered by E.O. 12372 <input type="checkbox"/> No, program has not been selected by state for review
If Yes, this preapplication/application was made available to the Executive Order 12372 Process for review on: (MM-DD-YYYY)	

Subapplicant information	
* Is the Subapplicant delinquent on any Federal debt?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<i>If yes, please provide an explanation:</i>	

Contact information

Add a Subrecipient Authorized Representative (SAR)	
Title	Water Quality Technician
Prefix (optional)	<input type="checkbox"/> Mr. <input type="checkbox"/> Ms. <input type="checkbox"/> Mrs. <input type="checkbox"/> Dr.
* First Name	James
Middle Initial	
* Last Name	McDermott
* Agency/Organization	City of Northfield
Primary phone	5076453071
Extension (optional)	
* Type	<input type="checkbox"/> Home <input checked="" type="checkbox"/> Work <input type="checkbox"/> Mobile
Secondary phone	5073015767
Extension	
* Type	<input type="checkbox"/> Home <input type="checkbox"/> Work <input checked="" type="checkbox"/> Mobile
Optional phone	
Fax number	

Add a Subrecipient Authorized Representative (SAR)

* Email	James.mcdermott@northfieldmn.gov
* Address line 1	801 Washington St
Address line 2	
* City	Northfield
* State/territory	MN
* ZIP code	55057
ZIP extension	
* Phone	5076453071
Fax	

Add a Point(s) of Contact

Title	Public Works Directory/City Engineer
Prefix (optional)	<input type="checkbox"/> Mr. <input type="checkbox"/> Ms. <input type="checkbox"/> Mrs. <input type="checkbox"/> Dr.
* First Name	David
Middle Initial	
* Last Name	Bennett
* Agency/Organization	City of Northfield
Primary phone	5076453006
Extension (optional)	
* Type	<input type="checkbox"/> Home <input checked="" type="checkbox"/> Work <input type="checkbox"/> Mobile
Secondary phone	5073847043
Extension	
* Type	<input type="checkbox"/> Home <input type="checkbox"/> Work <input checked="" type="checkbox"/> Mobile

Add a Point(s) of Contact	
Optional phone	
Fax number	
* Email	David.bennett@northfieldmn.gov
* Address line 1	801 Washington St
Address line 2	
* City	Northfield
* State/territory	MN
* ZIP code	55057
ZIP extension	

Community

Please find the community(ies) that will benefit from this mitigation activity by clicking the Find Communities button. If needed, modify the Congressional District number for each community. If the Congressional district number for your community does not display correct, please contact your State NFIP coordinator.

Add Communities (complete this table for each benefitting community)	
State	Minnesota
Community name (optional)	City of Northfield
County name (optional)	Rice
Please provide any additional comments (optional)	
Attachments	

Mitigation Plan

Please provide your plan information.

Mitigation plan information	
* Is the entity that will benefit from the proposed activity covered by a current FEMA approved multi-hazard mitigation plan in compliance with 44 CFR Part 201?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, please provide plan information:	
* Plan name	Rice County 2025 Hazard Mitigation Plan
* Plan type	<input type="checkbox"/> State Multi-hazard Mitigation Plan <input type="checkbox"/> Tribal Multi-hazard Mitigation Plan <input type="checkbox"/> Local Multi-hazard Mitigation Plan <input type="checkbox"/> Tribal (Local) Multi-hazard Mitigation Plan <input checked="" type="checkbox"/> Local Multijurisdictional Multi-hazard Mitigation Plan <input type="checkbox"/> Tribal (Local) Multijurisdictional Multi-hazard Mitigation Plan
Is this plan standard or enhanced? (for Applicants only)	<input checked="" type="checkbox"/> Standard <input type="checkbox"/> Enhanced
* Plan approval date (MM-DD-YYYY)	02/10/2026
Proposed activity description (optional)	The completion of a specific downtown flood study has identified flood prone properties in downtown Northfield and outlined flood mitigation implementation strategies that are proposed. See page 200 of the Rice County 2025 Hazard Mitigation Plan for identification in the mitigation plan, and pages 19 – 26 and 48 - 57 of the Northfield Downtown Flood Study for details of the proposed activity.
Please provide any additional comments (optional).	

Mitigation plan information	
Attachments:	RiceCountyHMP2025.pdf Report-Northfield Downtown Flood Study Rev1 2023-06-19.pdf

Scope of Work

The project Scope of Work (SOW) identifies the eligible activity, describes what will be accomplished and explains how the mitigation activity will be implemented. The mitigation activity must be described in sufficient detail to verify the cost estimate. All activities for which funding is requested must be identified in the SOW prior to the close of the application period. FEMA has different requirements for project, planning, and management cost SOWs.

Scope of work	
* Subapplication title (include type of activity and location) :	City of Northfield Downtown Floodwall Extension

Scope of work	
Activities	
*Primary activity type	<input type="checkbox"/> Acquisition <input type="checkbox"/> Elevation <input type="checkbox"/> Relocation <input type="checkbox"/> Mitigation reconstruction <input type="checkbox"/> Retrofit <input type="checkbox"/> Floodproofing <input type="checkbox"/> Saferoom/shelter <input type="checkbox"/> Stabilization and restoration <input type="checkbox"/> Utility and infrastructure protection <input checked="" type="checkbox"/> Flood control <input type="checkbox"/> Codes and standards <input type="checkbox"/> Warning systems <input type="checkbox"/> Wildlife management <input type="checkbox"/> Education and awareness <input type="checkbox"/> Feasibility, engineering, and design studies <input type="checkbox"/> Management costs <input type="checkbox"/> Generator <input type="checkbox"/> Relocation <input type="checkbox"/> Planning related activities <input type="checkbox"/> Partnerships <input type="checkbox"/> Other
Secondary activity type (optional)	(see list above)
Tertiary activity type (optional)	(see list above)
Community lifelines	Not Applicable
Primary community lifeline	<input type="checkbox"/> Safety and security <input type="checkbox"/> Food, water, and shelter <input type="checkbox"/> Health and medical <input type="checkbox"/> Energy <input type="checkbox"/> Communications <input type="checkbox"/> Transportation <input type="checkbox"/> Hazardous material

Scope of work	
Primary sub-community lifeline (optional)	<input type="checkbox"/> Law enforcement <input type="checkbox"/> Fire service <input type="checkbox"/> Search and rescue <input type="checkbox"/> Government service <input type="checkbox"/> Community safety
Secondary community lifeline	(see primary community lifeline list above)
Secondary sub-community lifeline	<input type="checkbox"/> Highway/roadway/motor vehicle <input type="checkbox"/> Mass transit <input type="checkbox"/> Railway <input type="checkbox"/> Aviation <input type="checkbox"/> Maritime
Tertiary community lifeline (optional)	(see primary community lifeline list above)
Tertiary sub-community lifeline	<input type="checkbox"/> Food <input type="checkbox"/> Water <input type="checkbox"/> Shelter <input type="checkbox"/> Agriculture

Scope of work	
Hazard sources	
Primary hazard source	<input type="checkbox"/> Biological incident <input type="checkbox"/> Chemical incident <input type="checkbox"/> Civil disturbance <input type="checkbox"/> Cyber incident <input type="checkbox"/> Dam/Levee break <input type="checkbox"/> Disease <input type="checkbox"/> Drought <input type="checkbox"/> Earthquake <input type="checkbox"/> Explosion <input type="checkbox"/> Extreme temperature <input type="checkbox"/> Fire <input checked="" type="checkbox"/> Flooding <input type="checkbox"/> Hostile action <input type="checkbox"/> Infrastructure failure <input type="checkbox"/> Landslide/Debris flow <input type="checkbox"/> Nuclear explosion <input type="checkbox"/> Radiological incident <input type="checkbox"/> Severe Storm <input type="checkbox"/> Solar event <input type="checkbox"/> Space object <input type="checkbox"/> Tornado <input type="checkbox"/> Tropical cyclone (Hurricane/Typhoon) <input type="checkbox"/> Tsunami <input type="checkbox"/> Uncategorized <input type="checkbox"/> Volcano <input type="checkbox"/> Winter storm
Secondary hazard source (optional)	(see list above)
If Uncategorized, please specify:	
* Is this a phased project? <i>If you select 'Yes' to phased project question. You must select Phase 1 or Phase 2 on Budget lines.</i>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
* Are you doing construction in this project?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
* Percentage of population affected	7 %

<p>* Detail/description of stated percentage</p>	<p>The estimated 7% of population impacted is based on approximately 1,400 people impacted of Northfield’s 21,109 total population (Northfield Community Profile, 2023). The estimated 1,400 people impacted includes the following related to impacted downtown businesses: 4 property owners, 55 employees, 240 customers, and 60 flood fighters. The impacted population also considers the following related to the Carleton College stadium and west gym impacts: 10 employees, 34 athletics staff (e.g., coaches, student workers), 700 students (general use), 260 student-athletes of sports using the facilities, and 25 flood fighters.</p> <p>By providing protection to a downtown commercial area and Carleton College athletic facilities, the proposed project is anticipated to positively impact the community of Northfield. According to the Minnesota State Demographic Center, Northfield had 21,109 people and 16,269 households in 2022 (Northfield Community Profile, 2023). The city had a 3.9 percent growth rate in 2020 with a surge of citizens over the age of 65 in recent years. The majority of people in Northfield identify as White, but the Hispanic or Latino population had increased to 10 percent in 2021. According to the 2023 Northfield Community Profile report, about 37 percent of Northfield residents live and work in Northfield (Northfield Community Profile, 2023). According to the National Risk Index, Northfield’s overall risk is relatively moderate and has a very high social vulnerability to hazards (National Risk Index).</p> <p>The downtown project directly protects three commercial downtown properties: one leased commercial space and two locally owned businesses (Larson’s Printing and Basil’s Pizza). Larson’s Printing is a women-owned family business founded in 1982. Basil’s Pizza is family-owned and has served the Northfield community for over 60 years. These properties have experienced repeated flooding. The goal of the proposed mitigation is to provide more reliable flood mitigation measures that are less labor-intensive. Therefore, the proposed</p>
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Scope of work	
	<p>downtown mitigation would affect the property owners of 205, 207, and 301 Water St S, the lessees of 205 Water St S (a leased property), employees at these locations, customers of these locations, and community members involved in a flood fight. The mitigation fits into the city's mission for its 2025-2028 Strategic Plan to "work for the common good of [its] residents and businesses." and to "Implement downtown flood improvements".</p> <p>The Carleton College part of the project protects the college's athletic stadium and gym. Carleton College is a leading liberal arts college founded in 1866 with an enrollment of about 2,000 students (Carleton College). Carleton College is an important part of the Northfield community and economy. The Class of 2027 is 39% Black, indigenous, or people of color and 16% of the class are first-generation college students (Carleton College). Laird Stadium houses facilities for the college football and track and field teams as well as weight, training, and locker rooms, indoor training space for the Carleton golf programs, and office space for coaches and athletics staff (Carleton College). The West Gym features an indoor swimming pool, two basketball courts, and weight training facilities (Carleton College).</p>

<p>* Provide a clear and detailed description of your proposed activity</p>	<p>The proposed activity consists of three projects for flood mitigation in Northfield: a floodwall in downtown Northfield, dry floodproofing and temporary barriers to protect the Carleton College athletic stadium, and a temporary closure to protect the Carleton College West Gym.</p> <p>The first project would construct 415-foot floodwall along the Cannon River in downtown Northfield. The downtown floodwall would create a continuous flood barrier along the west side of the river between the Froggy Bottoms properties and the Second Street bridge. A short existing floodwall near Froggy Bottoms is approximately 36 feet long, including a 30-inch opening for a temporary closure. The proposed floodwall would extend or replace the existing floodwall (depending on the final design height). It would require a 15-foot temporary closure for the walkway north of 301 Water Street. The alignment for the proposed floodwall would roughly follow the existing retaining wall along the backside of the riverwalk. The above-grade height of the wall will range from 4 to 7 feet. Attached Figure A-1 and Figure B-2 show the proposed floodwall (labeled as Alternative 1-2); the Northfield Downtown Flood Study presents more detailed information (Northfield Downtown Flood Study, section 4.1.2).</p> <p>The second project would construct floodwalls and dry floodproofing for the Carleton College Laird Stadium. The 2010 and 2016 floods inundated the stadium in September causing damages that prevented usage of the field and building for the fall football seasons. The dry floodproofing of the stadium structure would be accomplished by sealing cracks in the building envelope and verifying that the walls are structurally capable of withstanding the hydrostatic pressure of water against the sides of the building. The stadium already has stoplog temporary closures for all exterior doors. Sealant on the masonry exterior would be applied up to an elevation of 903 feet. The proposed construction of floodwalls would protect the track and field area. The floodwalls would be approximately 750 feet long and</p>
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Scope of work	
	<p>involve five temporary closures (Figure C-4).</p> <p>The third project would construct of a temporary closure that is set back from the building to keep floodwaters from pressing against the side of the West Gym of Carleton College and allow the west side emergency egress to remain open during a flood. The gym basement has access only via two exterior doors that currently have stoplog structures that can be installed before a flooding event. However, these closures preclude staff from accessing the basement to monitor and mitigate interior flooding during a storm event. Loss of an emergency egress during a flood limits the allowable occupancy of the gym. Therefore, the proposed solution is a setback temporary closure that allows for access while it is installed. The closure would be approximately 15 feet wide and 4 feet tall in the driveway on the west side of the gym. It would require the reconstruction of pavement at the base of the closure, construction of concrete wing walls along the gym driveway, and the construction of stairs and a sidewalk to provide access to the gym doors while the closure is installed. See attached Figure C-5 for a visualization of the proposed activity.</p>
<p>* How will this mitigation activity be implemented?</p>	<p>Implementation of the downtown floodwall and stadium floodwall would involve the design and construction of two floodwalls. The dry floodproofing of the stadium would be accomplished by sealing the structure's masonry exterior with a waterproof coating. The temporary setback closure for the gym would involve the design and construction of wing walls on either side of the driveway in front of the basement doors along with the construction of stairs and the reconstruction of pavement in the area.</p>

* Describe how the project is technically feasible and will be effective in reducing the risk by reducing or eliminating damage to property and/or loss of life in the project area. Please include engineering design parameters and references to the following: preliminary schematic or engineering drawings/design; applicable building codes; engineering practices and/or best practices; level of protection (e.g., life safety, 100-yr flood protection with freeboard, 100-yr wind design, etc.):

Flooding is noted as a significant risk in the City’s Climate Action Plan (2019), the Rice County All Hazard Mitigation Plan (2025), and the Cannon River Comprehensive Watershed Management Plan (2020). The City of Northfield’s requirements for development activity within shoreland and floodplain areas are defined in Chapter 34, Article 4 of the City code. The City completed the Northfield Downtown Flood Study (adopted by the City Council May 3, 2022) specifically to evaluate alternatives to address downtown flooding. The proposed projects are an outcome of that study.

Downtown:

The downtown floodwall will provide flood protection to properties at 205, 207, and 301 Water Street South up to and during the 100-year flood event. The floodwall will provide flood protection to an elevation of at least 904 feet (about 1 foot above the flood of record in 2010). The temporary closure installation effort will be small relative to existing flood response efforts. Attachment A-1 (Alt 1-2) shows the proposed floodwall extent. Attachment B-2 shows that the floodwall would reduce the extent of inundation and protect the three properties on Water St from the protection. The hydraulic profile of this area shows that the proposed floodwall of at least 904 feet will provide at least 0.5 feet of freeboard (attachment A-7).

Stadium:

The dry floodproofing considers the benefits and drawbacks of sealing the building envelope up to elevation 903.0 to minimize the ability for water to enter the Stadium structure. The sealing would provide approximately 2 feet of freeboard above the 1% AEP flood elevation. Dry floodproofing would be accomplished by sealing cracks in the building envelope and verifying that the walls are structurally capable of withstanding the hydrostatic pressure of water against the sides of the building. The Stadium

Scope of work

already has stoplog temporary closures that can be installed in front of exterior doors. In addition, there will be approximately 750 feet of floodwall and five temporary closures. See Attachment Fig C-4 for stadium floodwall alignments.

West Gym:

The temporary setback closure would prevent floodwaters from touching the building near the points of egress for the basement. The structure would be approximately 15-foot wide and 4-foot tall and would protect the basement, which has a floor below the 1% chance flood elevation. The pavement at the base of the closure would be reconstructed to provide a smooth sill for the closure to rest on. Wing walls tying into either side of the driveway would be constructed to stabilize the structure.

Additionally, stairs and a sidewalk would provide access to the gym doors during installation of the closure. This may require fill to create enough space for the walkway. The proposed temporary closure maintains egress for emergency exit during a flood, which is not allowed in the current temporary closures. Since the building contains equipment used for operating and maintaining the gym facility, egress, and access to the basement during a flood would greatly increase the safety of using the facility.

Scope of work	
<p>* Who will manage and complete the mitigation activity?</p>	<p>The City will contract with an engineering firm to develop plans and specifications for the preferred option, solicit construction bids, and manage construction on behalf of the City (including the Carleton West Gym and Stadium infrastructure). The City will own the components of the flood damage reduction infrastructure and be responsible for operation and maintenance in regards to the floodwall portion of the project. Carleton College will own, maintain, and operate floodproofing/mitigation infrastructure related to the West Gym and Stadium improvements.</p>
<p>* Will the project address the hazards identified and what risks will remain from all hazards after project implementation (residual risk)?</p>	<p>Downtown: The downtown project will provide 1% annual exceedance probability (AEP) protection to the three properties identified on the western edge of the Cannon River between Water Street S and 2nd St. Flood hazard risks for flooding events greater than the 1% AEP event will remain after project implementation.</p> <p>Stadium: Since the stadium dry floodproofing will not prevent floodwaters from reaching the structure, the residual risk to the stadium structure will be seepage through the structure membrane and inundation to the track and field area. In addition, floods above the elevation of 903.0 feet would not be protected by the dry floodproofing. There are several temporary closures that require time and human resources to deploy.</p> <p>West Gym: Residual risk for the West Gym basement is from groundwater seepage. The temporary closure requires time and human resources to deploy.</p>

Scope of work	
*Will the project address the hazards identified and what risks will remain from all hazards after project implementation (residual risk)?	
* When will the mitigation activity take place?	This project is currently slated for construction in 2027 according to the 2026 - 2030 City of Northfield Capital Improvement Plan (Page 101).

<p>* Explain why this project is the best alternative. What alternatives were considered to address the risk and why was the proposed activity considered the best alternative?</p>	<p>The City considered several flood damage reduction activities to address flooding in multiple flood-prone areas (see Table 1-1 of the Northfield Downtown Flood Study report). The City considered the following mitigation strategies which were determined not to be viable (see Section 3.2 of the report):</p> <ul style="list-style-type: none"> - Upstream flood storage - Channel modification - Structure relocation <p>Sections 4 and 5 of the attached report describe other flood mitigation alternatives evaluated by the City. Activities to protect properties in flood area 2, flood area 3, and parks (defined in Table 1-1 of the report) were ultimately not recommended for a combination of feasibility, cost, and benefit concerns.</p> <p>Within each area, several alternatives were evaluated including structural flood barriers, temporary flood barriers, dry flood proofing, wet flood proofing, and buyouts. In addition, upstream flood storage, channel modification, and structure relocation were considered but not evaluated.</p> <p>The report scored the alternatives based on whether they align with the city's Riverfront Enhancement Plan (attached), meet City goals, meet property owner goals, and provide effective flood protection for the flood of record. This score was divided into the total project cost and the estimated annual maintenance cost times a 50-year design life[AMB10.1][GW10.2]. Lower values in these calculations mean a more cost-effective project. These scores were used to make recommendations about whether each alternative should be considered further. Attachment F contains the tables used to score each alternative.</p> <p>Flood damage reduction activities evaluated to protect properties in flood area 1 (downtown Northfield) and Carleton College are described in Section 4.2, 5.2 and 5.3. The alternatives considered for downtown Northfield include:</p> <ul style="list-style-type: none"> - Alternative 1-1: No action – continue to use emergency measures (e.g., sandbags, pumps) to protect individual properties during a flood response.
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	<ul style="list-style-type: none"> - Alternative 1-2: Floodwall extension (recommended alternative) – extend the existing floodwall or rebuild an extended floodwall from 303 Water Street South to high ground near Second Street bridge. - Alternative 1-3: Channel floodwall – replace the top portion of the west channel wall along the west riverwalk with a floodwall between the Froggy Bottoms properties and the Second Street Bridge. - Alternative 1-4: Two floodwalls – Extend the existing floodwall (Floodwall A) 135 feet near Froggy Bottoms to protect 301 Water Street South and construct a floodwall north of the pedestrian bridge to protect 205 and 207 Water Street South. - Alternative 1-5: Voluntary buyouts – conduct a voluntary buyout of the properties in the area and convert the space into an area that can be flooded without causing significant damage to structures and the local economy. <p>The alternative chosen for downtown Northfield was Alt 1-2, a floodwall along the west side of the river between the Froggy Bottoms properties and the Second Street bridge. Alternatives proposing protection to properties upstream of the Fifth Street Bridge would not result in a benefit cost ratio (BCR) >1. Alt 1-2 was chosen because it provides robust cost-effective protection with low effort for operation and maintenance. The low effort for operation and maintenance fits the City’s priorities (Northfield Strategic Report, 2021) and adheres to space constraints in the downtown riverwalk area.</p> <p>The four alternatives evaluated for the stadium were:</p> <ul style="list-style-type: none"> - Alternative CC2-1: no change - Alternative CC2-2: Dry floodproofing - The dry floodproofing alternative considers the benefits and drawbacks of sealing the building envelope up to elevation 903.0 to minimize the ability for water to enter the Stadium structure. This would provide approximately 2 feet of freeboard above the 1% AEP flood elevation. Dry floodproofing would be accomplished by sealing cracks in the building envelope and verifying that the walls are structurally capable of withstanding the hydrostatic pressure of water
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Scope of work	
	<p>against the sides of the building. The Stadium already has stoplog temporary closures that can be installed in front of exterior doors.</p> <p>- Alternative CC2-3: Dry floodproofing and temporary barriers - The temporary barriers and dry floodproofing alternative builds on Alternative CC2-2 by adding temporary barriers to protect the track and field area. This would require approximately 750 feet of temporary barrier.</p> <p>- Alternative CC2-4: Dry floodproofing and floodwalls (recommended alternative) - The floodwalls and dry floodproofing alternative builds on Alternative CC2-3 by adding floodwalls and temporary closures to protect the track and field area. This would require approximately 750 feet of floodwall and five temporary closures. Figure C-4 in Attachment C shows the floodwall alignments extending from the Stadium steps to high ground.</p> <p>Alternative CC2-4 was chosen as the preferred alternative because of its low maintenance and installation and additional protection for the track.</p> <p>Alternatives evaluated for the West Gym include a no change alternative and a setback temporary closure. Currently, for floods that reach the gym, the college installs temporary flood barriers over the two doorways, and floodwaters press against the walls adjacent to the doors. Seepage through the structure membrane would cause interior flooding; sumps may or may not keep up with the seepage, so building contents could be damaged. The setback temporary closure alternative is away from the building and maintains the west side egress for the structure.</p>

Scope of work	
<p>* Please identify the entity that will perform any long-term maintenance and provide maintenance, schedule and cost information. The subapplicant or owner of the area to be mitigated is responsible for maintenance (including costs of long-term care) after the project is completed.</p>	<p>The City of Northfield will lead this project and be responsible for the operation and maintenance of the downtown floodwall. The estimated annual cost for maintenance is \$11,000 for a 50-year project life cycle. The floodwall will be inspected annually, and maintenance or repair will be scheduled as necessary.</p> <p>The estimated annual operation and maintenance costs for the Carleton College projects are \$4,000 and \$3,000 for the floodwall and setback temporary barrier, respectively. Carleton College will be responsible for the maintenance and operation of these projects.</p>
<p>Additional comments (optional)</p>	
<p>Attachments:</p>	<p>Figure C-4 Area CC2 AltCC2-4.pdf 2026 - 2030 Capital Improvement Plan.pdf A-7 Hyd Profile Area 1 v3.pdf Fig B-2 Alt 1-2 Floodwall Extension.pdf A-1 Area1 Alternatives.pdf Cannon River Comprehensive Watershed Management Plan.pdf City of Northfield Strategic Plan Report 2025-2028 Rev 1 2026 202601301041554457.pdf Community Report - Census tract 27131070601 Rice County Minnesota National Risk Index.pdf Figure C-5 Area CC3 Alt3-2.pdf Northfield Climate Action Plan.pdf Northfield Community Profile.pdf Report-Northfield Downtown Flood Study Rev1 2023-06-19.pdf RIVERFRONT ENHANCEMENT ACTION PLAN - FINAL PLAN 11172020 Council.pdf</p>

Schedule

Specify the work schedule for the mitigation activities. Add tasks to the schedule. Please include all tasks necessary to implement this mitigation activity; include descriptions and estimated time frames.

Add a Task (complete this table for each task)	
* Task name	Design, Permitting, and Construction
* Task description	Creation of final design plans for the floodwall, Compile data for and submit applicable permit applications, and removal of existing structures and installation of floodwall extension and drainage improvements.
* Start month (number)	0
* Task duration (in months)	24

Schedule	
* Estimate the total duration of your proposed activities (in months).	24
Start date (MM/DD/YYYY)	10/01/2027
End date (MM/DD/YYYY)	10/01/2029

Budget

Budget cost estimate should directly link to your scope of work and work schedule. You must add at least one item greater than 0 for your cost estimate. As necessary, please adjust your federal/non-federal cost share, and add the non-federal funding source(s) you are planning to use on this project.

Add budget cost types and item(s)	
Cost type:	<input checked="" type="checkbox"/> Cost estimate
Add an item (complete table for each cost item)	

Add budget cost types and item(s)	
Name of cost item	Downtown Floodwall Planning, Engineering, Design
Quantity	1
Unit of measure	<input type="checkbox"/> Acre <input type="checkbox"/> Cubic foot <input type="checkbox"/> Cubic yard <input type="checkbox"/> Day <input type="checkbox"/> Each <input type="checkbox"/> Foot <input type="checkbox"/> Hour <input type="checkbox"/> Inch <input type="checkbox"/> Linear foot <input type="checkbox"/> Mile <input type="checkbox"/> Million board feet <input type="checkbox"/> Square foot <input type="checkbox"/> Square yard <input type="checkbox"/> Square foot per inch <input type="checkbox"/> Ton <input checked="" type="checkbox"/> Lump Sum
Unit price	\$818,231
Unit total	1
Cost category	<input type="checkbox"/> Administrative and legal expenses <input checked="" type="checkbox"/> Architectural and engineering fees <input type="checkbox"/> Construction <input type="checkbox"/> Contingencies <input type="checkbox"/> Demolition and removal <input type="checkbox"/> Equipment rental <input type="checkbox"/> Equipment purchase <input type="checkbox"/> Land, structures, rights-of-way, appraisals, etc. <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Other architectural and engineering fees <input type="checkbox"/> Project inspection fees <input type="checkbox"/> Relocation expenses and payments <input type="checkbox"/> Site work
Pre-award	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Project phase	<input type="checkbox"/> Phase 1 <input type="checkbox"/> Phase 2 <input checked="" type="checkbox"/> Not applicable
Name of cost item	Downtown Floodwall Permitting and Regulatory Work
Quantity	1

Add budget cost types and item(s)	
Unit of measure	<input type="checkbox"/> Acre <input type="checkbox"/> Cubic foot <input type="checkbox"/> Cubic yard <input type="checkbox"/> Day <input type="checkbox"/> Each <input type="checkbox"/> Foot <input type="checkbox"/> Hour <input type="checkbox"/> Inch <input type="checkbox"/> Linear foot <input type="checkbox"/> Mile <input type="checkbox"/> Million board feet <input type="checkbox"/> Square foot <input type="checkbox"/> Square yard <input type="checkbox"/> Square foot per inch <input type="checkbox"/> Ton <input checked="" type="checkbox"/> Lump Sum
Unit price	\$327,293
Unit total	1
Cost category	<input type="checkbox"/> Administrative and legal expenses <input type="checkbox"/> Architectural and engineering fees <input type="checkbox"/> Construction <input type="checkbox"/> Contingencies <input type="checkbox"/> Demolition and removal <input type="checkbox"/> Equipment rental <input type="checkbox"/> Equipment purchase <input type="checkbox"/> Land, structures, rights-of-way, appraisals, etc. <input checked="" type="checkbox"/> Miscellaneous <input type="checkbox"/> Other architectural and engineering fees <input type="checkbox"/> Project inspection fees <input type="checkbox"/> Relocation expenses and payments <input type="checkbox"/> Site work
Pre-award	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Project phase	<input type="checkbox"/> Phase 1 <input type="checkbox"/> Phase 2 <input checked="" type="checkbox"/> Not applicable
Name of cost item	Downtown Floodwall Construction Contingency
Quantity	1

Add budget cost types and item(s)	
Unit of measure	<input type="checkbox"/> Acre <input type="checkbox"/> Cubic foot <input type="checkbox"/> Cubic yard <input type="checkbox"/> Day <input type="checkbox"/> Each <input type="checkbox"/> Foot <input type="checkbox"/> Hour <input type="checkbox"/> Inch <input type="checkbox"/> Linear foot <input type="checkbox"/> Mile <input type="checkbox"/> Million board feet <input type="checkbox"/> Square foot <input type="checkbox"/> Square yard <input type="checkbox"/> Square foot per inch <input type="checkbox"/> Ton <input checked="" type="checkbox"/> Lump Sum
Unit price	\$654,585
Unit total	1
Cost category	<input type="checkbox"/> Administrative and legal expenses <input type="checkbox"/> Architectural and engineering fees <input type="checkbox"/> Construction <input checked="" type="checkbox"/> Contingencies <input type="checkbox"/> Demolition and removal <input type="checkbox"/> Equipment rental <input type="checkbox"/> Equipment purchase <input type="checkbox"/> Land, structures, rights-of-way, appraisals, etc. <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Other architectural and engineering fees <input type="checkbox"/> Project inspection fees <input type="checkbox"/> Relocation expenses and payments <input type="checkbox"/> Site work
Pre-award	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Project phase	<input type="checkbox"/> Phase 1 <input type="checkbox"/> Phase 2 <input checked="" type="checkbox"/> Not applicable
Name of cost item	Downtown Floodwall Removal of 6" - 12" Trees
Quantity	1

Add budget cost types and item(s)	
Unit of measure	<input type="checkbox"/> Acre <input type="checkbox"/> Cubic foot <input type="checkbox"/> Cubic yard <input type="checkbox"/> Day <input type="checkbox"/> Each <input type="checkbox"/> Foot <input type="checkbox"/> Hour <input type="checkbox"/> Inch <input type="checkbox"/> Linear foot <input type="checkbox"/> Mile <input type="checkbox"/> Million board feet <input type="checkbox"/> Square foot <input type="checkbox"/> Square yard <input type="checkbox"/> Square foot per inch <input type="checkbox"/> Ton <input checked="" type="checkbox"/> Lump Sum
Unit price	\$3,037
Unit total	1
Cost category	<input type="checkbox"/> Administrative and legal expenses <input type="checkbox"/> Architectural and engineering fees <input type="checkbox"/> Construction <input type="checkbox"/> Contingencies <input checked="" type="checkbox"/> Demolition and removal <input type="checkbox"/> Equipment rental <input type="checkbox"/> Equipment purchase <input type="checkbox"/> Land, structures, rights-of-way, appraisals, etc. <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Other architectural and engineering fees <input type="checkbox"/> Project inspection fees <input type="checkbox"/> Relocation expenses and payments <input type="checkbox"/> Site work
Pre-award	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Project phase	<input type="checkbox"/> Phase 1 <input type="checkbox"/> Phase 2 <input checked="" type="checkbox"/> Not applicable
Name of cost item	Downtown Floodwall Removal of 12" to 24" Trees
Quantity	1

Add budget cost types and item(s)	
Unit of measure	<input type="checkbox"/> Acre <input type="checkbox"/> Cubic foot <input type="checkbox"/> Cubic yard <input type="checkbox"/> Day <input type="checkbox"/> Each <input type="checkbox"/> Foot <input type="checkbox"/> Hour <input type="checkbox"/> Inch <input type="checkbox"/> Linear foot <input type="checkbox"/> Mile <input type="checkbox"/> Million board feet <input type="checkbox"/> Square foot <input type="checkbox"/> Square yard <input type="checkbox"/> Square foot per inch <input type="checkbox"/> Ton <input checked="" type="checkbox"/> Lump Sum
Unit price	\$5,062
Unit total	1
Cost category	<input type="checkbox"/> Administrative and legal expenses <input type="checkbox"/> Architectural and engineering fees <input type="checkbox"/> Construction <input type="checkbox"/> Contingencies <input checked="" type="checkbox"/> Demolition and removal <input type="checkbox"/> Equipment rental <input type="checkbox"/> Equipment purchase <input type="checkbox"/> Land, structures, rights-of-way, appraisals, etc. <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Other architectural and engineering fees <input type="checkbox"/> Project inspection fees <input type="checkbox"/> Relocation expenses and payments <input type="checkbox"/> Site work
Pre-award	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Project phase	<input type="checkbox"/> Phase 1 <input type="checkbox"/> Phase 2 <input checked="" type="checkbox"/> Not applicable
Name of cost item	Downtown Floodwall Remove Concrete Walkway
Quantity	1

Add budget cost types and item(s)	
Unit of measure	<input type="checkbox"/> Acre <input type="checkbox"/> Cubic foot <input type="checkbox"/> Cubic yard <input type="checkbox"/> Day <input type="checkbox"/> Each <input type="checkbox"/> Foot <input type="checkbox"/> Hour <input type="checkbox"/> Inch <input type="checkbox"/> Linear foot <input type="checkbox"/> Mile <input type="checkbox"/> Million board feet <input type="checkbox"/> Square foot <input type="checkbox"/> Square yard <input type="checkbox"/> Square foot per inch <input type="checkbox"/> Ton <input checked="" type="checkbox"/> Lump Sum
Unit price	\$3,396
Unit total	1
Cost category	<input type="checkbox"/> Administrative and legal expenses <input type="checkbox"/> Architectural and engineering fees <input type="checkbox"/> Construction <input type="checkbox"/> Contingencies <input checked="" type="checkbox"/> Demolition and removal <input type="checkbox"/> Equipment rental <input type="checkbox"/> Equipment purchase <input type="checkbox"/> Land, structures, rights-of-way, appraisals, etc. <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Other architectural and engineering fees <input type="checkbox"/> Project inspection fees <input type="checkbox"/> Relocation expenses and payments <input type="checkbox"/> Site work
Pre-award	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Project phase	<input type="checkbox"/> Phase 1 <input type="checkbox"/> Phase 2 <input checked="" type="checkbox"/> Not applicable
Name of cost item	Downtown Floodwall Remove Retaining Wall
Quantity	1

Add budget cost types and item(s)	
Unit of measure	<input type="checkbox"/> Acre <input type="checkbox"/> Cubic foot <input type="checkbox"/> Cubic yard <input type="checkbox"/> Day <input type="checkbox"/> Each <input type="checkbox"/> Foot <input type="checkbox"/> Hour <input type="checkbox"/> Inch <input type="checkbox"/> Linear foot <input type="checkbox"/> Mile <input type="checkbox"/> Million board feet <input type="checkbox"/> Square foot <input type="checkbox"/> Square yard <input type="checkbox"/> Square foot per inch <input type="checkbox"/> Ton <input checked="" type="checkbox"/> Lump Sum
Unit price	\$6,749
Unit total	1
Cost category	<input type="checkbox"/> Administrative and legal expenses <input type="checkbox"/> Architectural and engineering fees <input type="checkbox"/> Construction <input type="checkbox"/> Contingencies <input checked="" type="checkbox"/> Demolition and removal <input type="checkbox"/> Equipment rental <input type="checkbox"/> Equipment purchase <input type="checkbox"/> Land, structures, rights-of-way, appraisals, etc. <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Other architectural and engineering fees <input type="checkbox"/> Project inspection fees <input type="checkbox"/> Relocation expenses and payments <input type="checkbox"/> Site work
Pre-award	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Project phase	<input type="checkbox"/> Phase 1 <input type="checkbox"/> Phase 2 <input checked="" type="checkbox"/> Not applicable
Name of cost item	Downtown Floodwall Remove Existing Landscaping
Quantity	1

Add budget cost types and item(s)	
Unit of measure	<input type="checkbox"/> Acre <input type="checkbox"/> Cubic foot <input type="checkbox"/> Cubic yard <input type="checkbox"/> Day <input type="checkbox"/> Each <input type="checkbox"/> Foot <input type="checkbox"/> Hour <input type="checkbox"/> Inch <input type="checkbox"/> Linear foot <input type="checkbox"/> Mile <input type="checkbox"/> Million board feet <input type="checkbox"/> Square foot <input type="checkbox"/> Square yard <input type="checkbox"/> Square foot per inch <input type="checkbox"/> Ton <input checked="" type="checkbox"/> Lump Sum
Unit price	\$10,900
Unit total	1
Cost category	<input type="checkbox"/> Administrative and legal expenses <input type="checkbox"/> Architectural and engineering fees <input type="checkbox"/> Construction <input type="checkbox"/> Contingencies <input type="checkbox"/> Demolition and removal <input type="checkbox"/> Equipment rental <input type="checkbox"/> Equipment purchase <input type="checkbox"/> Land, structures, rights-of-way, appraisals, etc. <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Other architectural and engineering fees <input type="checkbox"/> Project inspection fees <input checked="" type="checkbox"/> Relocation expenses and payments <input type="checkbox"/> Site work
Pre-award	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Project phase	<input type="checkbox"/> Phase 1 <input type="checkbox"/> Phase 2 <input checked="" type="checkbox"/> Not applicable
Name of cost item	Downtown Floodwall Remove and Replace Streetlight
Quantity	1

Add budget cost types and item(s)	
Unit of measure	<input type="checkbox"/> Acre <input type="checkbox"/> Cubic foot <input type="checkbox"/> Cubic yard <input type="checkbox"/> Day <input type="checkbox"/> Each <input type="checkbox"/> Foot <input type="checkbox"/> Hour <input type="checkbox"/> Inch <input type="checkbox"/> Linear foot <input type="checkbox"/> Mile <input type="checkbox"/> Million board feet <input type="checkbox"/> Square foot <input type="checkbox"/> Square yard <input type="checkbox"/> Square foot per inch <input type="checkbox"/> Ton <input checked="" type="checkbox"/> Lump Sum
Unit price	\$53,993
Unit total	1
Cost category	<input type="checkbox"/> Administrative and legal expenses <input type="checkbox"/> Architectural and engineering fees <input type="checkbox"/> Construction <input type="checkbox"/> Contingencies <input checked="" type="checkbox"/> Demolition and removal <input type="checkbox"/> Equipment rental <input type="checkbox"/> Equipment purchase <input type="checkbox"/> Land, structures, rights-of-way, appraisals, etc. <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Other architectural and engineering fees <input type="checkbox"/> Project inspection fees <input type="checkbox"/> Relocation expenses and payments <input type="checkbox"/> Site work
Pre-award	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Project phase	<input type="checkbox"/> Phase 1 <input type="checkbox"/> Phase 2 <input checked="" type="checkbox"/> Not applicable
Name of cost item	Downtown Floodwall Mobilization and Demobilization
Quantity	1

Add budget cost types and item(s)	
Unit of measure	<input type="checkbox"/> Acre <input type="checkbox"/> Cubic foot <input type="checkbox"/> Cubic yard <input type="checkbox"/> Day <input type="checkbox"/> Each <input type="checkbox"/> Foot <input type="checkbox"/> Hour <input type="checkbox"/> Inch <input type="checkbox"/> Linear foot <input type="checkbox"/> Mile <input type="checkbox"/> Million board feet <input type="checkbox"/> Square foot <input type="checkbox"/> Square yard <input type="checkbox"/> Square foot per inch <input type="checkbox"/> Ton <input checked="" type="checkbox"/> Lump Sum
Unit price	\$124,683
Unit total	1
Cost category	<input type="checkbox"/> Administrative and legal expenses <input type="checkbox"/> Architectural and engineering fees <input type="checkbox"/> Construction <input type="checkbox"/> Contingencies <input type="checkbox"/> Demolition and removal <input type="checkbox"/> Equipment rental <input type="checkbox"/> Equipment purchase <input type="checkbox"/> Land, structures, rights-of-way, appraisals, etc. <input checked="" type="checkbox"/> Miscellaneous <input type="checkbox"/> Other architectural and engineering fees <input type="checkbox"/> Project inspection fees <input type="checkbox"/> Relocation expenses and payments <input type="checkbox"/> Site work
Pre-award	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Project phase	<input type="checkbox"/> Phase 1 <input type="checkbox"/> Phase 2 <input checked="" type="checkbox"/> Not applicable
Name of cost item	Downtown Floodwall – Erosion and Sediment Control
Quantity	1

Add budget cost types and item(s)	
Unit of measure	<input type="checkbox"/> Acre <input type="checkbox"/> Cubic foot <input type="checkbox"/> Cubic yard <input type="checkbox"/> Day <input type="checkbox"/> Each <input type="checkbox"/> Foot <input type="checkbox"/> Hour <input type="checkbox"/> Inch <input type="checkbox"/> Linear foot <input type="checkbox"/> Mile <input type="checkbox"/> Million board feet <input type="checkbox"/> Square foot <input type="checkbox"/> Square yard <input type="checkbox"/> Square foot per inch <input type="checkbox"/> Ton <input checked="" type="checkbox"/> Lump Sum
Unit price	\$48,896
Unit total	1
Cost category	<input type="checkbox"/> Administrative and legal expenses <input type="checkbox"/> Architectural and engineering fees <input type="checkbox"/> Construction <input type="checkbox"/> Contingencies <input type="checkbox"/> Demolition and removal <input type="checkbox"/> Equipment rental <input type="checkbox"/> Equipment purchase <input type="checkbox"/> Land, structures, rights-of-way, appraisals, etc. <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Other architectural and engineering fees <input type="checkbox"/> Project inspection fees <input type="checkbox"/> Relocation expenses and payments <input checked="" type="checkbox"/> Site work
Pre-award	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Project phase	<input type="checkbox"/> Phase 1 <input type="checkbox"/> Phase 2 <input checked="" type="checkbox"/> Not applicable
Name of cost item	Downtown Floodwall – Floodwall Construction
Quantity	1

Add budget cost types and item(s)	
Unit of measure	<input type="checkbox"/> Acre <input type="checkbox"/> Cubic foot <input type="checkbox"/> Cubic yard <input type="checkbox"/> Day <input type="checkbox"/> Each <input type="checkbox"/> Foot <input type="checkbox"/> Hour <input type="checkbox"/> Inch <input type="checkbox"/> Linear foot <input type="checkbox"/> Mile <input type="checkbox"/> Million board feet <input type="checkbox"/> Square foot <input type="checkbox"/> Square yard <input type="checkbox"/> Square foot per inch <input type="checkbox"/> Ton <input checked="" type="checkbox"/> Lump Sum
Unit price	\$1,898,208
Unit total	1
Cost category	<input type="checkbox"/> Administrative and legal expenses <input type="checkbox"/> Architectural and engineering fees <input checked="" type="checkbox"/> Construction <input type="checkbox"/> Contingencies <input type="checkbox"/> Demolition and removal <input type="checkbox"/> Equipment rental <input type="checkbox"/> Equipment purchase <input type="checkbox"/> Land, structures, rights-of-way, appraisals, etc. <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Other architectural and engineering fees <input type="checkbox"/> Project inspection fees <input type="checkbox"/> Relocation expenses and payments <input type="checkbox"/> Site work
Pre-award	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Project phase	<input type="checkbox"/> Phase 1 <input type="checkbox"/> Phase 2 <input checked="" type="checkbox"/> Not applicable
Name of cost item	Downtown Floodwall Interior Drainage
Quantity	1

Add budget cost types and item(s)	
Unit of measure	<input type="checkbox"/> Acre <input type="checkbox"/> Cubic foot <input type="checkbox"/> Cubic yard <input type="checkbox"/> Day <input type="checkbox"/> Each <input type="checkbox"/> Foot <input type="checkbox"/> Hour <input type="checkbox"/> Inch <input type="checkbox"/> Linear foot <input type="checkbox"/> Mile <input type="checkbox"/> Million board feet <input type="checkbox"/> Square foot <input type="checkbox"/> Square yard <input type="checkbox"/> Square foot per inch <input type="checkbox"/> Ton <input checked="" type="checkbox"/> Lump Sum
Unit price	\$168,730
Unit total	1
Cost category	<input type="checkbox"/> Administrative and legal expenses <input type="checkbox"/> Architectural and engineering fees <input checked="" type="checkbox"/> Construction <input type="checkbox"/> Contingencies <input type="checkbox"/> Demolition and removal <input type="checkbox"/> Equipment rental <input type="checkbox"/> Equipment purchase <input type="checkbox"/> Land, structures, rights-of-way, appraisals, etc. <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Other architectural and engineering fees <input type="checkbox"/> Project inspection fees <input type="checkbox"/> Relocation expenses and payments <input type="checkbox"/> Site work
Pre-award	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Project phase	<input type="checkbox"/> Phase 1 <input type="checkbox"/> Phase 2 <input checked="" type="checkbox"/> Not applicable
Name of cost item	Downtown Floodwall Closures
Quantity	1

Add budget cost types and item(s)	
Unit of measure	<input type="checkbox"/> Acre <input type="checkbox"/> Cubic foot <input type="checkbox"/> Cubic yard <input type="checkbox"/> Day <input type="checkbox"/> Each <input type="checkbox"/> Foot <input type="checkbox"/> Hour <input type="checkbox"/> Inch <input type="checkbox"/> Linear foot <input type="checkbox"/> Mile <input type="checkbox"/> Million board feet <input type="checkbox"/> Square foot <input type="checkbox"/> Square yard <input type="checkbox"/> Square foot per inch <input type="checkbox"/> Ton <input checked="" type="checkbox"/> Lump Sum
Unit price	\$
Unit total	1
Cost category	<input type="checkbox"/> Administrative and legal expenses <input type="checkbox"/> Architectural and engineering fees <input checked="" type="checkbox"/> Construction <input type="checkbox"/> Contingencies <input type="checkbox"/> Demolition and removal <input type="checkbox"/> Equipment rental <input type="checkbox"/> Equipment purchase <input type="checkbox"/> Land, structures, rights-of-way, appraisals, etc. <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Other architectural and engineering fees <input type="checkbox"/> Project inspection fees <input type="checkbox"/> Relocation expenses and payments <input type="checkbox"/> Site work
Pre-award	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Project phase	<input type="checkbox"/> Phase 1 <input type="checkbox"/> Phase 2 <input checked="" type="checkbox"/> Not applicable
Name of cost item	Downtown Floodwall Concrete Walkway Construction
Quantity	1

Add budget cost types and item(s)	
Unit of measure	<input type="checkbox"/> Acre <input type="checkbox"/> Cubic foot <input type="checkbox"/> Cubic yard <input type="checkbox"/> Day <input type="checkbox"/> Each <input type="checkbox"/> Foot <input type="checkbox"/> Hour <input type="checkbox"/> Inch <input type="checkbox"/> Linear foot <input type="checkbox"/> Mile <input type="checkbox"/> Million board feet <input type="checkbox"/> Square foot <input type="checkbox"/> Square yard <input type="checkbox"/> Square foot per inch <input type="checkbox"/> Ton <input checked="" type="checkbox"/> Lump Sum
Unit price	\$48,510
Unit total	1
Cost category	<input type="checkbox"/> Administrative and legal expenses <input type="checkbox"/> Architectural and engineering fees <input checked="" type="checkbox"/> Construction <input type="checkbox"/> Contingencies <input type="checkbox"/> Demolition and removal <input type="checkbox"/> Equipment rental <input type="checkbox"/> Equipment purchase <input type="checkbox"/> Land, structures, rights-of-way, appraisals, etc. <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Other architectural and engineering fees <input type="checkbox"/> Project inspection fees <input type="checkbox"/> Relocation expenses and payments <input type="checkbox"/> Site work
Pre-award	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Project phase	<input type="checkbox"/> Phase 1 <input type="checkbox"/> Phase 2 <input checked="" type="checkbox"/> Not applicable
Name of cost item	Downtown Floodwall Restoration and Landscaping
Quantity	1

Add budget cost types and item(s)	
Unit of measure	<input type="checkbox"/> Acre <input type="checkbox"/> Cubic foot <input type="checkbox"/> Cubic yard <input type="checkbox"/> Day <input type="checkbox"/> Each <input type="checkbox"/> Foot <input type="checkbox"/> Hour <input type="checkbox"/> Inch <input type="checkbox"/> Linear foot <input type="checkbox"/> Mile <input type="checkbox"/> Million board feet <input type="checkbox"/> Square foot <input type="checkbox"/> Square yard <input type="checkbox"/> Square foot per inch <input type="checkbox"/> Ton <input checked="" type="checkbox"/> Lump Sum
Unit price	\$163,499
Unit total	1
Cost category	<input type="checkbox"/> Administrative and legal expenses <input type="checkbox"/> Architectural and engineering fees <input type="checkbox"/> Construction <input type="checkbox"/> Contingencies <input type="checkbox"/> Demolition and removal <input type="checkbox"/> Equipment rental <input type="checkbox"/> Equipment purchase <input type="checkbox"/> Land, structures, rights-of-way, appraisals, etc. <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Other architectural and engineering fees <input type="checkbox"/> Project inspection fees <input type="checkbox"/> Relocation expenses and payments <input checked="" type="checkbox"/> Site work
Pre-award	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Project phase	<input type="checkbox"/> Phase 1 <input type="checkbox"/> Phase 2 <input checked="" type="checkbox"/> Not applicable
Name of cost item	Downtown Floodwall Tree Planting
Quantity	1

Add budget cost types and item(s)	
Unit of measure	<input type="checkbox"/> Acre <input type="checkbox"/> Cubic foot <input type="checkbox"/> Cubic yard <input type="checkbox"/> Day <input type="checkbox"/> Each <input type="checkbox"/> Foot <input type="checkbox"/> Hour <input type="checkbox"/> Inch <input type="checkbox"/> Linear foot <input type="checkbox"/> Mile <input type="checkbox"/> Million board feet <input type="checkbox"/> Square foot <input type="checkbox"/> Square yard <input type="checkbox"/> Square foot per inch <input type="checkbox"/> Ton <input checked="" type="checkbox"/> Lump Sum
Unit price	\$13,498
Unit total	1
Cost category	<input type="checkbox"/> Administrative and legal expenses <input type="checkbox"/> Architectural and engineering fees <input type="checkbox"/> Construction <input type="checkbox"/> Contingencies <input type="checkbox"/> Demolition and removal <input type="checkbox"/> Equipment rental <input type="checkbox"/> Equipment purchase <input type="checkbox"/> Land, structures, rights-of-way, appraisals, etc. <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Other architectural and engineering fees <input type="checkbox"/> Project inspection fees <input type="checkbox"/> Relocation expenses and payments <input checked="" type="checkbox"/> Site work
Pre-award	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Project phase	<input type="checkbox"/> Phase 1 <input type="checkbox"/> Phase 2 <input checked="" type="checkbox"/> Not applicable
Name of cost item	Carleton Stadium Mobilization/Demobilization
Quantity	1

Add budget cost types and item(s)	
Unit of measure	<input type="checkbox"/> Acre <input type="checkbox"/> Cubic foot <input type="checkbox"/> Cubic yard <input type="checkbox"/> Day <input type="checkbox"/> Each <input type="checkbox"/> Foot <input type="checkbox"/> Hour <input type="checkbox"/> Inch <input type="checkbox"/> Linear foot <input type="checkbox"/> Mile <input type="checkbox"/> Million board feet <input type="checkbox"/> Square foot <input type="checkbox"/> Square yard <input type="checkbox"/> Square foot per inch <input type="checkbox"/> Ton <input checked="" type="checkbox"/> Lump Sum
Unit price	\$94,383
Unit total	1
Cost category	<input type="checkbox"/> Administrative and legal expenses <input type="checkbox"/> Architectural and engineering fees <input type="checkbox"/> Construction <input type="checkbox"/> Contingencies <input type="checkbox"/> Demolition and removal <input type="checkbox"/> Equipment rental <input type="checkbox"/> Equipment purchase <input type="checkbox"/> Land, structures, rights-of-way, appraisals, etc. <input checked="" type="checkbox"/> Miscellaneous <input type="checkbox"/> Other architectural and engineering fees <input type="checkbox"/> Project inspection fees <input type="checkbox"/> Relocation expenses and payments <input type="checkbox"/> Site work
Pre-award	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Project phase	<input type="checkbox"/> Phase 1 <input type="checkbox"/> Phase 2 <input checked="" type="checkbox"/> Not applicable
Name of cost item	Carleton Stadium Remove Existing Landscaping
Quantity	1

Add budget cost types and item(s)	
Unit of measure	<input type="checkbox"/> Acre <input type="checkbox"/> Cubic foot <input type="checkbox"/> Cubic yard <input type="checkbox"/> Day <input type="checkbox"/> Each <input type="checkbox"/> Foot <input type="checkbox"/> Hour <input type="checkbox"/> Inch <input type="checkbox"/> Linear foot <input type="checkbox"/> Mile <input type="checkbox"/> Million board feet <input type="checkbox"/> Square foot <input type="checkbox"/> Square yard <input type="checkbox"/> Square foot per inch <input type="checkbox"/> Ton <input checked="" type="checkbox"/> Lump Sum
Unit price	\$31,637
Unit total	1
Cost category	<input type="checkbox"/> Administrative and legal expenses <input type="checkbox"/> Architectural and engineering fees <input type="checkbox"/> Construction <input type="checkbox"/> Contingencies <input checked="" type="checkbox"/> Demolition and removal <input type="checkbox"/> Equipment rental <input type="checkbox"/> Equipment purchase <input type="checkbox"/> Land, structures, rights-of-way, appraisals, etc. <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Other architectural and engineering fees <input type="checkbox"/> Project inspection fees <input type="checkbox"/> Relocation expenses and payments <input type="checkbox"/> Site work
Pre-award	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Project phase	<input type="checkbox"/> Phase 1 <input type="checkbox"/> Phase 2 <input checked="" type="checkbox"/> Not applicable
Name of cost item	Carleton Stadium Seal Building and Stadium
Quantity	1

Add budget cost types and item(s)	
Unit of measure	<input type="checkbox"/> Acre <input type="checkbox"/> Cubic foot <input type="checkbox"/> Cubic yard <input type="checkbox"/> Day <input type="checkbox"/> Each <input type="checkbox"/> Foot <input type="checkbox"/> Hour <input type="checkbox"/> Inch <input type="checkbox"/> Linear foot <input type="checkbox"/> Mile <input type="checkbox"/> Million board feet <input type="checkbox"/> Square foot <input type="checkbox"/> Square yard <input type="checkbox"/> Square foot per inch <input type="checkbox"/> Ton <input checked="" type="checkbox"/> Lump Sum
Unit price	\$168,730
Unit total	1
Cost category	<input type="checkbox"/> Administrative and legal expenses <input type="checkbox"/> Architectural and engineering fees <input checked="" type="checkbox"/> Construction <input type="checkbox"/> Contingencies <input type="checkbox"/> Demolition and removal <input type="checkbox"/> Equipment rental <input type="checkbox"/> Equipment purchase <input type="checkbox"/> Land, structures, rights-of-way, appraisals, etc. <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Other architectural and engineering fees <input type="checkbox"/> Project inspection fees <input type="checkbox"/> Relocation expenses and payments <input type="checkbox"/> Site work
Pre-award	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Project phase	<input type="checkbox"/> Phase 1 <input type="checkbox"/> Phase 2 <input checked="" type="checkbox"/> Not applicable
Name of cost item	Carleton Stadium Floodwall Construction
Quantity	1

Add budget cost types and item(s)	
Unit of measure	<input type="checkbox"/> Acre <input type="checkbox"/> Cubic foot <input type="checkbox"/> Cubic yard <input type="checkbox"/> Day <input type="checkbox"/> Each <input type="checkbox"/> Foot <input type="checkbox"/> Hour <input type="checkbox"/> Inch <input type="checkbox"/> Linear foot <input type="checkbox"/> Mile <input type="checkbox"/> Million board feet <input type="checkbox"/> Square foot <input type="checkbox"/> Square yard <input type="checkbox"/> Square foot per inch <input type="checkbox"/> Ton <input checked="" type="checkbox"/> Lump Sum
Unit price	\$1,518,566
Unit total	1
Cost category	<input type="checkbox"/> Administrative and legal expenses <input type="checkbox"/> Architectural and engineering fees <input checked="" type="checkbox"/> Construction <input type="checkbox"/> Contingencies <input type="checkbox"/> Demolition and removal <input type="checkbox"/> Equipment rental <input type="checkbox"/> Equipment purchase <input type="checkbox"/> Land, structures, rights-of-way, appraisals, etc. <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Other architectural and engineering fees <input type="checkbox"/> Project inspection fees <input type="checkbox"/> Relocation expenses and payments <input type="checkbox"/> Site work
Pre-award	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Project phase	<input type="checkbox"/> Phase 1 <input type="checkbox"/> Phase 2 <input checked="" type="checkbox"/> Not applicable
Name of cost item	Carleton Stadium Remove and Replace Scoreboard
Quantity	1

Add budget cost types and item(s)	
Unit of measure	<input type="checkbox"/> Acre <input type="checkbox"/> Cubic foot <input type="checkbox"/> Cubic yard <input type="checkbox"/> Day <input type="checkbox"/> Each <input type="checkbox"/> Foot <input type="checkbox"/> Hour <input type="checkbox"/> Inch <input type="checkbox"/> Linear foot <input type="checkbox"/> Mile <input type="checkbox"/> Million board feet <input type="checkbox"/> Square foot <input type="checkbox"/> Square yard <input type="checkbox"/> Square foot per inch <input type="checkbox"/> Ton <input checked="" type="checkbox"/> Lump Sum
Unit price	\$168,730
Unit total	1
Cost category	<input type="checkbox"/> Administrative and legal expenses <input type="checkbox"/> Architectural and engineering fees <input type="checkbox"/> Construction <input type="checkbox"/> Contingencies <input type="checkbox"/> Demolition and removal <input type="checkbox"/> Equipment rental <input type="checkbox"/> Equipment purchase <input type="checkbox"/> Land, structures, rights-of-way, appraisals, etc. <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Other architectural and engineering fees <input type="checkbox"/> Project inspection fees <input checked="" type="checkbox"/> Relocation expenses and payments <input type="checkbox"/> Site work
Pre-award	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Project phase	<input type="checkbox"/> Phase 1 <input type="checkbox"/> Phase 2 <input checked="" type="checkbox"/> Not applicable
Name of cost item	Carleton Stadium Construction Contingency
Quantity	1

Add budget cost types and item(s)	
Unit of measure	<input type="checkbox"/> Acre <input type="checkbox"/> Cubic foot <input type="checkbox"/> Cubic yard <input type="checkbox"/> Day <input type="checkbox"/> Each <input type="checkbox"/> Foot <input type="checkbox"/> Hour <input type="checkbox"/> Inch <input type="checkbox"/> Linear foot <input type="checkbox"/> Mile <input type="checkbox"/> Million board feet <input type="checkbox"/> Square foot <input type="checkbox"/> Square yard <input type="checkbox"/> Square foot per inch <input type="checkbox"/> Ton <input checked="" type="checkbox"/> Lump Sum
Unit price	\$495,511
Unit total	1
Cost category	<input type="checkbox"/> Administrative and legal expenses <input type="checkbox"/> Architectural and engineering fees <input type="checkbox"/> Construction <input checked="" type="checkbox"/> Contingencies <input type="checkbox"/> Demolition and removal <input type="checkbox"/> Equipment rental <input type="checkbox"/> Equipment purchase <input type="checkbox"/> Land, structures, rights-of-way, appraisals, etc. <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Other architectural and engineering fees <input type="checkbox"/> Project inspection fees <input type="checkbox"/> Relocation expenses and payments <input type="checkbox"/> Site work
Pre-award	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Project phase	<input type="checkbox"/> Phase 1 <input type="checkbox"/> Phase 2 <input checked="" type="checkbox"/> Not applicable
Name of cost item	Carleton Stadium Planning, Engineering, Design
Quantity	1

Add budget cost types and item(s)	
Unit of measure	<input type="checkbox"/> Acre <input type="checkbox"/> Cubic foot <input type="checkbox"/> Cubic yard <input type="checkbox"/> Day <input type="checkbox"/> Each <input type="checkbox"/> Foot <input type="checkbox"/> Hour <input type="checkbox"/> Inch <input type="checkbox"/> Linear foot <input type="checkbox"/> Mile <input type="checkbox"/> Million board feet <input type="checkbox"/> Square foot <input type="checkbox"/> Square yard <input type="checkbox"/> Square foot per inch <input type="checkbox"/> Ton <input checked="" type="checkbox"/> Lump Sum
Unit price	\$619,389
Unit total	1
Cost category	<input type="checkbox"/> Administrative and legal expenses <input checked="" type="checkbox"/> Architectural and engineering fees <input type="checkbox"/> Construction <input type="checkbox"/> Contingencies <input type="checkbox"/> Demolition and removal <input type="checkbox"/> Equipment rental <input type="checkbox"/> Equipment purchase <input type="checkbox"/> Land, structures, rights-of-way, appraisals, etc. <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Other architectural and engineering fees <input type="checkbox"/> Project inspection fees <input type="checkbox"/> Relocation expenses and payments <input type="checkbox"/> Site work
Pre-award	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Project phase	<input type="checkbox"/> Phase 1 <input type="checkbox"/> Phase 2 <input checked="" type="checkbox"/> Not applicable
Name of cost item	Carleton Stadium Permitting and Regulatory Work
Quantity	1

Add budget cost types and item(s)	
Unit of measure	<input type="checkbox"/> Acre <input type="checkbox"/> Cubic foot <input type="checkbox"/> Cubic yard <input type="checkbox"/> Day <input type="checkbox"/> Each <input type="checkbox"/> Foot <input type="checkbox"/> Hour <input type="checkbox"/> Inch <input type="checkbox"/> Linear foot <input type="checkbox"/> Mile <input type="checkbox"/> Million board feet <input type="checkbox"/> Square foot <input type="checkbox"/> Square yard <input type="checkbox"/> Square foot per inch <input type="checkbox"/> Ton <input checked="" type="checkbox"/> Lump Sum
Unit price	\$247,756
Unit total	1
Cost category	<input type="checkbox"/> Administrative and legal expenses <input type="checkbox"/> Architectural and engineering fees <input type="checkbox"/> Construction <input type="checkbox"/> Contingencies <input type="checkbox"/> Demolition and removal <input type="checkbox"/> Equipment rental <input type="checkbox"/> Equipment purchase <input type="checkbox"/> Land, structures, rights-of-way, appraisals, etc. <input checked="" type="checkbox"/> Miscellaneous <input type="checkbox"/> Other architectural and engineering fees <input type="checkbox"/> Project inspection fees <input type="checkbox"/> Relocation expenses and payments <input type="checkbox"/> Site work
Pre-award	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Project phase	<input type="checkbox"/> Phase 1 <input type="checkbox"/> Phase 2 <input checked="" type="checkbox"/> Not applicable
Name of cost item	Carleton Gym Mobilization/Demobilization
Quantity	1

Add budget cost types and item(s)	
Unit of measure	<input type="checkbox"/> Acre <input type="checkbox"/> Cubic foot <input type="checkbox"/> Cubic yard <input type="checkbox"/> Day <input type="checkbox"/> Each <input type="checkbox"/> Foot <input type="checkbox"/> Hour <input type="checkbox"/> Inch <input type="checkbox"/> Linear foot <input type="checkbox"/> Mile <input type="checkbox"/> Million board feet <input type="checkbox"/> Square foot <input type="checkbox"/> Square yard <input type="checkbox"/> Square foot per inch <input type="checkbox"/> Ton <input checked="" type="checkbox"/> Lump Sum
Unit price	\$14,629
Unit total	1
Cost category	<input type="checkbox"/> Administrative and legal expenses <input type="checkbox"/> Architectural and engineering fees <input type="checkbox"/> Construction <input type="checkbox"/> Contingencies <input type="checkbox"/> Demolition and removal <input type="checkbox"/> Equipment rental <input type="checkbox"/> Equipment purchase <input type="checkbox"/> Land, structures, rights-of-way, appraisals, etc. <input checked="" type="checkbox"/> Miscellaneous <input type="checkbox"/> Other architectural and engineering fees <input type="checkbox"/> Project inspection fees <input type="checkbox"/> Relocation expenses and payments <input type="checkbox"/> Site work
Pre-award	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Project phase	<input type="checkbox"/> Phase 1 <input type="checkbox"/> Phase 2 <input checked="" type="checkbox"/> Not applicable
Name of cost item	Carleton Gym Erosion and Sediment Control
Quantity	1

Add budget cost types and item(s)	
Unit of measure	<input type="checkbox"/> Acre <input type="checkbox"/> Cubic foot <input type="checkbox"/> Cubic yard <input type="checkbox"/> Day <input type="checkbox"/> Each <input type="checkbox"/> Foot <input type="checkbox"/> Hour <input type="checkbox"/> Inch <input type="checkbox"/> Linear foot <input type="checkbox"/> Mile <input type="checkbox"/> Million board feet <input type="checkbox"/> Square foot <input type="checkbox"/> Square yard <input type="checkbox"/> Square foot per inch <input type="checkbox"/> Ton <input checked="" type="checkbox"/> Lump Sum
Unit price	\$2,868
Unit total	1
Cost category	<input type="checkbox"/> Administrative and legal expenses <input type="checkbox"/> Architectural and engineering fees <input type="checkbox"/> Construction <input type="checkbox"/> Contingencies <input type="checkbox"/> Demolition and removal <input type="checkbox"/> Equipment rental <input type="checkbox"/> Equipment purchase <input type="checkbox"/> Land, structures, rights-of-way, appraisals, etc. <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Other architectural and engineering fees <input type="checkbox"/> Project inspection fees <input type="checkbox"/> Relocation expenses and payments <input checked="" type="checkbox"/> Site work
Pre-award	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Project phase	<input type="checkbox"/> Phase 1 <input type="checkbox"/> Phase 2 <input checked="" type="checkbox"/> Not applicable
Name of cost item	Carleton Gym Demolition and Site Prep
Quantity	1

Add budget cost types and item(s)	
Unit of measure	<input type="checkbox"/> Acre <input type="checkbox"/> Cubic foot <input type="checkbox"/> Cubic yard <input type="checkbox"/> Day <input type="checkbox"/> Each <input type="checkbox"/> Foot <input type="checkbox"/> Hour <input type="checkbox"/> Inch <input type="checkbox"/> Linear foot <input type="checkbox"/> Mile <input type="checkbox"/> Million board feet <input type="checkbox"/> Square foot <input type="checkbox"/> Square yard <input type="checkbox"/> Square foot per inch <input type="checkbox"/> Ton <input checked="" type="checkbox"/> Lump Sum
Unit price	\$16,873
Unit total	1
Cost category	<input type="checkbox"/> Administrative and legal expenses <input type="checkbox"/> Architectural and engineering fees <input type="checkbox"/> Construction <input type="checkbox"/> Contingencies <input checked="" type="checkbox"/> Demolition and removal <input type="checkbox"/> Equipment rental <input type="checkbox"/> Equipment purchase <input type="checkbox"/> Land, structures, rights-of-way, appraisals, etc. <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Other architectural and engineering fees <input type="checkbox"/> Project inspection fees <input type="checkbox"/> Relocation expenses and payments <input type="checkbox"/> Site work
Pre-award	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Project phase	<input type="checkbox"/> Phase 1 <input type="checkbox"/> Phase 2 <input checked="" type="checkbox"/> Not applicable
Name of cost item	Carleton Gym Closure Stoplogs
Quantity	1

Add budget cost types and item(s)	
Unit of measure	<input type="checkbox"/> Acre <input type="checkbox"/> Cubic foot <input type="checkbox"/> Cubic yard <input type="checkbox"/> Day <input type="checkbox"/> Each <input type="checkbox"/> Foot <input type="checkbox"/> Hour <input type="checkbox"/> Inch <input type="checkbox"/> Linear foot <input type="checkbox"/> Mile <input type="checkbox"/> Million board feet <input type="checkbox"/> Square foot <input type="checkbox"/> Square yard <input type="checkbox"/> Square foot per inch <input type="checkbox"/> Ton <input checked="" type="checkbox"/> Lump Sum
Unit price	\$25,309
Unit total	1
Cost category	<input type="checkbox"/> Administrative and legal expenses <input type="checkbox"/> Architectural and engineering fees <input checked="" type="checkbox"/> Construction <input type="checkbox"/> Contingencies <input type="checkbox"/> Demolition and removal <input type="checkbox"/> Equipment rental <input type="checkbox"/> Equipment purchase <input type="checkbox"/> Land, structures, rights-of-way, appraisals, etc. <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Other architectural and engineering fees <input type="checkbox"/> Project inspection fees <input type="checkbox"/> Relocation expenses and payments <input type="checkbox"/> Site work
Pre-award	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Project phase	<input type="checkbox"/> Phase 1 <input type="checkbox"/> Phase 2 <input checked="" type="checkbox"/> Not applicable
Name of cost item	Carleton Gym Closure Framework
Quantity	1

Add budget cost types and item(s)	
Unit of measure	<input type="checkbox"/> Acre <input type="checkbox"/> Cubic foot <input type="checkbox"/> Cubic yard <input type="checkbox"/> Day <input type="checkbox"/> Each <input type="checkbox"/> Foot <input type="checkbox"/> Hour <input type="checkbox"/> Inch <input type="checkbox"/> Linear foot <input type="checkbox"/> Mile <input type="checkbox"/> Million board feet <input type="checkbox"/> Square foot <input type="checkbox"/> Square yard <input type="checkbox"/> Square foot per inch <input type="checkbox"/> Ton <input checked="" type="checkbox"/> Lump Sum
Unit price	\$67,492
Unit total	1
Cost category	<input type="checkbox"/> Administrative and legal expenses <input type="checkbox"/> Architectural and engineering fees <input checked="" type="checkbox"/> Construction <input type="checkbox"/> Contingencies <input type="checkbox"/> Demolition and removal <input type="checkbox"/> Equipment rental <input type="checkbox"/> Equipment purchase <input type="checkbox"/> Land, structures, rights-of-way, appraisals, etc. <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Other architectural and engineering fees <input type="checkbox"/> Project inspection fees <input type="checkbox"/> Relocation expenses and payments <input type="checkbox"/> Site work
Pre-award	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Project phase	<input type="checkbox"/> Phase 1 <input type="checkbox"/> Phase 2 <input checked="" type="checkbox"/> Not applicable
Name of cost item	Carleton Gym Concrete Stairs and Walkway
Quantity	1

Add budget cost types and item(s)	
Unit of measure	<input type="checkbox"/> Acre <input type="checkbox"/> Cubic foot <input type="checkbox"/> Cubic yard <input type="checkbox"/> Day <input type="checkbox"/> Each <input type="checkbox"/> Foot <input type="checkbox"/> Hour <input type="checkbox"/> Inch <input type="checkbox"/> Linear foot <input type="checkbox"/> Mile <input type="checkbox"/> Million board feet <input type="checkbox"/> Square foot <input type="checkbox"/> Square yard <input type="checkbox"/> Square foot per inch <input type="checkbox"/> Ton <input checked="" type="checkbox"/> Lump Sum
Unit price	\$33,746
Unit total	1
Cost category	<input type="checkbox"/> Administrative and legal expenses <input type="checkbox"/> Architectural and engineering fees <input checked="" type="checkbox"/> Construction <input type="checkbox"/> Contingencies <input type="checkbox"/> Demolition and removal <input type="checkbox"/> Equipment rental <input type="checkbox"/> Equipment purchase <input type="checkbox"/> Land, structures, rights-of-way, appraisals, etc. <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Other architectural and engineering fees <input type="checkbox"/> Project inspection fees <input type="checkbox"/> Relocation expenses and payments <input type="checkbox"/> Site work
Pre-award	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Project phase	<input type="checkbox"/> Phase 1 <input type="checkbox"/> Phase 2 <input checked="" type="checkbox"/> Not applicable
Name of cost item	Carleton Gym Construction Contingency
Quantity	1

Add budget cost types and item(s)	
Unit of measure	<input type="checkbox"/> Acre <input type="checkbox"/> Cubic foot <input type="checkbox"/> Cubic yard <input type="checkbox"/> Day <input type="checkbox"/> Each <input type="checkbox"/> Foot <input type="checkbox"/> Hour <input type="checkbox"/> Inch <input type="checkbox"/> Linear foot <input type="checkbox"/> Mile <input type="checkbox"/> Million board feet <input type="checkbox"/> Square foot <input type="checkbox"/> Square yard <input type="checkbox"/> Square foot per inch <input type="checkbox"/> Ton <input checked="" type="checkbox"/> Lump Sum
Unit price	\$40,229
Unit total	1
Cost category	<input type="checkbox"/> Administrative and legal expenses <input type="checkbox"/> Architectural and engineering fees <input type="checkbox"/> Construction <input checked="" type="checkbox"/> Contingencies <input type="checkbox"/> Demolition and removal <input type="checkbox"/> Equipment rental <input type="checkbox"/> Equipment purchase <input type="checkbox"/> Land, structures, rights-of-way, appraisals, etc. <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Other architectural and engineering fees <input type="checkbox"/> Project inspection fees <input type="checkbox"/> Relocation expenses and payments <input type="checkbox"/> Site work
Pre-award	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Project phase	<input type="checkbox"/> Phase 1 <input type="checkbox"/> Phase 2 <input checked="" type="checkbox"/> Not applicable
Name of cost item	Carleton Gym Planning, Engineering, Design
Quantity	1

Add budget cost types and item(s)	
Unit of measure	<input type="checkbox"/> Acre <input type="checkbox"/> Cubic foot <input type="checkbox"/> Cubic yard <input type="checkbox"/> Day <input type="checkbox"/> Each <input type="checkbox"/> Foot <input type="checkbox"/> Hour <input type="checkbox"/> Inch <input type="checkbox"/> Linear foot <input type="checkbox"/> Mile <input type="checkbox"/> Million board feet <input type="checkbox"/> Square foot <input type="checkbox"/> Square yard <input type="checkbox"/> Square foot per inch <input type="checkbox"/> Ton <input checked="" type="checkbox"/> Lump Sum
Unit price	\$50,287
Unit total	1
Cost category	<input type="checkbox"/> Administrative and legal expenses <input checked="" type="checkbox"/> Architectural and engineering fees <input type="checkbox"/> Construction <input type="checkbox"/> Contingencies <input type="checkbox"/> Demolition and removal <input type="checkbox"/> Equipment rental <input type="checkbox"/> Equipment purchase <input type="checkbox"/> Land, structures, rights-of-way, appraisals, etc. <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Other architectural and engineering fees <input type="checkbox"/> Project inspection fees <input type="checkbox"/> Relocation expenses and payments <input type="checkbox"/> Site work
Pre-award	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Project phase	<input type="checkbox"/> Phase 1 <input type="checkbox"/> Phase 2 <input checked="" type="checkbox"/> Not applicable
Name of cost item	Carleton Gym Permitting and Regulatory Work
Quantity	1

Add budget cost types and item(s)	
Unit of measure	<input type="checkbox"/> Acre <input type="checkbox"/> Cubic foot <input type="checkbox"/> Cubic yard <input type="checkbox"/> Day <input type="checkbox"/> Each <input type="checkbox"/> Foot <input type="checkbox"/> Hour <input type="checkbox"/> Inch <input type="checkbox"/> Linear foot <input type="checkbox"/> Mile <input type="checkbox"/> Million board feet <input type="checkbox"/> Square foot <input type="checkbox"/> Square yard <input type="checkbox"/> Square foot per inch <input type="checkbox"/> Ton <input checked="" type="checkbox"/> Lump Sum
Unit price	\$20,115
Unit total	1
Cost category	<input type="checkbox"/> Administrative and legal expenses <input type="checkbox"/> Architectural and engineering fees <input type="checkbox"/> Construction <input type="checkbox"/> Contingencies <input type="checkbox"/> Demolition and removal <input type="checkbox"/> Equipment rental <input type="checkbox"/> Equipment purchase <input type="checkbox"/> Land, structures, rights-of-way, appraisals, etc. <input checked="" type="checkbox"/> Miscellaneous <input type="checkbox"/> Other architectural and engineering fees <input type="checkbox"/> Project inspection fees <input type="checkbox"/> Relocation expenses and payments <input type="checkbox"/> Site work
Pre-award	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Project phase	<input type="checkbox"/> Phase 1 <input type="checkbox"/> Phase 2 <input checked="" type="checkbox"/> Not applicable
* Total budget cost	\$8,034,699.00
Program income (optional)	\$

Cost share

Cost share or matching means the portion of project costs not paid by federal funds.

Hazard mitigation assistance (HMA) funds may be used to pay up to 75% federal share of the eligible activity costs. Building Resilient Infrastructure and Communities (BRIC) and small impoverished communities may be eligible for up to 90% federal share. Flood Mitigation Assistance (FMA) and severe repetitive loss (SRL) properties may be eligible for up to 100% federal share. Repetitive loss (RL) properties may be eligible for up to 90% federal share.

Proposed federal vs. non-federal funding shares	
Is this a small impoverished community? (See Appendix for definition) This determines your federal/non-federal share ratio.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<i>If Yes</i>	<ul style="list-style-type: none"> ▪ Federal Share Percentage 90% ▪ Non-Federal Share Percentage 10%
Based on total budget cost	\$
Proposed federal share	\$
Proposed non-federal share	
<i>If No</i>	<ul style="list-style-type: none"> ▪ Federal Share Percentage 75% ▪ Non-Federal Share Percentage 25%
Based on total budget cost	\$8,034,699.00
Proposed federal share	\$6,026,024.25
Add funding source (complete this table for each funding source)	
Funding source	City of Northfield – Stormwater Fund
Name of source agency	City of Northfield
Funding amount	\$1,104,612.75
Percent non-federal share by source	%54.99

Proposed federal vs. non-federal funding shares	
Funding type	<input type="checkbox"/> Administration <input checked="" type="checkbox"/> Cash <input type="checkbox"/> Consulting fees <input type="checkbox"/> Engineering fees <input type="checkbox"/> Equipment operation <input type="checkbox"/> Rental <input type="checkbox"/> Labor <input type="checkbox"/> Other <input type="checkbox"/> Program income <input type="checkbox"/> Supplies
Date of availability (MM/DD/YYYY)	
Fund commitment letter date (MM/DD/YYYY)	
Funding source	Carleton College
Name of source agency	Carleton College
Funding amount	\$904,062.00
Percent non-federal share by source	%45.01
Funding type	<input type="checkbox"/> Administration <input checked="" type="checkbox"/> Cash <input type="checkbox"/> Consulting fees <input type="checkbox"/> Engineering fees <input type="checkbox"/> Equipment operation <input type="checkbox"/> Rental <input type="checkbox"/> Labor <input type="checkbox"/> Other <input type="checkbox"/> Program income <input type="checkbox"/> Supplies
Date of availability (MM/DD/YYYY)	
Fund commitment letter date (MM/DD/YYYY)	
Grand Total (\$)	2,008,674.75
Total percent non-federal share	25%

Proposed federal vs. non-federal funding shares	
Please provide any addition comments (optional)	
Attachments:	

Cost-Effectiveness	
* How was cost-effectiveness determined for this project?	<input checked="" type="checkbox"/> BCA completed in FEMA's BCA toolkit (Must attach the export file, zip file, pdf file, and other supporting documentation) <input type="checkbox"/> Pre-calculated benefits <input type="checkbox"/> Substantial damage in special flood hazard area <input type="checkbox"/> Other BCA methodology approved by FEMA in writing <input type="checkbox"/> Not applicable
* What are the total project benefits?	\$12,099,000
* What is the total project cost?	\$8,034,699
* What is the benefit cost ratio (BCR) for the entire project?	1.50
Please provide any additional comments.	
Attachments: * Attach the Benefit Cost Analysis (BCA), if completed for this project	BCA Summary 06132023.pdf

Environmental/Historic Preservation (EHP) Review Information

An environmental/historic preservation review is required for all activities for which FEMA funds are being requested. FEMA will complete this review with the assistance of both the state or tribal government and the local applicant. It is important that you provide accurate information. If you are having problems completing this section, please contact your application point of contact.

A. National Historic Preservation Act - Historic Buildings and Structures	
<p>* 1. Does your project affect or is it in close proximity to any buildings or structures 50 years or more in age?</p>	<p><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Not known</p>
<p>If Yes, you must confirm that you have provided the following:</p>	<ul style="list-style-type: none"><input checked="" type="checkbox"/> The property address and original date of construction for each property affected (unless this information is already noted in the Properties section)<input checked="" type="checkbox"/> A minimum of two color photographs showing at least three sides of each structure (Please label the photos accordingly)<input checked="" type="checkbox"/> A diagram or USGS 1:24,000 scale quadrangle map displaying the relationship of the property(s) to the project area

A. National Historic Preservation Act - Historic Buildings and Structures	
<p>If Yes, to help FEMA evaluate the impact of the project, please indicate any other information you are providing.</p>	<ul style="list-style-type: none"> <input type="checkbox"/> Information gathered about potential historic properties in the project area, including any evidence indicating the age of the building or structure and presence of buildings or structures that are listed or eligible for listing on the National Register of Historic Places or within or near a National Register listed or eligible historic district. Sources for this information may include the State Historic Preservation Officer, and/or the Tribal Historic Preservation Officer (SHPO/THPO), your local planning office, historic preservation organization, or historical society. <input type="checkbox"/> Consideration of how the project design will minimize adverse effects on known or potential historic buildings or structures, and any alternatives considered or implemented to avoid or minimize effects on historic buildings or structures. Please address and note associated costs in your project budget. <input type="checkbox"/> For acquisition/demolition projects affecting historic buildings or structures, any data regarding the consideration and feasibility of elevation, relocation, or flood proofing as alternatives to demolition. <input type="checkbox"/> Attached materials or additional comments.
<p>If Yes or Not Known, please provide an explanation and any information about this project that could assist FEMA in its review. (optional)</p>	
<p>Attachments:</p>	<p> 215 Division St N - Laird Stadium Photos.pdf 207 Water St S.pdf 301 Water St S.pdf 205 Water St S - 1.pdf 321 Division St N - West Gym Photos.pdf Figure C-5 Area CC3 Alt3-2.pdf A-1 Area1 Alternatives.pdf Figure C-4 Area CC2 AltCC2-4.pdf </p>

B. National Historic Preservation Act - Archeological Resources	
<p>* 1. Does your project involve disturbance of ground?</p>	<p><input checked="" type="checkbox"/> Yes</p> <p><input type="checkbox"/> No</p> <p><input type="checkbox"/> Not known</p>
<p>If Yes, please confirm that you have provided the information below by selecting each checkbox.</p> <p>(If you have not provided these documents in any other section of the application, please attach the required documents below.)</p>	<p><input checked="" type="checkbox"/> A description of the ground disturbance by giving the dimensions (area, volume, depth, etc.) and location.</p> <p><input checked="" type="checkbox"/> The past use of the area to be disturbed, noting the extent of previously disturbed ground.</p> <p><input checked="" type="checkbox"/> A USGS 1:24,000 scale or other site map showing the location and extent of ground disturbance.</p>
<p>If Yes, to help FEMA evaluate the impact of the project, please indicate below any other information you are providing. (optional)</p>	<p><input type="checkbox"/> Any information about potential historic properties, including archeological sites, in the project area. Sources of this information may include SHPO/THPO, and/or the Tribe's cultural resources contact if no THPO is designated. Include, if possible, a map showing the relation of any identified historic properties to the project area.</p> <p><input type="checkbox"/> Attached materials or additional comments.</p>

B. National Historic Preservation Act - Archeological Resources

If Yes or Not Known, please provide an explanation and any information about this project that could assist FEMA in its review. (optional)

Extent of disturbance has been provided in the Scope of Work.

The area to be disturbed is limited to the properties directly benefitting from the project. The downtown area where the floodwall portion of the project will be constructed has been developed as commercial properties with a walking trail adjacent to the river. Prior to construction of the walking path, this space was undeveloped riparian area.

The Carleton College area impacted by the project includes Laird Stadium and the west gym. Laird Stadium was constructed in 1927 and has remained in use, with updates, from that time. Prior to construction, the land was used as an open athletic field with a covered grandstand. Prior to its use as an athletic field, the stadium area was undeveloped open space. The west gym was constructed between 1958 and 1966. Prior to construction of the gym, the land was undeveloped open space.

The maps in Part A show the location and extent of ground disturbance.

Attachments:

C. Endangered Species Act and Fish and Wildlife Coordination Act

* 1. Are Federally listed threatened or endangered species or their critical habitat present in the area affected by the project?

- Yes
- No
- Not known

If Yes, please confirm that you have provided the information below by selecting each checkbox.

(If you have not provided these documents in any other section of the application, please attach the required documents below.)

- Information you obtained to identify species in or near the project area. Provide the source and date of the information cited.

C. Endangered Species Act and Fish and Wildlife Coordination Act	
<p>If Yes, to help FEMA evaluate the impact of the project, please indicate below any other information you are providing. (optional)</p>	<p><input type="checkbox"/> Any request for information and associated response from the USFWS, the National Marine Fisheries Service (NMFS) (for affected ocean-going fish), or your State Wildlife Agency, regarding potential listed species present and potential of the project to impact those species.</p> <p><input type="checkbox"/> Attached materials or additional comments.</p>
<p>If Yes or Not Known, please provide an explanation and any information about this project that could assist FEMA in its review. (optional)</p>	
<p>* 2. Does your project remove or affect vegetation?</p>	<p><input checked="" type="checkbox"/> Yes</p> <p><input type="checkbox"/> No</p> <p><input type="checkbox"/> Not known</p>
<p>If Yes, please confirm that you have provided the information below by selecting each checkbox.</p> <p>(If you have not provided these documents in any other section of the application, please attach the required documents below.)</p>	<p><input checked="" type="checkbox"/> Description of the amount (area) and type of vegetation to be removed or affected.</p> <p><input checked="" type="checkbox"/> A site map showing the project area and the extent of vegetation affected.</p> <p><input checked="" type="checkbox"/> Photographs or digital images that show both the vegetation affected and the vegetation in context of its surroundings.</p>
<p>If Yes, to help FEMA evaluate the impact of the project, please indicate below any other information you are providing. (optional)</p>	<p><input type="checkbox"/> Attached materials or additional comments.</p>
<p>If Yes or Not Known, please provide an explanation and any information about this project that could assist FEMA in its review. (optional)</p>	<p>Downtown, mature tree impacts will be avoided or minimized, but some mature trees may require removal along the riverwalk. At the stadium, vegetation underlying the proposed floodwall will be removed. This is primarily turf (Attachment C-4). At the gym, grass in the location of the proposed wingwalls as well as in the location of a proposed sidewalk will be removed. The downtown vegetation attachment provides a view of the trees that may be affected. The maps for Part A (A-1, C-4, C-5) show the location and extent of vegetation to be affected for all areas.</p>

C. Endangered Species Act and Fish and Wildlife Coordination Act	
<p>* 3. Is your project in, near (within 200 feet), or likely to affect any type of waterway or body of water?</p>	<p><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Not known</p>
<p>If Yes, and project is not within an existing building, you must confirm that you have provided the following: (If you have not provided these documents in any other section of the application, please attach the required documents below.)</p>	<p><input checked="" type="checkbox"/> A USGS 1:24,000 scale quadrangle map showing the project activities in relation to all nearby water bodies (within 200 feet).</p> <p><input checked="" type="checkbox"/> Any information about the type of water body nearby including: its dimensions, the proximity of the project activity to the water body, and the expected and possible changes to the water body, if any. Identify all water bodies regardless whether you think there may be an effect</p> <p><input checked="" type="checkbox"/> A photograph or digital image of the site showing both the body of water and the project area.</p>
<p>If Yes, to help FEMA evaluate the impact of the project, please indicate below any other information you are providing. (optional)</p>	<p><input type="checkbox"/> Evidence of any discussions with the US Fish and Wildlife Service (USFWS), and/or your State Wildlife Agency concerning any potential impacts if there is the potential for the project to affect any water body.</p> <p><input type="checkbox"/> Attached materials or additional comments.</p>
<p>If Yes or Not Known, please provide an explanation and any information about this project that could assist FEMA in its review. (optional)</p>	<p>The proposed activity is within 200 ft of the Cannon River. Maps for Part A (A-1, C-4, C-5) show the location of the Cannon River in relation to the proposed projects. The attached hydraulic profile shows the water surface elevations of the river in relation to the proposed downtown project. The proposed work should not impact the river. The inundation maps show the changes to the floodplain from the proposed projects.</p>

C. Endangered Species Act and Fish and Wildlife Coordination Act

<p>Attachments:</p>	<p>Figure C-4 Area CC2 AltCC2-4.pdf Figure C-5 Area CC3 Alt3-2.pdf Figure D-4 Proposed Conditions Carleton College - Alt CC2-4.pdf Fig B-2 Alt 1-2 Floodwall Extension.pdf A-7 Hyd Profile Area 1 v3.pdf A-1 Area1 Alternatives.pdf</p>
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D. Clean Water Act, Rivers and Harbors Act, and Executive Order 11990 (Protection of Wetlands)

<p>* 1. Will the project involve dredging or disposal of dredged material, excavation, adding fill material or result in any modification to water bodies or wetlands designated as "waters of the U.S" as identified by the US Army Corps of Engineers or on the National Wetland Inventory?</p>	<p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Not known</p>
<p>If Yes, please confirm that you have provided the information below by selecting each checkbox. (If you have not provided these documents in any other section of the application, please attach the required documents below.)</p>	<p><input type="checkbox"/> Documentation of the project location on a USGS 1:24,000 scale topographic map or image and a copy of a National Wetlands Inventory map or other available wetlands mapping information.</p>
<p>If Yes, to help FEMA evaluate the impact of the project, please indicate below any other information you are providing. (optional)</p>	<p><input type="checkbox"/> Request for information and response letter from the US Army Corps of Engineers and/or State resource agencies regarding the potential for wetlands, and applicability of permitting requirements. <input type="checkbox"/> Evidence of alternatives considered to eliminate or minimize impacts to wetlands. <input type="checkbox"/> Attached materials or additional comments.</p>
<p>If Yes or Not Known, please provide an explanation and any information about this project that could assist FEMA in its review. (optional)</p>	

D. Clean Water Act, Rivers and Harbors Act, and Executive Order 11990 (Protection of Wetlands)

Attachments:

E. Executive Order 11988 (Floodplain Management)

* 1. Does a Flood Insurance Rate Map (FIRM), Flood Hazard Boundary Map (FHBM), hydrologic study, or some other source indicate that the project is located in or will affect a 100 year floodplain, a 500 year floodplain if a critical facility, an identified regulatory floodway, or an area prone to flooding?

Yes
 No
 Not known

If Yes, please indicate and/or provide any documentation to identify the means or the alternatives considered to eliminate or minimize impacts to floodplains (See the 8 step process found in 44 CFR Part 9.6.) to help FEMA evaluate the impact of the project.

Impacts to floodplain are localized to parcels being protected. The properties subject to protection are not intended to provide floodplain functions. See Attachment F for considered alternatives.

If Yes or Not Known, please provide an explanation and any information about this project that could assist FEMA in its review. (optional)

* 2. Does the project alter a watercourse, water flow patterns, or a drainage way, regardless of its floodplain designation?

Yes
 No
 Not known

If Yes, please indicate any other information you are providing to help FEMA evaluate the impact of the project.

- Hydrologic/hydraulic information from a qualified engineer to demonstrate how drainage and flood flow patterns will be changed and to identify down and upstream effects.
- Request for information and response letter from the State water resource agency, if applicable, with jurisdiction over modification of waterways.
- Attached materials or additional comments.

E. Executive Order 11988 (Floodplain Management)	
If Yes or Not Known, please provide an explanation and any information about this project that could assist FEMA in its review. (optional)	
Attachments:	+Attachment F Alternative Scoring and Recommendations.pdf

F. Coastal Zone Management Act	
* 1. Is the project located in the State's designated coastal zone?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Not known
If Yes, please indicate any other information you are providing to help FEMA evaluate the impact of the project.	<input type="checkbox"/> Information resulting from contact with the appropriate State agency that implements the coastal zone management program regarding the likelihood of the project's consistency with the State's coastal zone plan and any potential requirements affecting the cost or design of the proposed activity. <input type="checkbox"/> Attached materials or additional comments.
If Yes or Not Known, please provide an explanation and any information about this project that could assist FEMA in its review. (optional)	
Attachments:	

G. Farmland Protection Policy Act	
* 1. Will the project convert more than 5 acres of "prime or unique" farmland outside city limits to a non-agricultural use?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Not known
If Yes or Not Known, please provide an explanation and any information about this project that could assist FEMA in its review. (optional)	

G. Farmland Protection Policy Act

Attachments:

H. Resource Conservation and Recovery Act (RCRA) and Comprehensive Environmental Response Compensation and Liability Act (CERCLA) (Hazardous and Toxic Materials)

* 1. Is there a reason to suspect there are contaminants from a current or past use on the property associated with the proposed project?

- Yes
- No
- Not known

If Yes, please indicate any other information you are providing to help FEMA evaluate the impact of the project.

- Comments and any relevant documentation.
- Results of any consultations with State or local agency to obtain permit with requirements for handling, disposing of or addressing the effects of hazardous or toxic materials related to project implementation.
- Attached materials or additional comments.

If Yes or Not Known, please provide an explanation and any information about this project that could assist FEMA in its review. (optional)

* 2. Are there any studies, investigations, or enforcement actions related to the property associated with the proposed project?

- Yes
- No
- Not known

If Yes, please indicate any other information you are providing to help FEMA evaluate the impact of the project.

- Comments and any relevant documentation.
- Results of any consultations with State or local agency to obtain permit with requirements for handling, disposing of or addressing the effects of hazardous or toxic materials related to project implementation.
- Attached materials or additional comments.

If Yes or Not Known, please provide an explanation and any information about this project that could assist FEMA in its review. (optional)

H. Resource Conservation and Recovery Act (RCRA) and Comprehensive Environmental Response Compensation and Liability Act (CERCLA) (Hazardous and Toxic Materials)	
<p>* 3. Does any project construction or operation activities involve the use of hazardous or toxic materials?</p>	<p> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Not known </p>
<p>If Yes, please indicate any other information you are providing to help FEMA evaluate the impact of the project.</p>	<p> <input type="checkbox"/> Comments and any relevant documentation. <input type="checkbox"/> Results of any consultations with State or local agency to obtain permit with requirements for handling, disposing of, or addressing the effects of hazardous or toxic materials related to project implementation. <input type="checkbox"/> Attached materials or additional comments. </p>
<p>If Yes or Not Known, please provide an explanation and any information about this project that could assist FEMA in its review. (optional)</p>	
<p>* 4. Do you know if any of the current or past land-uses of the property affected by the proposed project or of the adjacent properties are associated with hazardous or toxic materials?</p>	<p> <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not known </p>
<p>If Yes, please indicate below any other information you are providing to help FEMA evaluate the impact of the project.</p>	<p> <input type="checkbox"/> Comments and any relevant documentation. <input type="checkbox"/> Results of any consultations with State or local agency to obtain permit with requirements for handling, disposing of or addressing the effects of hazardous or toxic materials related to project implementation. <input type="checkbox"/> Attached materials or additional comments. </p>

H. Resource Conservation and Recovery Act (RCRA) and Comprehensive Environmental Response Compensation and Liability Act (CERCLA) (Hazardous and Toxic Materials)	
If Yes or Not Known, please provide an explanation and any information about this project that could assist FEMA in its review.	The City of Northfield is unaware of any current or past land-uses of the property affected by the proposed project or if the adjacent properties are associated with hazardous or toxic materials other than what has already been documented in the MPCA's "What's in my Neighborhood" Web-app. See following link: https://mpca.maps.arcgis.com/apps/webappviewer/index.html?id=9d45793c75644e05bac197525f633f87
Attachments:	

I. Executive Order 12898, Environmental Justice for Low Income and Minority Populations	
* 1. Are there low income or minority populations in the project's area of effect or adjacent to the project area?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Not known
If Yes, you must confirm that you have provided the following:	<input type="checkbox"/> Description of any disproportionate and adverse effects to these populations.
To help FEMA evaluate the impact of the project, please indicate below any other information you are providing:	<input type="checkbox"/> Description of the population affected and the portion of the population that would be disproportionately and adversely affected. Please include specific efforts to address the adverse impacts in your proposal narrative and budget. <input type="checkbox"/> Attached materials or additional comments.
If Yes or Not Known, please provide an explanation and any information about this project that could assist FEMA in its review.	
Attachments:	

J. Other Environmental/Historic Preservation Laws or Issues	
* 1. Are there other environmental/historic preservation requirements associated with this project that you are aware of?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, please indicate a description of the requirements, issues, or public involvement effort.	Portions of the downtown project are near or in the Northfield Historic District.
* 2. Are there controversial issues associated with this project?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Not known
If Yes, please indicate a description of the requirements, issues, or public involvement effort.	
If Yes or Not Known, please indicate why in the text box below and any information about this project that could assist FEMA in its review.	
* 3. Have you conducted any public meeting or solicited public input or comments on your specific proposed mitigation project?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, please indicate a description of the requirements, issues, or public involvement effort.	<p>The City of Northfield has hosted three public meetings on the project. Owners of flood-prone properties impacted by proposed flood damage reduction activities were individually invited and most attended one or more of the meetings. The property owners have expressed support for the project.</p> <p>The Northfield Downtown Flood Study was presented to City Council on March 3, 2022, May 16, 2023, and again on September 9, 2025. The feasibility study and presentations to council are posted on the project page on the City website: https://www.northfieldmn.gov/1378/Downtown-Flooding-Preliminary-Improvement</p> <p>The City will continue to use public meetings and other public engagement methods to solicit feedback from the public as the project progresses.</p>

J. Other Environmental/Historic Preservation Laws or Issues

Attachments:

K. Summary and Cost of Potential Impacts

* 1. Having answered the questions in parts A. through J., have you identified any aspects of your proposed project that have the potential to impact environmental resources or historic properties?

- Yes
- No

If Yes, you must confirm that you have provided the following:
(If you have not provided these documents in any other section of the application, please attach the required documents below.)

- Evaluated these potential effects and provided the materials required in Parts A through J that identify the nature and extent of potential impacts to environmental resources and/or historic properties.
- Consulted with appropriate parties to identify any measures needed to avoid or minimize these impacts.
- Considered alternatives that could minimize both the impacts and the cost of the project.
- Made certain that the costs of any measures to treat adverse effects are realistically reflected in the project budget estimate.

If Yes, please enter your comments. (optional)
(Please indicate why and any information about this project that could assist FEMA in its review.)

Attachments:

Evaluation

Evaluation

* Is the applicant participating in the [Community Rating System \(CRS\)](#)?

- Yes
- No

If Yes, what is their [CRS rating](#)?

- 1 2 3 4 5
- 6 7 8 9 10

Evaluation	
* Is the applicant a Cooperating Technical Partner (CTP) ?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
* Was this created from a previous FEMA HMA Advance assistance/Project scoping award?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If yes, please provide the project identifier.	
* Has the recipient adopted building codes consistent with the International Codes ?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, enter year of building code.	2018
If Yes, please provide the building code.	The City of Northfield has adopted the International Building Code (IBC) 2018 and the International
* Have the applicant's building codes been assessed on the Building Code Effectiveness Grading Schedule (BCEGS) ?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, what is their BCEGS rating?	<input type="checkbox"/> 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4 <input type="checkbox"/> 5 <input type="checkbox"/> 6 <input type="checkbox"/> 7 <input type="checkbox"/> 8 <input type="checkbox"/> 9 <input type="checkbox"/> 10
* Describe involvement of partners to enhance the mitigation activity outcome.	The City of Northfield has taken the lead on these proposed mitigation activities by commissioning the downtown flood study and engaging the public on these proposed activities. Private properties affected flood events have provided information on their properties and feedback to the city. Carleton College has been involved in the planning process by providing information on their facilities and past flooding events on their campus. Carleton College contributes to the Northfield community by employing a significant number of residents. Currently the city is working to secure grant funding for both the downtown and Carleton College areas of the proposed project, while Carleton College has committed to providing the local match to grant funds secured for the proposed flood mitigation activities on their campus.
Additional comments (optional)	
Attachments	

Location

Project Location	
* Provide a detailed description of the proposed project's location.	<p>The proposed activity is within Northfield, MN. The downtown project is within Census Tract 27131070601 on the western side of the Cannon River, and the Carleton projects are within Census Tract 27131070501 on the eastern side of the Cannon River.</p> <p>The downtown floodwall would create a continuous flood barrier along the west side of the Cannon River between 303 Water Street South to high ground near the Second Street bridge.</p> <p>The Carleton College projects would be around the stadium perimeter to the south and northwest and would seal the building envelope on the western edge of the stadium building. The West Gym temporary closure would be in the western driveway entrance to the building.</p>
* Latitude (e.g. -80.430101, should be between -90 to +90, but not 0)	44.457400
* Longitude (e.g. 100.430101, should be between -180 to +180, but not 0)	-093.161073
Attachments	<p>Community Report - Census tract 27131070501 (Carleton College).pdf</p> <p>Community Report - Census tract 27131070601 (Downtown Floodwall).pdf</p>

Project Benefiting Area

<p>* Provide a detailed description of the proposed project's benefiting area</p>	<p>The downtown project is within Census Tract 27131070601. According to the National Risk Index, this Census Tract has overall natural risk that is relatively moderate. It has very high social vulnerability to hazards, very high community resilience, and relatively low expected annual loss (National Risk Index Census Tract 27131070601). While the immediate benefit is to the protected properties, the project will have benefits for the entire Northfield community because the downtown commercial area is visited by people who live and work outside of this Census Tract. When part of downtown floods, all businesses in the area are affected by loss of business traffic and a community focus on mitigating and recovering from flood damages.</p> <p>The Carleton projects located within Census Tract 27131070501 will benefit the broader community because members of the community are employed by the college and/or make use of college facilities. Census Tract 27131070501 has relatively low natural risk. It has a relatively moderate expected annual loss, very low social vulnerability, and very high community resilience (National Risk Index Census Tract 27131070501).</p> <p>Neither tract is classified as disadvantaged by the Climate and Economic Justice Screening Tool. One area of concern identified by the tool is the level of toxicity of wastewater discharge for tract 27131070601 west of the river. This is a concern because of the proximity to the city's wastewater treatment plant. There is an environmental justice concern because the area also houses the highest percentage of residents with low income (Northfield Community Profile, 2023). See page 51 of the Northfield Community Profile for a map of the wastewater discharge area of concern.</p> <p>The Minnesota Pollution Control Agency (MPCA) environmental justice screening tool shows areas in the center of the city with about 25 percent of the population reporting income less than 200% of the federal poverty level. The MPCA considers a census tract to be an area of</p>
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Project Benefiting Area	
	<p>concern for environmental justice if at least 35 percent of people reported income less than 200% of the federal poverty level. While Northfield is lower than the MPCA's definition, it is still worth noting that this level of poverty may pose environmental justice concerns (Northfield Community Profile, 2023).</p> <p>A map of benefiting areas[GW14.1] is attached (Benefiting Area.jpg). Please see also the description of impacted population earlier in this application.</p>
Attachments	<p>Benefiting Area.jpg</p> <p>Northfield Community Profile.pdf</p>

Project Impact Area	
<p>* Provide a detailed description of the proposed project's impact area</p>	<p>The downtown project directly protects three commercial downtown properties that have experienced recurring flooding in the last 15 years. Direct impacts to the inundation area from the project are demonstrated through a comparison of attachments B-1 and B-2. In addition to protection of the three buildings, there is expected to be a reduction in road flooding for the 500-year flooding event as well (B-1 and B-2).</p> <p>The Carleton College projects impact the college stadium and West Gym. A comparison of attachments D-1 and D-4 shows that the inundation area of the stadium would be impacted by the proposed project (represented by CC2 in Figure D-4). The impact of the gym protection would be a reduction in basement flooding of the gym.</p> <p>The project does not physically impact any properties or structures that do not directly benefit from reduced flood risk.</p>

Project Impact Area	
Attachments	Fig B-1 Existing Conditions Areas 1 and 2.pdf Fig B-2 Alt 1-2 Floodwall Extension.pdf Figure D-1 Existing Conditions Carleton College.pdf Figure D-4 Proposed Conditions Carleton College - Alt CC2-4.pdf

Project Site Inventory	
<p>* Does this project subapplication propose to mitigate a property/structure(s)?</p> <p>(Examples: residential home, commercial building, bridge, fire station, levee, pumping station, wastewater treatment plant, telephone pole, electric line, etc.)</p>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<p>If Yes, do you know the location of the structure?</p>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<p>If Yes, enter the details of the property into the HMA Location Template spreadsheet, located at https://www.fema.gov/media-library-data/1591110757471-ecd329024-debffd2dd5e2367938e90b2/FEMAHMALocationTemplate.xlsx</p>	

Assurances and Certifications

Applicants should refer to the regulations cited below to determine the certification to which they are required to attest. Applicants should also review the instructions for certification included in the regulations before completing this form.

Lobbying

As required by section 1352, Title 31 of the U.S. Code, and implemented at 44 CFR Part 18, for persons entering into a grant or cooperating agreement over \$ 100,000, as defined at 44 CFR Part 18, the applicant certifies that:

(a) No Federal appropriated funds have been paid or will be paid, by or on behalf of the undersigned, to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with the making of any Federal grant, the entering into of any cooperative agreement, and the extension, continuation, renewal, amendment, or modification of any Federal grant or cooperative agreement.

(b) If any other funds than Federal appropriated funds have been paid or will be paid to any other person for influencing or attempting to influence an officer or employee of any agency, a member of Congress, an officer or an employee of Congress, or employee of a member of Congress in connection with this Federal Grant or cooperative agreement, the undersigned shall complete and submit Stand Form-LLL, "Disclosure of Lobbying Activities," in accordance with its instructions.

(c) The undersigned shall require that the language of this certification be included in the award documents for all subawards at all tiers (including subgrants, contracts under grants and cooperative agreements, and subcontracts) and that all subrecipients shall certify and disclose accordingly.

Applicant will NOT use federal appropriated funds for lobbying purposes.

Applicant will use non-appropriated funds for lobbying purposes. If so, complete Standard Form LLL "Disclosure of Lobbying Activities" below.

Standard Form-LLL "Disclosure of Lobbying Activities"

This form must be attached to certification if non-appropriated funds are to be used to influence activities.

* 1. Type of federal action:

- Contract
- Cooperative agreement
- Grant
- Loan
- Loan guarantee
- Loan insurance

Standard Form-LLL "Disclosure of Lobbying Activities"	
* 2. Status of federal action:	<input checked="" type="checkbox"/> Bid/offer/application <input type="checkbox"/> Initial award <input type="checkbox"/> Post award
* 3. Report Type:	<input checked="" type="checkbox"/> Initial filing <input type="checkbox"/> Material change
* 4. Name and address of reporting entity:	<input type="checkbox"/> Prime <input checked="" type="checkbox"/> SubAwardee
If SubAwardee, enter tier, if known: (optional)	
* Name	City of Northfield
* Street 1	801 Washington St
Street 2 (optional)	
* City	Northfield
* State	MN
Zip (optional)	55057
Zip extension (optional)	
Congressional district, if know: (optional)	
* 5. If SubAwardee, enter name and address of prime below.	
* Name	Homeland Security and Emergency Management
* Street 1	3925 Pheasant Ridge Dr. NE
Street 2 (optional)	
* City	Blaine

Standard Form-LLL "Disclosure of Lobbying Activities"	
* State	MN
Zip (optional)	55449
Zip extension (optional)	
Congressional district, if know: (optional)	
* 6. Federal department/agency:	FEMA
* 7. Federal program name/description:	BRIC/FMA



Legislation Text

File #: Res. 2026-069, **Version:** 1

City Council Meeting Date: July 7, 2026

To: Mayor and Members of Council
City Administrator

From: Mathias Hughey, Associate City Planner

Consideration of a Conditional Use Permit for Off-Street Parking at 212 Division St. S.

Action Requested:

The Northfield City Council approves Resolution Approving Conditional Use Permit for Rebound Real Estate to Construct 19 Off-Street Parking Spaces in the H-O District.

Summary Report:

The applicant, Rebound Real Estate, has applied for a CUP for 212 Division St. S. The proposed project includes a 57-room hotel, mixed commercial space (retail and restaurant space) and 19 lower-level off-street parking stalls. The site development standards for the C1-B: Downtown zoning district denote in Table 3.2-5: Historic District Sub-District standards states, “Off-street parking is allowed only by Conditional Use Permit in this sub-district.”

At the June 18, 2026 Planning Commission (PC) meeting the PC unanimously approved a resolution recommending approval of the CUP. The PC did not recommend any conditions as part of the approval.

At the June 18, 2026 Zoning Board of Appeals (ZBA) meeting the ZBA unanimously approved a variance to exceed the maximum height limit.

A Certificate of Appropriateness for new construction in the Historic-Overlay district was issued with conditions at the June 3, 2026 Heritage Preservation Commission (HPC) meeting. The approval was unanimous with one member absent. The conditions imposed by the HPC include:

- Matte finishes (paint) on the roof-top screening
- Reducing the variegation of the primary brick in the material selections
- Including arched-topped windows on the rear façade to match the front
- Providing a greater tonal differentiation between the two cultured stone selections.
- Final review of 30% construction drawings to confirm consistency with renderings.

The proposed off-street parking will be located under the ground floor commercial spaces and accessed via an easement on the west side (facing the Cannon River), and contained entirely within the building footprint. The rear of the building is proposed to include a patio on the south end, and a deck on the north, which will serve separate commercial uses. Between these spaces will be separate entrances for the parking and elevator access to the commercial spaces and publicly accessible restrooms.

Conditional Use Permit Approval Procedure & Approval Criteria:

A CUP follows the Type 4 Review Procedure found in Section 8.4.7 of the LDC. For the Type 4 Review Procedure, the Planning Commission holds a public hearing and makes a recommendation to City Council, and City Council makes the final decision.

In the approval of a conditional use permit, the Planning Commission may recommend that City Council impose such conditions as necessary to make the use compatible with other uses allowed in the same district zone or vicinity. Of the criteria, Criterion (a) is required and is met. Criteria (b) through (n) shall be considered and of those 13, 11 are met, and 2 are not applicable. A detailed analysis of the findings is included in the draft resolution.

The previous iteration of an infill project on this site was canceled in late 2025 due to financial infeasibility. That project received a CUP for construction of 34 off-street parking spaces, with several conditions recommended by the PC. Those conditions were related to the provision of EV ready parking spaces, adequate bicycle parking, and receipt of a COA from the HPC. These are now addressed by changes to the parking requirements of the Land Development Code and the City's sustainable building policy. The applicant is pursuing a B3 certification to meet that policy.

Minimum bicycle parking for the site, based on LDC requirements, is 12 spaces, half of which must meet the standards of long-term bicycle parking. The proposed hotel use is anticipated to generate lower demand for bicycle storage and therefore staff is not recommending additional bike parking spaces or conditions.

All vehicle parking spaces are currently proposed to be EV-ready based on the B3 requirements.

Staff Recommendation:

Staff recommend the City Council approve the CUP of 19 off-street enclosed parking spaces.

City Plans & Policies Relevance:

A detailed assessment is provided in the Findings attached to the resolution because one of the findings is consistent with City plans and policies.

Alternative Options:

If the proposed conditional use satisfies both the general and specific standards set forth in the zoning ordinance, the applicant is entitled to the conditional use permit. Importantly, if the applicant meets the general and specific ordinance standards, the city usually has no legal basis for denying the CUP.

Financial Impacts:

NA

Tentative Timelines:

June 3, 2026 - HPC COA Preliminary Approval

June 18, 2026 - Zoning Board of Appeals Hearing and Decision on Height Variance

June 18, 2026 - Public Hearing and Planning Commission Recommendation on CUP for Off-Street Parking

June 27, 2026 - Initial 60-day review timeline for site plan - to be extended

July 1, 2026 - HPC review and acceptance of 30% construction drawings

July 7, 2026 - City Council Decision on CUP

CITY OF NORTHFIELD, MN
CITY COUNCIL RESOLUTION 2026-069

A RESOLUTION BY THE MAYOR AND CITY COUNCIL OF THE CITY OF
NORTHFIELD, MINNESOTA, APPROVING A CONDITIONAL USE PERMIT FOR
REBOUND REAL ESTATE TO CONSTRUCT 19 OFF-STREET PARKING SPACES
IN THE H-O DISTRICT

WHEREAS, the applicant, Rebound Real Estate (the “applicant”), 527 Professional Dr. Suite 100, Northfield MN, 55057, seeks a Conditional Use Permit, pursuant to Northfield City Code, Ch. 34, the Land Development Code, Secs. 2.5.3, 3.2.3, and 8.5.9, to allow the construction of off-street parking at 212 Division St. S. (the “Conditional Use Permit”), which is zoned C1-B: Downtown; and

WHEREAS, Manawa LLC is the owner of the above-referenced property; and

WHEREAS, the above-referenced property is legally described on Exhibit A, which is attached hereto and incorporated herein by reference; and

WHEREAS, the City of Northfield Planning Commission (the “Planning Commission”) conducted a public hearing on June 18, 2026, and received public testimony regarding the proposed Conditional Use Permit; and

WHEREAS, all required notices regarding the above-referenced public hearing were properly made; and

WHEREAS, following the public hearing, the Planning Commission reviewed the requested Conditional Use Permit at its June 18, 2026, meeting pursuant to the standards and criteria contained in Northfield City Code, Ch. 34, the Land Development Code, Secs 2.5.3, 3.2.3, and 8.5.9.

WHEREAS, the City Council reviewed the requested Conditional Use Permit and Planning Commission recommendation and Findings of Fact for the requested Conditional Use Permit at its July 7, 2026, meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL THAT:

1. The recitals hereto and the Planning Commission’s Findings of Fact from its June 18, 2026, meeting, which are attached hereto and incorporated herein by reference as Exhibit B, are hereby adopted.
2. Based on the foregoing and adopted Findings of Fact attached hereto, the requested Conditional Use Permit, pursuant to Northfield City Code, Ch. 34, Secs. 2.5.3, 3.2.3 and 8.5.9, is hereby APPROVED

PASSED by the City Council of the City of Northfield on this 7th day of July 2026.

ATTEST

City Clerk

Mayor

VOTE: ___ ZWEIFEL ___ BEUMER ___ DAHLEN ___ HOLMES
 ___ NESS ___ PETERSON WHITE ___ SOKUP

EXHIBIT A

LEGAL DESCRIPTION OF PROPERTY

That part of River Lots 10 and 11 and the Northeast 35.5 feet of River Lot 9, (the Southwesterly boundary of said Northeast 35.5 feet is measured at right angles to and parallel with the common boundary line between River Lots 9 and 10); and the Southwest 2.5 feet of River Lot 12 (the Northeasterly boundary of which is measured at right angles to and parallel with the common boundary line between River Lots 11 and 12), all in the ORIGINAL TOWN (NOW CITY) OF NORTHFIELD, Rice County, Minnesota, lying Southeasterly of the following described lines: Commencing at the Southeasterly corner of said Northeast 35.5 feet of River Lot 9; thence North 67 degrees 37 minutes 00 seconds West; along the Southwesterly line of said Northeast 35.5 feet of River Lot 9, a distance of 133.99 feet to the point of beginning of the lines to be described; thence North 20 degrees 27 minutes 36 seconds East a distance of 167.60 feet; thence North 21 degrees 06 minutes 05 seconds East a distance of 2.50 feet to a point on the Northeasterly line of said Southwest 2.5 feet of River Lot 12, distant 139.45 feet Northwesterly from the Northeasterly corner of said Southwest 2.5 feet and there terminating.4

EXHIBIT B

PLANNING COMMISSION FINDINGS

Conditional Use Permit Approval Procedure & Approval Criteria:

A CUP follows the Type 4 Review Procedure found in Section 8.4.7 of the LDC. For the Type 4 Review Procedure, the Planning Commission holds a public hearing and makes a recommendation to City Council, and City Council makes the final decision.

In the approval of a conditional use permit, the Planning Commission may recommend that the City Council impose such conditions as necessary to make the use compatible with other uses allowed in the same district zone or vicinity. Northfield City Code, Sec. Section 8.5.9, Criterion (a) below must be met, and criteria (b) through (n) shall be considered in the review of conditional use permit applications:

a) The proposed use is allowed as a conditional use in the district for which it is proposed as shown in Table 2.7-1;

Yes, the proposed use of off-street parking is allowed as a conditional/permitted use in Table 2.7-1 within the C1-B: Downtown zoning district, and specifically as a conditional use within the H-O: Historic Overlay district.

b) The conditional use will be in accordance with the general objectives, or with any specific objective, of the city's comprehensive plan and this LDC;

The off-street parking is accessory to a mixed-use retail/restaurant and hotel establishment, and is an important element of providing an economically viable project at the site. As such, consideration should be given to the project in its entirety, and the reduction in surface parking made feasible through the provision of structured parking. The project therefore upholds the objectives of the City's Comprehensive Plan and LDC in the following categories:

Guiding Values –

The project is in accordance with the guiding values of the 2045 Comprehensive Plan. Specifically, it does not damage any of the values, while specifically advancing the values of economy, resilience, and connection. These values are advanced by making improved use of existing infrastructure, adherence to the sustainable building policy, mitigation of flood-risk by limiting uses in the most flood-prone area of the building, and providing enhanced public and private space adjacent to the river and riverwalk.

Future Land Use Map –

The Future Land Use Map guides the site as Mixed Use Commercial, which includes commercial, multi-family, office, and public institutional uses. Infill within the Historic District will be required to provide improved active transportation and connections to the river. The proposed project meets these specific objectives by improving the “alley” access on the south side of the site, removing the surface parking on the west side (river side) of the site for conversion to a public space, and creating two outdoor spaces to serve the associated commercial uses on the west side of the site.

Interventions Map –

The interventions Map identifies the area as “Preserve” which identifies areas least in need of significant interventions, including historic areas. Because the historic structure previously located on the site was lost to fire, new construction is an appropriate and desirable intervention if it protects the historic character of the area, and this approach is consistent with local and federal guidance on preservation.

The property immediately adjacent to the north is identified as “Enhance” and this project meets several of the objectives of that designation, which should be considered relevant since the historic structure is gone. Specifically, this project meets the objective of creating new active parks, passive open space, and denser tree canopy on the river side of the site where the surface parking will be removed and converted to a public park.

Implementation Strategies and Outcomes –

The project is aligned with multiple strategies and outcomes of the 2045 Comprehensive Plan, several of the most relevant are:

Connecting People to Places and Opportunities –

Strategy 1 – Plan for accessibility – Northfield’s capital investments and other funded projects are based on creating complete places, filling gaps, supplying missing assets, and ensuring equitable access to destinations.

Sustainable Economic Future –

Strategy 1 - Strengthen Northfield’s Downtown core – Downtown Northfield grows as the river-focused anchor of the city and key component of its sense of place.

The proposed use meets the following purposes of the LDC:

- 1.1.3 Encourage growth in infill locations as the desired location of development with expansion on the edge of the city a secondary priority.
- 1.1.6 Allow for places with a mixture of uses that are distinctive and contribute to the city’s overall vitality.
- 1.1.8 Provide for the expansion and diversification of the economic base to assure a strong economy.
- 1.1.9 Promote an ethic of sustainability in all activities to ensure that proposed development and redevelopment will, at a minimum, conserve energy and natural resources.

The proposed use meets the Downtown Preservation Design Guidelines as determined by the Heritage Preservation Commission, which issued a Certificate of Appropriateness for the project at its June 3, 2026 meeting.

- c) The conditional use will be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such use will not change the essential character of the same area; The proposed use is an infill development within the Historic Overlay District, and the project has received a Certificate of Appropriateness from the Heritage Preservation Commission signifying the proposal is consistent with the Downtown Preservation Design Guidelines. The new use is compatible with the essential character of the area. The proposed programming is consistent with the historic uses of the site.

- d) The conditional use will not be hazardous or reasonably disturbing to existing or future uses;
The conditional use will not be hazardous or reasonably disturbing to existing or future uses.
- e) The conditional use will be served adequately by essential public facilities and services such as streets, police and fire protection, drainage structures, refuse disposal, water and sewer;
As an infill project subject to site plan review, the adequate provision of public services is reviewed and verified by city staff with the relevant and appropriate expertise in their respective fields. As the proposed use is consistent with the historic use, and any necessary upgrades will be required as part of the site plan review process, it is reasonable to conclude that the use will be adequately served by essential public facilities and services.
- f) The benefits of the conditional use outweigh the potential negative effects of the surrounding community;
The benefits of the additional commercial activity in the Downtown district may be significant, but difficult to measure. The dedication of the west portion of the site for improved public space and enhancement of the riverwalk will also provide quality-of-life benefits for city residents. The reduction in surface parking provides environmental benefits, but involves trade-offs with increased demand for parking in the vicinity, though the increase in demand over the existing baseline is likely in line with the previous historic uses. On balance, the benefits likely outweigh the potential negative effects.
- g) The conditional use will not create excessive additional requirements at public cost for public facilities and services;
The conditional use is not anticipated to create additional public costs for public facilities or services.
- h) The conditional use will not involve uses, activities, processes, materials, equipment and conditions or operations that will be detrimental to any persons, property or the general welfare by reason of excessive traffic, noise, smoke, fumes, glare, or odors;
The off-street parking is not expected to generate excessive traffic, noise, smoke, fumes, glare, or odors.
- i) The conditional use will not result in the destruction, loss, or damage of natural, scenic, or historic features of major importance as may be established in the comprehensive plan or other city plans related to natural, scenic, or historic features;
The project is not expected to result in the destruction, loss, or damage of natural, scenic, or historic features of major importance as may be established in the comprehensive plan or other city plans related to natural, scenic, or historic features. The project utilizes a site formerly occupied by a historic structure that was irreparably damaged by fire several years ago.
- j) The traffic and parking generated by the use will not lower the Levels of Services as described in the comprehensive plan update of intersections within a quarter mile of the site.
The additional trips generated by this use are not significant enough to lower the Levels of Services in the area.

k) In residential districts, the use is of a similar height, building orientation, massing, setback, and scale as to be compatible with surrounding uses in compliance with Section 3.5 Neighborhood Compatibility Standards;

N/A

l) In the Perimeter Transition Area (PTA) within the college development district (CD-S) that abut residential and commercial districts, height, building orientation, massing, setback and scale shall be considered in building renovation and/or new construction in order to maintain compatibility with surrounding areas as described in Section 3.4, Neighborhood Compatibility Standards. These neighborhood compatibility standards are to be administered in order to maintain a harmonious neighborhood environment and absolute compliance with these standards is not intended.

N/A

m) Impacts such as noise, hours of activity, and outdoor lighting have been addressed to mitigate negative impacts on nearby uses.

The development is not anticipated to have negative impacts caused by noise, hours of activity, or outdoor lighting.

n) Parking is adequately provided for the proposed conditional use.

The LDC requires no additional off-street parking in the C1-B: Downtown zoning district. There are multiple public off-street lots within the downtown area, and on-street parking spaces. The historic uses on the site of hotel and restaurant spaces were adequately served by a comparable amount of parking.

CITY OF NORTHFIELD, MN
PLANNING COMMISSION RESOLUTION 2026-006

RECOMMENDATION TO APPROVE A CONDITIONAL USE PERMIT TO THE CITY
COUNCIL FOR OFF-STREET PARKING AT 212 DIVISION ST. S. IN THE H-O DISTRICT

WHEREAS, the applicant, Rebound Real Estate, LLC (the “applicant”), 527 Professional Dr. Suite 100, Northfield MN, 55057, seeks a Conditional Use Permit, pursuant to Northfield City Code, Ch. 34, the Land Development Code, Secs. 2.9.19, 3.2.4, and 8.5.9, to allow the construction of off-street parking at 212 Division St. S. (the “Conditional Use Permit”), which is zoned C1-B: Downtown Commercial; and

WHEREAS, Manawa, LLC is the owner of the above-referenced property; and

WHEREAS, the above-referenced property (212 Division St. S.) is legally described on Exhibit A, which is attached hereto and incorporated herein by reference; and

WHEREAS, the City of Northfield Planning Commission (the “Planning Commission”) conducted a public hearing on June 18, 2026, and received public testimony regarding the proposed Conditional Use Permit; and

WHEREAS, all required notices regarding the above-referenced public hearing were properly made; and

WHEREAS, following the public hearing, the Planning Commission reviewed the requested Conditional Use Permit at its June 18, 2026 meeting pursuant to the standards and criteria contained in Northfield City Code, Ch. 34, the Land Development Code, Secs 2.9.19, 3.2.4, and 8.5.9.

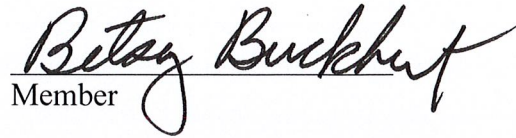
NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION THAT:

1. The recitals hereto are incorporated herein by reference as findings.
2. The Planning Commission hereby recommends approval to the City Council of the requested Conditional Use Permit, pursuant to Northfield City Code, Ch. 34, Secs. 2.9.19, 3.2.4, and 8.5.9, to allow the construction of 19 off-street parking spaces, as proposed, at 212 Division St. S. and adopts the findings, which are attached hereto and incorporated herein by reference as Exhibit B.

PASSED by the Planning Commission of the City of Northfield on this 18th day of June 2026.



Chair



Member

VOTE:

Y KUHLMANN Y HOLLERAN Y BUCKHEIT

Y LAUER Y MENARD Absent NOWAK Y SCHMIDT

EXHIBIT A

LEGAL DESCRIPTION OF PROPERTY

That part of River Lots 10 and 11 and the Northeast 35.5 feet of River Lot 9, (the Southwesterly boundary of said Northeast 35.5 feet is measured at right angles to and parallel with the common boundary line between River Lots 9 and 10); and the Southwest 2.5 feet of River Lot 12 (the Northeasterly boundary of which is measured at right angles to and parallel with the common boundary line between River Lots 11 and 12), all in the ORIGINAL TOWN (NOW CITY) OF NORTHFIELD, Rice County, Minnesota, lying Southeasterly of the following described lines: Commencing at the Southeasterly corner of said Northeast 35.5 feet of River Lot 9; thence North 67 degrees 37 minutes 00 seconds West; along the Southwesterly line of said Northeast 35.5 feet of River Lot 9, a distance of 133.99 feet to the point of beginning of the lines to be described; thence North 20 degrees 27 minutes 36 seconds East a distance of 167.60 feet; thence North 21 degrees 06 minutes 05 seconds East a distance of 2.50 feet to a point on the Northeasterly line of said Southwest 2.5 feet of River Lot 12, distant 139.45 feet Northwesterly from the Northeasterly corner of said Southwest 2.5 feet and there terminating.4

EXHIBIT B

PLANNING COMMISSION FINDINGS

Conditional Use Permit Approval Procedure & Approval Criteria:

A CUP follows the Type 4 Review Procedure found in Section 8.4.7 of the LDC. For the Type 4 Review Procedure, the Planning Commission holds a public hearing and makes a recommendation to City Council, and City Council makes the final decision.

In the approval of a conditional use permit, the Planning Commission may recommend that the City Council impose such conditions as necessary to make the use compatible with other uses allowed in the same district zone or vicinity. Northfield City Code, Sec. Section 8.5.9, Criterion (a) below must be met, and criteria (b) through (n) shall be considered in the review of conditional use permit applications:

a) The proposed use is allowed as a conditional use in the district for which it is proposed as shown in Table 2.7-1;

Yes, the proposed use of off-street parking is allowed as a conditional/permitted use in Table 2.7-1 within the C1-B: Downtown zoning district, and specifically as a conditional use within the H-O: Historic Overlay district.

b) The conditional use will be in accordance with the general objectives, or with any specific objective, of the city's comprehensive plan and this LDC;

The off-street parking is accessory to a mixed-use retail/restaurant and hotel establishment, and is an important element of providing an economically viable project at the site. As such, consideration should be given to the project in its entirety, and the reduction in surface parking made feasible through the provision of structured parking. The project therefore upholds the objectives of the City's Comprehensive Plan and LDC in the following categories:

Guiding Values –

The project is in accordance with the guiding values of the 2045 Comprehensive Plan. Specifically, it does not damage any of the values, while specifically advancing the values of economy, resilience, and connection. These values are advanced by making improved use of existing infrastructure, adherence to the sustainable building policy, mitigation of flood-risk by limiting uses in the most flood-prone area of the building, and providing enhanced public and private space adjacent to the river and riverwalk.

Future Land Use Map –

The Future Land Use Map guides the site as Mixed Use Commercial, which includes commercial, multi-family, office, and public institutional uses. Infill within the Historic District will be required to provide improved active transportation and connections to the river. The proposed project meets these specific objectives by improving the “alley” access on the south side of the site, removing the surface parking on the west side (river side) of the site for conversion to a public space, and creating two outdoor spaces to serve the associated commercial uses on the west side of the site.

Interventions Map –

The interventions Map identifies the area as “Preserve” which identifies areas least in need of significant interventions, including historic areas. Because the historic structure previously located on the site was lost to fire, new construction is an appropriate and desirable intervention if it protects the historic character of the area, and this approach is consistent with local and federal guidance on preservation.

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- Strategy 1 - Strengthen Northfield’s Downtown core – Downtown Northfield grows as the river-focused anchor of the city and key component of its sense of place.

The proposed use meets the following purposes of the LDC:

- 1.1.3 Encourage growth in infill locations as the desired location of development with expansion on the edge of the city a secondary priority.
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- 1.1.8 Provide for the expansion and diversification of the economic base to assure a strong economy.
- 1.1.9 Promote an ethic of sustainability in all activities to ensure that proposed development and redevelopment will, at a minimum, conserve energy and natural resources.

The proposed use meets the Downtown Preservation Design Guidelines as determined by the Heritage Preservation Commission, which issued a Certificate of Appropriateness with conditions for the project at its June 3, 2026 meeting.

- c) The conditional use will be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such use will not change the essential character of the same area; The proposed use is an infill development within the Historic Overlay District, and the project has received a Certificate of Appropriateness from the Heritage Preservation Commission signifying the proposal is consistent with the Downtown Preservation Design Guidelines. The new use is compatible with the essential character of the area. The proposed programming is consistent with the historic uses of the site.

- d) The conditional use will not be hazardous or reasonably disturbing to existing or future uses;
The conditional use is not expected to be hazardous or reasonably disturbing to existing or future uses.
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The conditional use is not anticipated to create additional public costs for public facilities or services.
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- j) The traffic and parking generated by the use will not lower the Levels of Services as described in the comprehensive plan update of intersections within a quarter mile of the site.
The additional trips generated by this use are not significant enough to lower the Levels of Services in the area.

k) In residential districts, the use is of a similar height, building orientation, massing, setback, and scale as to be compatible with surrounding uses in compliance with Section 3.5 Neighborhood Compatibility Standards;

N/A

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N/A

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The development is not anticipated to have negative impacts caused by noise, hours of activity, or outdoor lighting.

n) Parking is adequately provided for the proposed conditional use.

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WEST - CONCEPT RENDERING





the hall

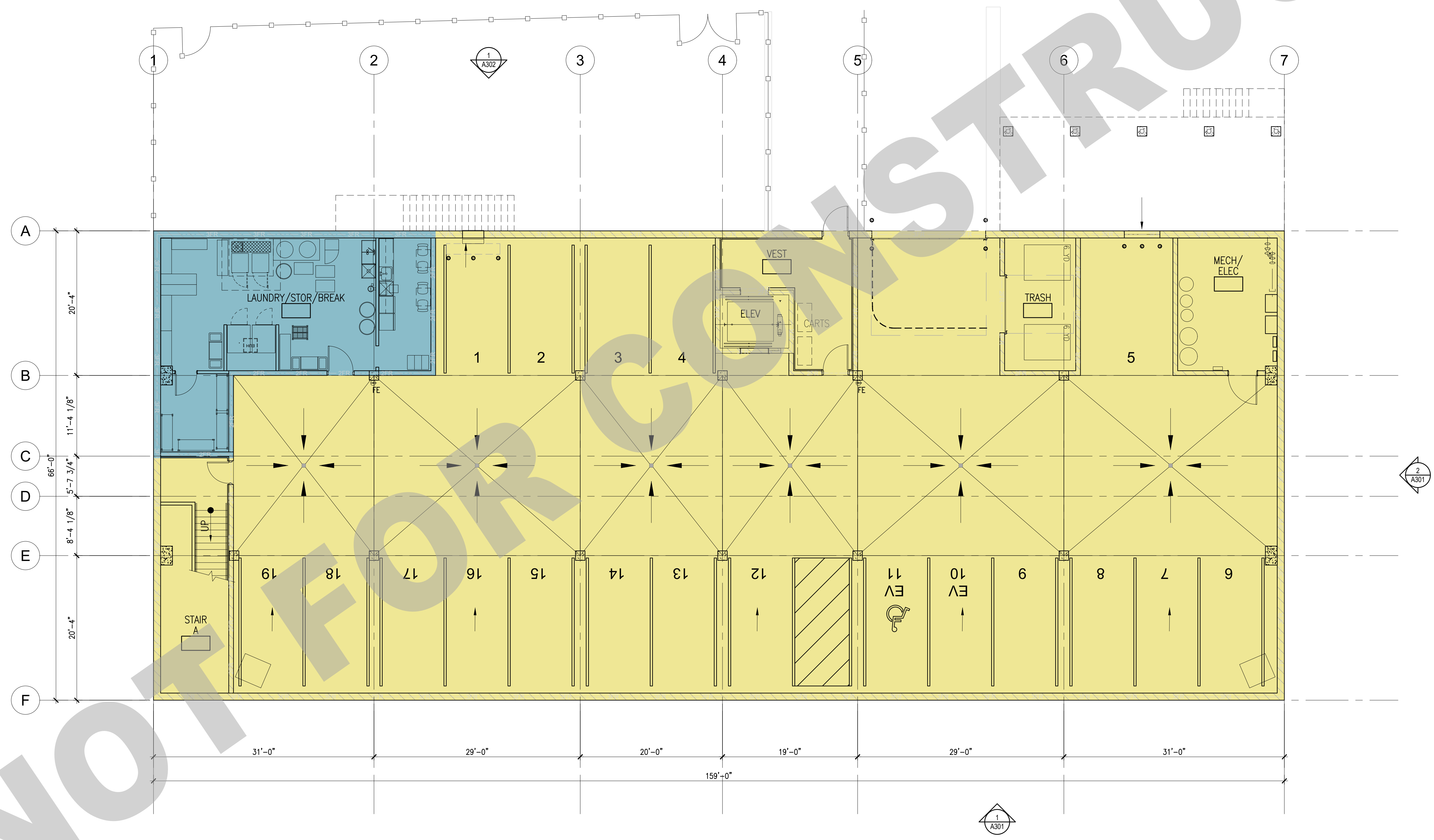
Bagels Inc.

THE ARCHER HOUSE

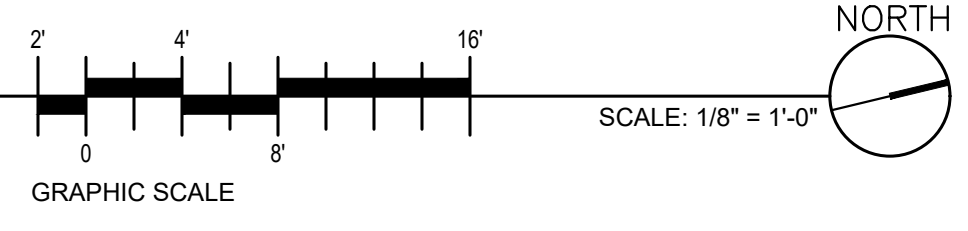
THE DOWNTOWN DINER





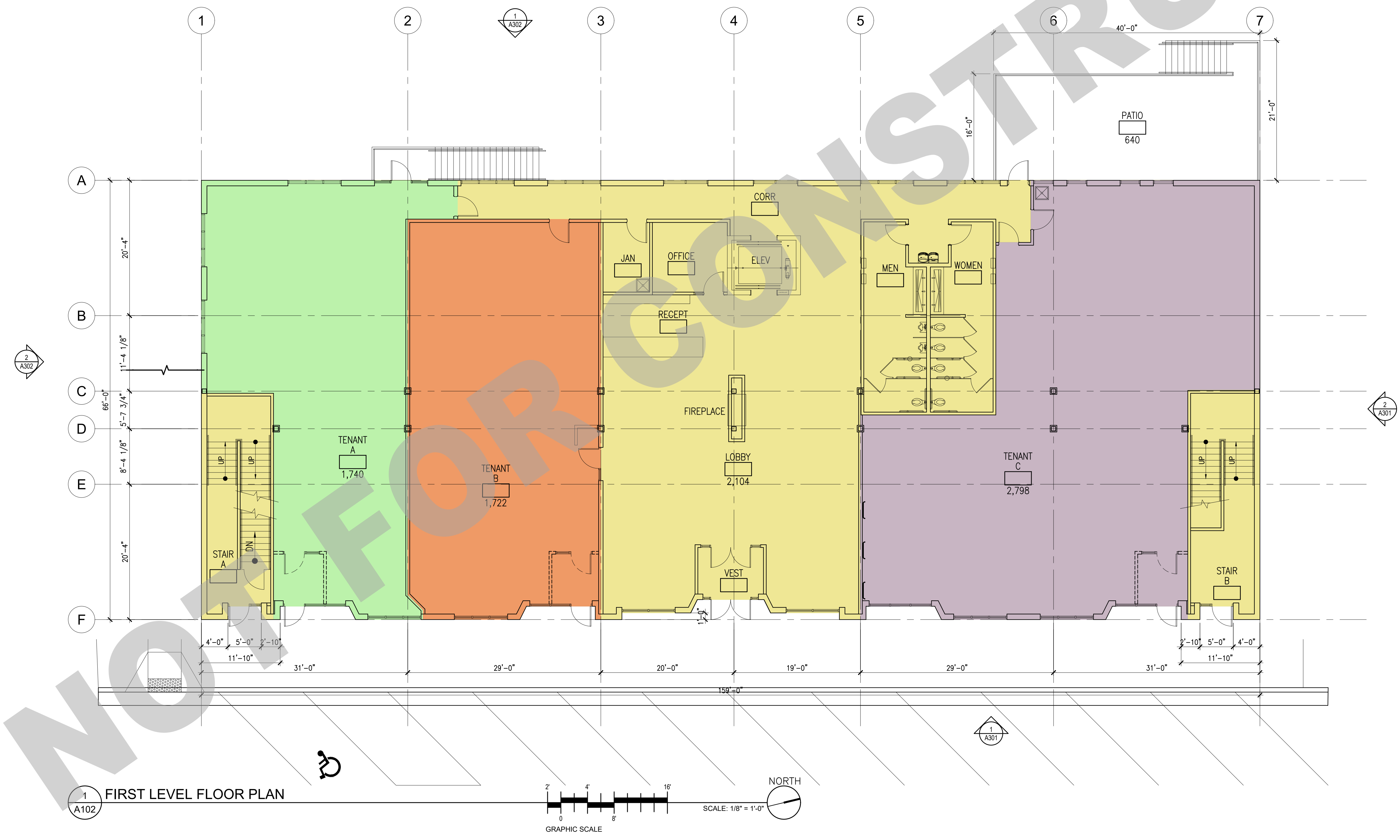


1 GARAGE FLOOR PLAN
A101



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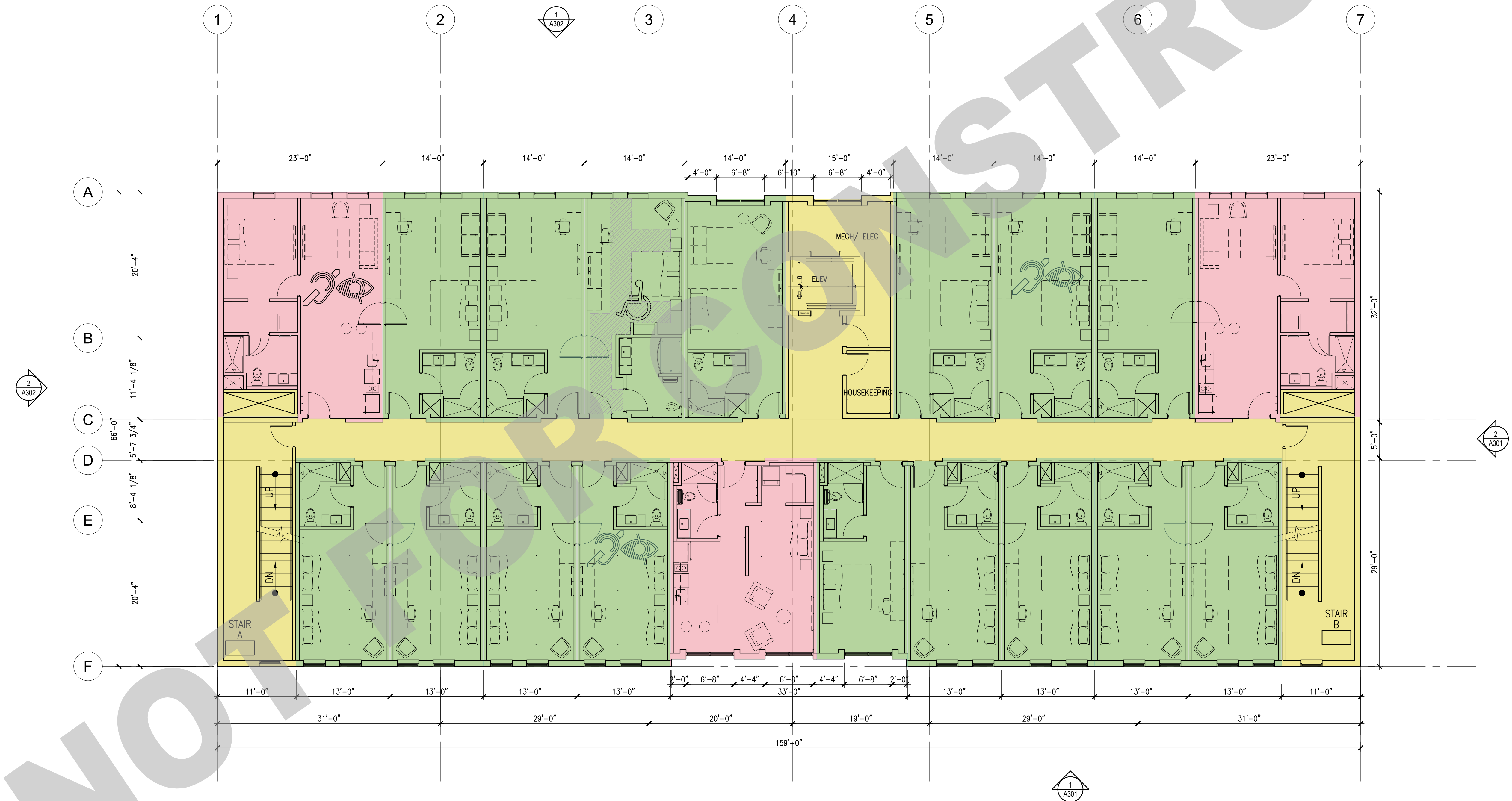
ISSUES / REVISIONS:	
SITE PLAN REVIEW	04.20.2026
HFC REVIEW	05.22.2026



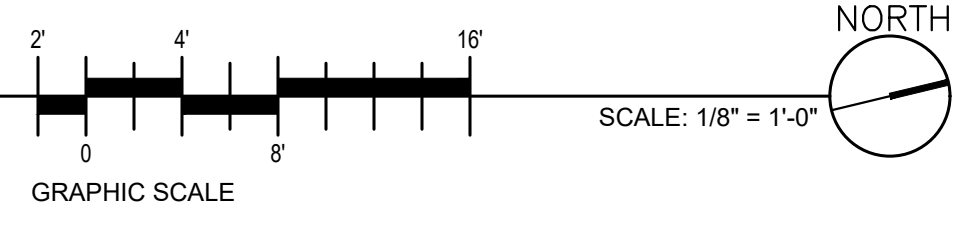
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 A102
 FIRST LEVEL FLOOR PLAN

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1 SECOND LEVEL FLOOR PLAN
A103



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 DRAWN BY: JEM

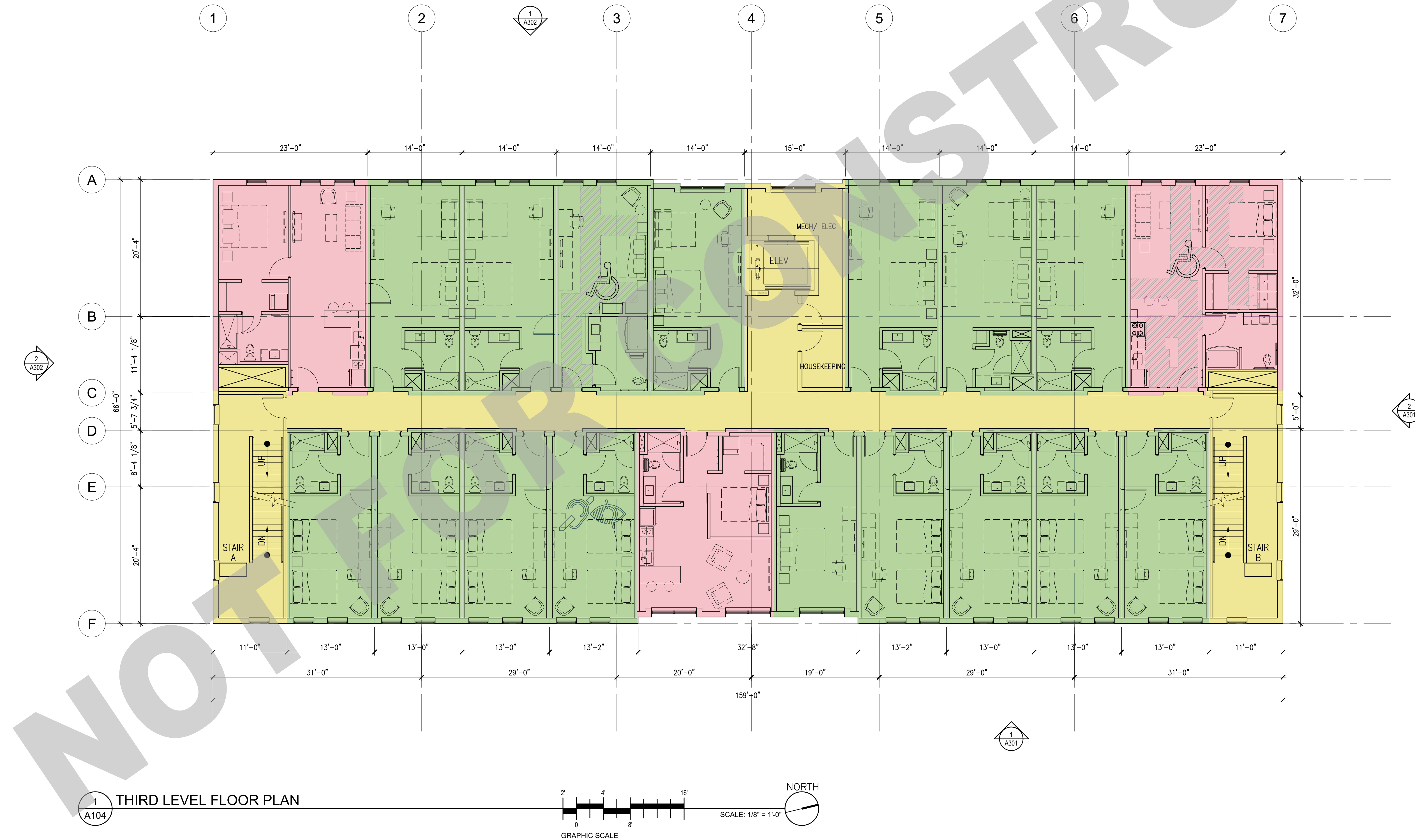
PROPOSED NEW BUILDING FOR:
THE ARCHER HOUSE
 212 DIVISION STREET S, NORTHFIELD, MINNESOTA

ISSUES / REVISIONS:

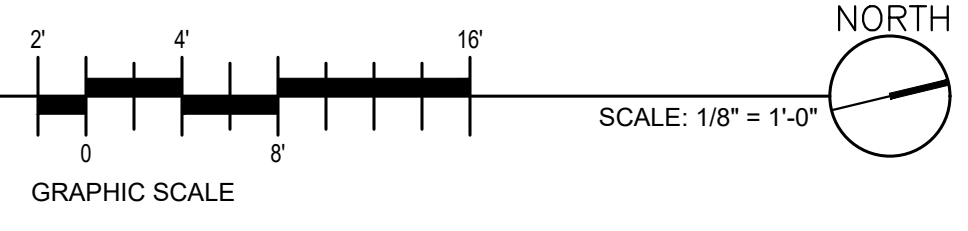
NO.	DESCRIPTION	DATE
1	SITE PLAN REVIEW	04.20.2028
2	HFC REVIEW	05.22.2028

ISSUES / REVISIONS:

NO.	DESCRIPTION	DATE
1	SITE PLAN REVIEW	04.20.2026
2	HPC REVIEW	05.22.2026

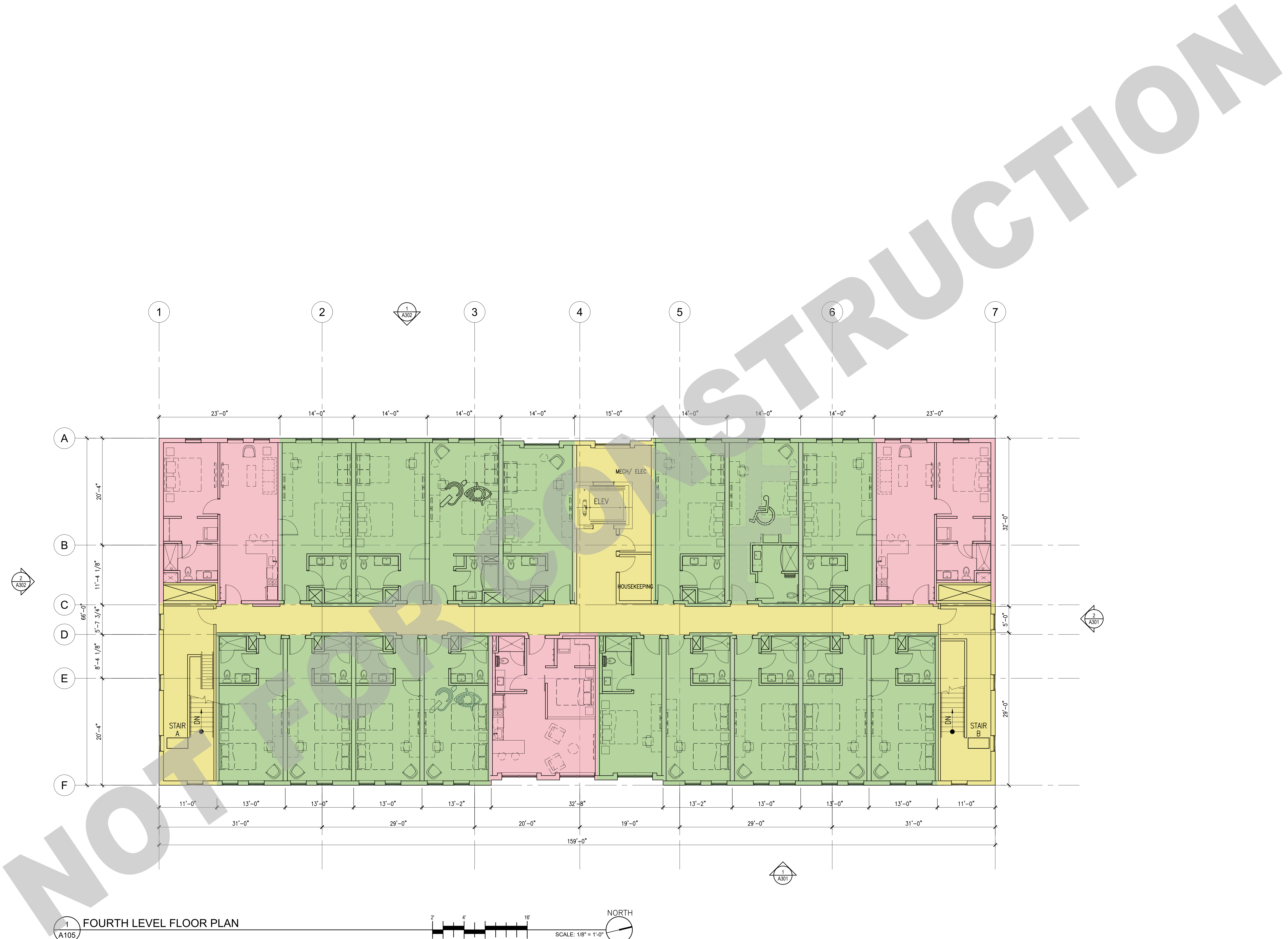


1 THIRD LEVEL FLOOR PLAN
 A104

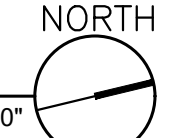
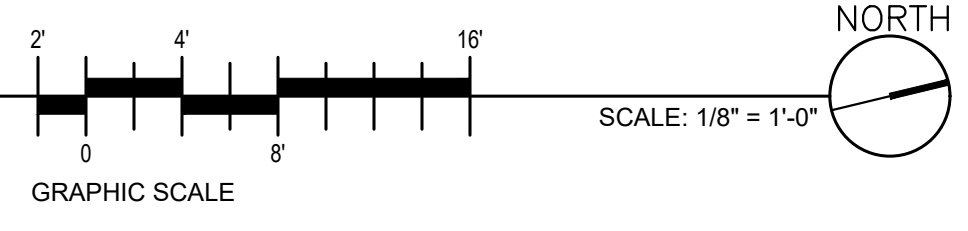


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1 A105 FOURTH LEVEL FLOOR PLAN



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DRAWN BY: JEM

PROPOSED NEW BUILDING FOR:
THE ARCHER HOUSE
212 DIVISION STREET S, NORTHFIELD, MINNESOTA

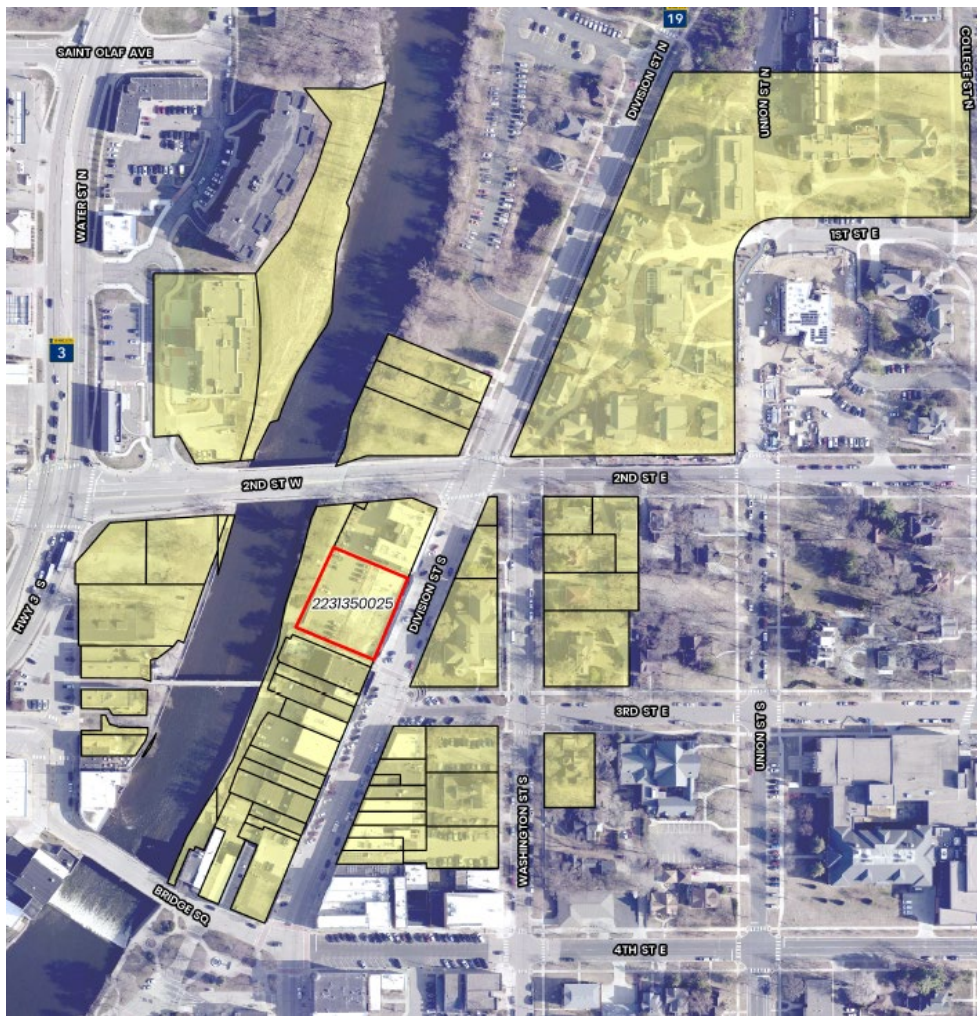
ISSUES / REVISIONS:

NO.	DESCRIPTION	DATE
1	SITE PLAN REVIEW	04.20.2028
2	HFC REVIEW	05.22.2028



Conditional Use Permit for Rebound Real Estate 212 Division St. S.

Planning Commission – June 18, 2026
Mathias Hughey, Associate City Planner



Location

Timeline



May 29, 2026
Public Hearing
notice mailed to
property owners
within 350 feet

June 3, 2026
Public Hearing
notice published
in Northfield News

July 1, 2026
HPC review 30%
construction
drawings

June 3, 2026
HPC Cert. of
Appropriateness
Review –
Approved

June 18, 2026
ZBA & PC public
hearings & review
of a height
variance request
and a CUP for on-
site parking

July 7, 2026
CC reviews and
makes decision
on the CUP for on-
site parking

Conditional Use Permit



- **Type 4 Review Process –**
 - PC recommendation
 - City Council decision
- **Address special requirements or characteristics of the use**
- **May impose conditions necessary to make the use compatible with other uses in the same vicinity**
- **14 criteria – 1 required, 13 considered**
- **Site Plan Review – concurrent or subsequent**
 - Staff review
 - Compliance with Land Development Code

Summary Report



- The applicant proposes a 4-story mixed-use building on the site of the former Archer House
- Proposes 19 below-grade parking spaces
 - Accessed via easement on west façade
 - No surface parking proposed
- A CUP is required for all off-street parking the H-O district
- A previous CUP was issued for a prior project, included conditions that are likely no longer necessary
- Satisfies criteria

West Facade



Conditional Use Permit Approval Criteria



- **Satisfies required criterion (a)**
 - Allowed as a conditional use
- **Satisfies criteria (b) – (n)**
 - Consistent with LDC intent and Comp Plan, especially emphasis on infill and commercial development
 - HPC has approved compatibility
 - Use(s) consistent with historic uses

Criteria (Cont.)



- n) Parking is adequately provided for the proposed conditional use.
 - The LDC requires no additional off-street parking in the C1-B: Downtown zoning district.
 - Previous conditions from Council Approval
 - EV-ready at every stall, and 2 level 2 charging stalls
 - Long-term bicycle parking for residences, w/e-bike charging
 - Short-term outdoor bicycle parking
 - Sustainable building policy, revised parking standards, and different proposed use address prior conditions

Staff Recommendation



The Planning Commission is asked to recommend approval of the conditional use permit (CUP) for Rebound Real Estate to construct off-street parking at 212 Division St. S.

Questions?





Legislation Text

File #: Res. 2026-070, **Version:** 1

City Council Meeting Date: July 7, 2026

To: Mayor and Members of Council
City Administrator

From: Melissa Hanson, Housing Coordinator

Consider Resolution Authorizing Submission to Minnesota Housing Finance Agency's Impact Funds - Cherry Street Redevelopment.

Action Requested:

The Northfield City Council is being asked to approve a Resolution authorizing submission of a grant application to Minnesota Housing Finance Agency to support redevelopment of the Cherry Street property into four new affordable homeownership units.

Summary Report:

Staff of the City's Housing & Redevelopment Authority (HRA) is seeking Council authorization to apply for Minnesota Housing Impact Funds to support redevelopment of the HRA-owned parcel at 308 Cherry Street. The grant would assist with the creation of four energy-efficient, net-zero, factory-built homes affordable to households earning between 80%-115% Area Median Income (AMI) - for a family of four income levels between \$86,700 - \$124,660, this demographic is considered low- to moderate-income households. Council approval is required prior to grant submission due to the City's Grant Management Policy, which mandates governing body approval for certain grant applications.

The recommended concept aligns with neighborhood feedback, which favored lower-density, single-family homes over higher-density alternatives. Project Overview for Cherry Street Infill Redevelopment:

- Development of four single-family, factory-built modular homes on Cherry Street
- Each home is planned to be 3 bedrooms, 2 bathrooms, with basements and garages
- Homes constructed to Green Communities Standards and designed to be net-zero
- Homes targeted to households at 80%-115% AMI
- Partnership with Rice County Habitat for Humanity as builder (builder-only role)
- Down payment assistance and financial education administered through Three Rivers Community Action

Staff met with nearby residents on two occasions to review conceptual options for the Cherry Street and Linden Street parcels. While neighbors expressed general support for reinvestment in the area, they did not support redevelopment concepts that would introduce additional density beyond single-family homes. The proposed four-unit single-family design reflects this input.

Impact Funds awarded for the Cherry Street project will be used to help bridge the affordability gap between development costs and attainable purchase prices for households earning 80%-115% of Area Median Income

(AMI). Eligible uses include gap financing to support construction of the four modular single-family homes, site preparation costs (including demolition and asbestos abatement), and private utility connections from the homes to existing public infrastructure. Based on current discussions with Minnesota Housing, the City anticipates applying for the maximum allowable funding of \$440,000 (\$110,000 per unit) under the program.

The Cherry Street redevelopment is located on a fully served infill site within an established neighborhood. Public streets and utilities are already in place, and no extension of public infrastructure is required. The project area is not yet subdivided; subdivision into four buildable lots will occur following demolition of an existing structure on the north portion of the property. The site's compact dimensions and established context make it well suited for small-scale infill development supported by Impact Funds.

Impact Funds will help bridge the gap between rising construction costs and the incomes of local workforce households, supporting economic sustainability and employer workforce stability.

City Plans & Policies Relevance:

In 2024, the HRA acquired these parcels opportunistically to support future infill housing development in a neighborhood identified for reinvestment. The proposed redevelopment is aligned with the City's Strategic Plan Priority 2: Increase Housing Availability and Priority 1: Improve Financial Strength, as well as the 2045 Comprehensive Plan goals related to infill development, equitable access to housing, and expanding affordable and workforce homeownership opportunities.

Impact Funds would significantly reduce the overall development cost, enhancing affordability for target-income households and supporting the City's efforts to expand attainable homeownership options for the local workforce.

Alternative Options:

- City Council could choose not to authorize the application. The project financing gap would remain and the Cherry Street redevelopment would be delayed until alternative funding is secured.
- Council could direct staff to pursue alternative funding sources. Staff could evaluate other local, state, or federal funding programs; however, few programs are targeted to households at 80% - 115% AMI. Additionally, Northfield's current new-construction market does not produce homes affordable to this income range without significant subsidy, making alternative funding sources limited.
- Council could choose to delay the application to next year's Impact Fund round. Staff could prepare a more comprehensive redevelopment plan for both Linden Street and Cherry Street before applying.
- Hold the property and explore higher-density redevelopment. Staff could evaluate additional infill or multifamily options; however, this direction is not supported by neighbors based on previous engagement.

Financial Impacts:

The grant does not create an ongoing financial obligation for the City beyond standard grant administration. Funding received will be appropriated following Council acceptance per the Grant Management Policy.

Tentative Timelines:

Council Action for Grant Submission	July 7, 2026
Grant Application Due	July 9, 2026
Grant Award Notice	November 2026

CITY OF NORTHFIELD, MN
CITY COUNCIL RESOLUTION 2026-070
AUTHORIZING THE SUBMISSION OF A GRANT APPLICATION TO MINNESOTA HOUSING
FINANCE AGENCY FOR IMPACT FUNDS FOR THE CHERRY STREET REDEVELOPMENT
PROJECT

WHEREAS, pursuant to Minnesota Statute 469.001, the City of Northfield Housing and Redevelopment Authority (“HRA”) was created and exists in part to provide a sufficient supply of adequate, safe, and sanitary dwellings and to remedy the shortage of housing for low- and moderate-income residents of the City of Northfield (the “City”); and

WHEREAS, the City of Northfield HRA owns the property located at 308 Cherry Street for the purpose of supporting infill housing and neighborhood reinvestment; and

WHEREAS, the City, through the HRA, proposes to redevelop these parcels into four energy-efficient, net-zero, factory-built single-family homes with up to three bedrooms, two bathrooms, unfinished basements, and garages; and

WHEREAS, the homes will be affordable to households earning between 80% and 115% of Area Median Income (AMI), supporting the City’s strategic efforts to expand affordable and workforce homeownership opportunities in alignment with the City’s Strategic Plan and the 2045 Comprehensive Plan goals related to infill development and equitable housing access; and

WHEREAS, the project will be undertaken in partnership with Rice County Habitat for Humanity in a builder capacity, and additional support for down payment assistance and homebuyer education administered through Three Rivers Community Action; and

WHEREAS, Minnesota Housing Finance Agency’s Impact Fund program provides critical gap financing to support affordable homeownership development, and receipt of such funds would significantly strengthen the affordability and financial feasibility of the Cherry Street redevelopment project.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL THAT:

1. The City Council hereby supports and authorizes the submission of a grant application to Minnesota Housing Finance Agency for Impact Funds in an amount up to the maximum eligible award amount necessary to support the Cherry Street redevelopment project, including value gap funding associated with the construction of four affordable owner-occupied homes; and
2. The City Council authorizes the City Administrator to sign all application forms, assurances, and related documents necessary to submit the application consistent with City’s Grant Management Policy.

PASSED by the Mayor and City Council of the City of Northfield on this 7 day of July, 2026.

ATTEST:

Mayor

City Clerk

VOTE: ___ ZWEIFEL ___ BEUMER ___ DAHLEN ___ HOLMES
 ___ NESS ___ PETERSON WHITE ___ SOKUP

Community Homeownership Impact Fund

Learn how the Community Homeownership Impact Fund can help create and reinvest in affordable owner-occupied homes in your community!



The Community Homeownership Impact Fund (Impact Fund) provides funding for developers and administrators of single-family, owner-occupied affordable and workforce housing activity in communities across Minnesota. Resources are available through a competitive Request for Proposal published each spring.

Eligible Applicants

- Cities
- American Indian tribes or subdivisions, or tribal housing corporations
- Housing and Redevelopment Authorities
- Private developers
- Nonprofit organizations
- School districts, cooperative units, or charter schools

Income Limits

Household income cannot exceed 115% of greater of state or area median.

Eligible Use of Funds

All projects must supply or improve owner-occupied, single-family housing and comply with Green Communities Criteria. Eligible uses are:

- Acquisition, rehabilitation and resale of existing housing
- New construction, including demolition or removal of existing structures with rebuild
- Owner-occupied rehabilitation
- Affordability gap subsidy for downpayment and closing cost assistance

Types of Funds Available

- **Interim Financing:** A short-term, low-interest bearing loan made to assist an administrator with acquiring, demolishing, rehabilitating or constructing owner-occupied housing.
- **Deferred Forgivable Loans:** Interest-free deferred loan financing is available to help eligible homeowners bridge affordability gaps not covered by first-mortgage or other funding sources.
- **Grants:** Provided to bridge value gaps between a project's total development cost and its fair market value or for other eligible activities where recapture of loan funds proves infeasible or unaffordable.

General Selection Standards and Funding Priorities

- **Organizational capacity:** The applicant's and applicant's partners' related housing experience and financial stability is evaluated for capacity to undertake and complete the proposed project.
- **Project feasibility:** The cost of developing or rehabilitating the proposed housing must be reasonable and economically viable given market conditions.
- **Community need:** The extent to which there is a well-defined community need for the housing activity in the Target Area based on local demographic, workforce, and economic factors.
- **Additional funding priorities** include:
 - Leverage for other financial and in-kind investments;
 - Cost containment;
 - Non-duplication of an existing program or service;
 - Providing long-term housing affordability and housing affordable to the local workforce;
 - Addressing the housing needs of underserved populations;
 - Providing housing proximate to jobs, transportation, schools and services;
 - Providing housing investments in areas in need of community recovery.

Leveraging Minnesota Housing Home Improvement Programs

Make the most of the Impact Fund by leveraging our home improvement programs with your application. For more information, visit www.mnhousing.gov > Homeownership > Improve Your Home.

- **Fix Up Loans:** Minnesota Housing provides affordable home improvement loans through a statewide network of participating lenders that include banks, credit unions, and nonprofit organizations. Fix Up provides:
 - Loans for most basic remodeling, repairs and upgrades.
 - Loan options for homeowners with limited equity, including an unsecured loan option.
 - A lower interest rate and no income limit for basic energy conservation and accessibility improvements.
- **Community Fix Up Initiative:** A community partner joins with an approved lender to provide services and funds at a lower interest rate.
 - The approved lender originates these loans and sells them to Minnesota Housing.
 - Targeted to specific community needs
 - The Impact Fund or other leveraged resources supplied by the community partner can be used to write down the Community Fix Up interest rate.

Interested?

The Impact Fund can help create and reinvest in affordable owner-occupied homes in your community! To learn more about the program, visit www.mnhousing.gov > Community Initiatives Programs > Impact Fund, or contact a member of the Impact Fund Team:

Amanda Hedlund
amanda.hedlund@state.mn.us
651.284.0465

Leighann McKenzie
Leighann.mckenzie@state.mn.us
651.296.8147



Legislation Text

File #: 26-356, Version: 1

City Council Meeting Date: July 7, 2026

To: Mayor and City Council

From: Ben Martig, City Administrator

Public Hearing Related to Charter Commission Proposed Ordinance Amending Section 4.1 of the Northfield City Charter.

Action Requested:

The Northfield City Council is asked to hold a public hearing on Ordinance 1095 Amendment to Section 4.1 of the Northfield City Charter.

Summary Report:

Public Hearing Procedure (from adopted City Council Rules of Business):

A Public Hearing is used by the City Council to solicit the public's comments on various projects or City operation procedures.

- A. The Mayor will open the hearing by identifying the subject.
- B. Staff Presentation- City Administrator Ben Martig will give a presentation on the proposed amendments. City Attorney Chris Hood will be in attendance remotely to answer questions from the Council.
- C. Applicant's Presentation - NOT APPLICABLE
- D. Public Input- The public will have the opportunity to speak for or against the issue. The public may ask questions, make comments, voice support, agree or disagree with the issue.
 1. The Mayor will recognize a speaker at the podium and comments/conversation will be between the Mayor and speaker; and between the Mayor and Council Members.
 2. At the podium the speaker must give their name, and if representing a business, must give the name of the business or corporation. If an Attorney or consultant is representing a client, the client must be identified for the record.
 3. Speakers will be allowed to speak a maximum of two (2) minutes per item (not including interpreter's time, if applicable).
 4. Speakers who have material to be handed out to the City Council will pass the material to the City Administrator. The City Administrator will then pass the information to the appropriate people. A minimum of twelve (12) copies are needed.
 5. Persons cannot gift their 2 minute speaking time to other members of the public.

Note: There is a scheduled regular item after this agenda item. There will not be separate public input on that agenda item since this public hearing relates to that action item.

- E. Questions or Clarifications from City Council - After the public input of the public hearing is

completed, the City Council may request questions or clarifications prior to closing the public hearing. This section will be used when there are questions related to the topic on which the public hearing is being held. Questions should be succinct and avoid being rhetorical or leading in nature. Subsequent actions of the City Council provide for opportunities for further questions or clarifications from the City Council.

- F. Any material to be entered into the record shall be noted. Any written communication presented to the City Council during a City Council meeting shall be read into the record or summarized for the record or simply delivered to the City Council, as the City Council may determine. They shall then be recorded in the minutes by title and filed with the minutes in the office of the City Clerk.
- G. Motion to Close Hearing - The Mayor will state if there is an extension of time for public input into the hearing. If not, the City Council Members will make a motion, second, and vote of the City Council on closing the public hearing.

Background

The Northfield Charter Commission adopted the attached proposed changes to Charter Section 4.1 at their May 14, 2026 meeting by a vote of 5-1. Charter Commission Chair CC Linstroth submitted the amendment to the City Administrator via email on May 26, 2026. Linstroth requested that staff initiate the process for City Council review of the amendment. The City Council accepted the amendment and scheduled the public hearing at their June 2, 2026 meeting.

This change specifically adds a reference to applicable State law requirements for charter cities. The amendment also includes complementary language intended to align more clearly with State law while providing additional clarification regarding the timing of assuming office and related oath of office requirements.

The current wording of Section 4.1 is provided below:

Section 4.1. - Council Meetings.

At its first meeting in January, the council shall meet at the usual place and time for the holding of council meetings. At this time any newly elected members of the council including the mayor shall, as the first order of business, be administered the oath of office and shall assume their duties. Thereafter, the council shall meet at such time as may be prescribed by resolution. Such a resolution shall remain in force until modified by the council. The mayor or any three members of the council may call special meetings of the council upon at least twelve hours notice to each member and such public notice as shall be prescribed by ordinance in compliance with the laws of Minnesota. Public notice of all meetings of the council and its committees shall be given as prescribed by ordinance, and any citizen shall have access to the minutes and records thereof at all reasonable times.

(Ord. No. 739, § 4.1, 11-6-2000; Ord. No. 781, 3-17-2003)

The recommended new “redline” version (crossout=delete; underline = new add) is as follows:

Section 4.1. - Council Meetings.

Pursuant to Minn. Stat. § 205.07, subd. 1a, as the same may be amended from time to time, the terms of all city council members, including the mayor, expire on the first Monday in January of the year in which such terms expire, except that such outgoing members shall hold office until their successors qualify. At its first meeting in January, the council shall meet at the usual place and time for the holding of council meetings. At this time any newly elected members of the council including the mayor, if not having previously been administered the oath of office on or following the first Monday in January,

shall, as the first order of business, prior to calling the meeting to order, be administered the oath of office and shall assume their duties. Thereafter, the council shall meet at such time as may be prescribed by resolution. Such a resolution shall remain in force until modified by the council. The mayor or any three members of the council may call special meetings of the council upon at least twelve hours notice to each member and such public notice as shall be prescribed by ordinance in compliance with the laws of Minnesota. Public notice of all meetings of the council and its committees shall be given as prescribed by ordinance, and any citizen shall have access to the minutes and records thereof at all reasonable times.

There is a lengthy background of this topic and ordinance development provided at the prior council meeting packet should the Council be interested in a deeper historical dive. However, the video link from the meeting where the Charter Commission voted to recommend approval is attached should the Council prefer to hear input from Charter Commission members as they deliberated. Their discussion includes dissenting thoughts of member DeLong who voted in opposition to the proposed amendment.

Amendment Background:

At the January 7, 2025 City Council meeting, a new Mayor, two new Council members, and one re-elected Council member were sworn into office. One Council member was absent from the meeting. As a result, only three continuing Council members were present at the start of the meeting (before the oath of office was to be administered).

Prior to the meeting, the agenda order was adjusted, and the meeting was called to order, followed immediately by the administration of the oath of office. No additional actions were taken prior to the oath of office being administered and the newly elected officials officially assumed office.

Following the meeting, a concern was raised by a member of the public, now Charter Commission member David DeLong, regarding whether a quorum was present at the start of the meeting. In response, the City Administrator requested that the Charter Commission review the existing Charter language and consider amendments to determine if there were appropriate amendments consistent with State law that could provide better clarity to avoid confusion in the future. Ultimately, the members were sworn into office in accordance to State law.

Pursuant to Minn. Stat. § 205.07, subd. 1a, that supersedes any City Charter provision “[t]he terms of all city council members of charter cities expire on the first Monday in January of the year in which they expire,” but “[a]ll officers of charter cities chosen and qualified shall hold office until their successors qualify.” The qualification of office occurred as the first item of business. State law does not require that qualification occur during a meeting therefore even though there wasn’t a quorum at time the meeting was called to order State Statutes does not require that. As soon as the swearing in occurred there was a quorum. No items of business occurred prior to this action.

The Charter Commission began its review and discussion of potential amendments at its July 10, 2025 meeting. After numerous discussions on the citizen concern and in consultation with the City Attorney, the Charter Commission is proposing updates to Charter Section 4.1 that will allow the oath of office to be administered prior to calling the meeting to order.

First reading of the ordinance amending Section 4.1 is a separate item on this meeting agenda and will immediately follow the public hearing.

Alternative Options:

None recommended. The Charter Commission recommends on a 5-1 vote and the City Attorney and City Administrator also recommend the amendment.

Financial Impacts:

N/A

Tentative Timelines:

The detailed process and anticipated dates of City Council action is attached (attachment #4). **Charter amendments require a unanimous vote of all seven members of the City Council at both the first and second readings to pass.** Staff has adjusted the initial calendar presented at the June 2, 2026 City Council meeting to account for anticipated member absences.

- ✓ June 2, 2026 City Council Accepts Amendment and Schedules Public Hearing
- ✓ June 10, 2026 Notice of Public Hearing Published
- July 7, 2026 Public Hearing and First Reading of Ordinance
- July 14, 2026 Second Reading
- October 19, 2026 Effective Date

ORDINANCE NO. _____

AN ORDINANCE AMENDING CHAPTER FOUR OF THE NORTHFIELD CITY CHARTER

THE CITY COUNCIL OF THE CITY OF NORTHFIELD DOES ORDAIN THAT (new material is underlined; deleted material is lined out; sections which are not proposed to be amended are omitted; sections which are only proposed to be re-numbered are only set forth below as to their number and title):

SECTION 1. Northfield City Charter, Chapter Four. – Procedure of Council, Section 4.1. - Council Meetings, is hereby amended to read as follows:

Section 4.1. - Council Meetings.

Pursuant to Minn. Stat. § 205.07, subd. 1a, as the same may be amended from time to time, the terms of all city council members, including the mayor, expire on the first Monday in January of the year in which such terms expire, except that such outgoing members shall hold office until their successors qualify. At its first meeting in January, the council shall meet at the usual place and time for the holding of council meetings. At this time any newly elected members of the council including the mayor, if not having previously been administered the oath of office on or following the first Monday in January, shall, ~~as the first order of business,~~ prior to calling the meeting to order, be administered the oath of office and shall assume their duties. Thereafter, the council shall meet at such time as may be prescribed by resolution. Such a resolution shall remain in force until modified by the council. The mayor or any three members of the council may call special meetings of the council upon at least twelve hours notice to each member and such public notice as shall be prescribed by ordinance in compliance with the laws of Minnesota. Public notice of all meetings of the council and its committees shall be given as prescribed by ordinance, and any citizen shall have access to the minutes and records thereof at all reasonable times.

SECTION 2: This Ordinance shall take effect ninety days after its publication.

Passed by the City Council of the City of Northfield, Minnesota, this ____ day of _____, 2026.

ATTEST:

City Clerk

Mayor

First Reading:	
Second Reading:	
Published:	

VOTE: ___ ZWEIFEL ___ BEUMER ___ DAHLEN ___ HOLMES
___ NESS ___ SOKUP ___ PETERSON WHITE



Charter Commission Amendment Section 4.1

City Council Meeting
Public Hearing
July 7, 2026

Public Hearing Procedure



- Mayor verbalizes “Call Hearing to Order Related to Charter Amendment 4.1”
- Staff Presentation
- Public Input (2 minutes)
 - No separate public comment on that agenda item immediately following as the public hearing is the legal public input period
- Council Questions
 - Council deliberation of topic occurs at action item immediately following not at hearing
- Motion from Council to “Close Public Hearing”

Charter Section 4.1

Background



- Charter Section 4.1 currently requires the oath of office to be administered at the first City Council meeting of the year
- At the January 7, 2025 City Council meeting only three incumbent Council members were present at the start of the meeting; 3 new members were to take the oath along with 1 of the incumbent members
- The agenda was adjusted to administer the oath immediately after the meeting was called to order
- No other business or Council action occurred before the oath of office

Charter Section 4.1

Concern Raised



- After the meeting, a resident raised concerns about whether a quorum existed at the start of the meeting
- The concern focused on the Charter language requiring the meeting to be called to order before newly elected officials officially assumed office and whether there were enough members to call the meeting to order per quorum
- The resident expressed concern that Council members from the previous Council who were not serving on the new Council should have been present for the start of the meeting to meet the quorum

Charter Section 4.1

Charter Commission Review



- City Administrator Martig requested that the Charter Commission review the Charter language to determine if the current wording could be improved
- The Commission reviewed section 4.1 and consulted with the City Attorney to identify updated language to avoid similar concerns in the future

Charter Section 4.1

Proposed Amendment



- Acknowledges MN State Statute, which supersedes any City Charter, that all city council terms for charter cities expire on the first Monday in January of the year in which such terms expire or until their successor qualifies
 - Note: Therefore, there is no issue of quorum from the January 2025 meeting of concern as the action of swearing in occurred as the first item of business (no items prior) and as soon as the qualification occurred there was immediately quorum
- Amendment provides clarity to State statute that allows the oath to be administered after the first Monday in January but prior to the first meeting of the year

Charter Section 4.1 Proposed Amendment



Section 4.1. – Council Meetings.

Pursuant to Minn. Stat. § 205.07, subd. 1a, as the same may be amended from time to time, the terms of all city council members, including the mayor, expire on the first Monday in January of the year in which such terms expire, except that such outgoing members shall hold office until their successors qualify. At its first meeting in January, the council shall meet at the usual place and time for the holding of council meetings. At this time any newly elected members of the council including the mayor, if not having previously been administered the oath of office on or following the first Monday in January, shall, as the first order of business, prior to calling the meeting to order, be administered the oath of office and shall assume their duties. Thereafter, the council shall meet at such time as may be prescribed by resolution. Such a resolution shall remain in force until modified by the council. The mayor or any three members of the council may call special meetings of the council upon at least twelve hours notice to each member and such public notice as shall be prescribed by ordinance in compliance with the laws of Minnesota. Public notice of all meetings of the council and its committees shall be given as prescribed by ordinance, and any citizen shall have access to the minutes and records thereof at all reasonable times.



Charter Amendment Timeline/Process

May 14, 2026 – Charter Commission Approve Section 4.1 Amendment.

May 26, 2026 – Charter Commission Chair Notifies City Administrator of Proposed Amendment.

June 2, 2026 – City Council Receives Proposed Amendment and Sets Public Hearing Date.

June 10, 2026 – City Publishes Notice of Public Hearing in the Northfield News.

July 7, 2026 – Public Hearing and First Reading of Ordinance.*

July 14, 2026 – Second Reading of Ordinance. *

October 12, 2026 – Ordinance Goes into Effect.**

*Requires 7/7 vote of City Council; date will be shifted if a Council Member(s) is absent.

**Ordinance goes into effect 90 days after second reading. Will shift if the second reading shifts.

Public Hearing Procedure



- ✓ Mayor verbalizes “Call Hearing to Order Related to Charter Amendment 4.1”
- ✓ Staff Presentation
- Public Input (2 minutes)
 - No separate public comment on that agenda item immediately following as the public hearing is the legal public input period
- Council Questions
 - Council deliberation of topic occurs at action item immediately following not at hearing
- Motion from Council to “Close Public Hearing”

Public Comment



Council Questions

“Motion to Adjourn” after
question period ends



MEMORANDUM

To: Ben Martig, City Administrator **VIA EMAIL ONLY**

From: David A. Assaf, Assistant City Attorney

Date: March 7, 2026

Re: Proposed Amendment of Northfield City Charter, Section 4.1

INTRODUCTION

You requested that our office review Northfield City Charter (the “Charter”), Section 4.1 for compliance with all applicable laws and provide any recommended revisions, which might improve and clarify the current process regarding the timing of the administration of the oath of office for newly elected members of the City Council (the “Council”).

ANALYSIS

Pursuant to Minn. Stat. § 205.07, subd. 1a, “[t]he terms of all city council members of charter cities expire on the first Monday in January of the year in which they expire,” but “[a]ll officers of charter cities chosen and qualified shall hold office until their successors qualify.” As the current language under Charter Section 4.1 requires the oath of office be administered as the first order of business at the first meeting in January for the newly elected members of the Council, Section 4.1 as written contains an ambiguity regarding the need for outgoing Councilmembers or Mayors to attend a meeting for the sole procedural purpose of calling a meeting to order so that the oath of office may be taken by the newly elected members in order that they then may be seated.

The proposed amendment to Section 4.1 being considered by the Charter Commission to bring the Charter more fully into compliance with Minn. Stat. § 205.07, subd. 1a, and to avoid any future confusion in administering the oath of office to newly elected members of the Council so that the same may immediately be seated and undertake the people’s business is a reasonable and appropriate means to address the present ambiguity in this provision.

Under the proposed amendment, the governing statute quoted above will be incorporated into Section 4.1 of the Charter, and newly elected members of the Council will be administered the oath of office *prior* to calling the first meeting in January to order. The proposed amendments to Section 4.1 of the Charter are as set forth in the ordinance now under consideration by the Charter Commission in underline/strikeout format. Section 4.1 of the Charter remains otherwise unchanged.

CONCLUSIONS

I hope that the foregoing is helpful in your consideration of this matter. I will be in attendance at the March 12, 2026 meeting of the Charter Commission to answer any legal questions the Charter Commission may have regarding the proposed Charter amendment.

Should you have any questions or require additional information, please do not hesitate to contact me at your convenience at (651) 225-8840 or via email at daassaf@flaherty-hood.com. Thank you.

DAA/sc

TIMELINE FOR PROPOSED CHARTER COMMISSION AMENDMENT

Pursuant to Minn. Stat. § 410.12, Subd. 7

Step		Timeline Notes	Date
#	Action		
1.	<p><u>Proposed Ordinance.</u> Charter Commission makes a motion and votes at an open public meeting to approve the following:</p> <p>A. Specific recommendations to amend the Charter by ordinance (proposed ordinance); and</p> <p>B. Submission of the proposal to the City Council.</p>		<p>A. 05/14/26 B. 05/26/26</p>
2.	<p><u>Receive Amendment.</u> City Council receives proposed Charter amendment in ordinance form from Charter Commission and sets a date for a public hearing.</p>	A public hearing date must be noticed within one month after the City Council receives the proposed ordinance.	06/02/26
3.	<p><u>Notice.</u> City publishes notice of a public hearing on the proposed ordinance, which must contain the text of the proposed ordinance.</p>		06/10/26
4.	<p><u>Public Hearing.</u> City Council holds a public hearing on the proposed ordinance.</p>	At least two weeks, but not more than one month after the notice is published. There is a maximum of 60 days between receipt of the proposed ordinance and the date of the public hearing must be held.	07/07/26
5.	<p><u>City Council - First reading of ordinance.</u> Council must vote to introduce the proposed ordinance in an open public meeting. Proposed ordinance must receive unanimous approval from the City Council.</p>	Within one month of the date of the public hearing.	07/07/26
6.	<p><u>City Council - Second reading of ordinance</u> (if first reading is adopted unanimously). Proposed ordinance is enacted if it receives a unanimous affirmative vote of all members of the City Council and is published.</p>	Date of City Council meeting approving ordinance.	07/14/26
7.	<p><u>Effective Date.</u> Ordinance becomes effective.</p>	90 days after passage and publication or such later date as is fixed in the ordinance.	10/12/26



Legislation Text

File #: Ord. 1095, **Version:** 1

City Council Meeting Date: July 7, 2026

To: Mayor and City Council

From: Ben Martig, City Administrator

Consider Ordinance 1095 Amending Section 4.1 of the Northfield City Charter (First Reading).

Action Requested:

City Charter Commission, City Attorney, and Staff recommend a motion to approve Ordinance 1095 Amending Section 4.1 of the Northfield City Charter (First Reading).

Note: Charter amendments require a unanimous vote of all seven members of the City Council at both the first and second readings to pass.

Summary Report:

See prior public hearing agenda for detailed memo related to this agenda item. No additional public comment as the public hearing meets the legal requirements for the public input for council to consider in deliberation on the issue.

Alternative Options:

N/A

Financial Impacts:

N/A

Tentative Timelines:

The detailed process and anticipated dates of City Council action are included in the public hearing item. **Charter amendments require a unanimous vote of all seven members of the City Council at both the first and second readings to pass.** Staff has adjusted the initial calendar presented at the Jun 2, 2026 City Council meeting to account for anticipated member absences.

- ✓ June 2, 2026 City Council Accepts Amendment and Schedules Public Hearing
- ✓ June 10, 2026 Notice of Public Hearing Published
 - July 7, 2026 Public Hearing and First Reading of Ordinance
 - July 14, 2026 Second Reading
 - October 19, 2026 Effective Date

ORDINANCE NO. 1095

AN ORDINANCE AMENDING CHAPTER FOUR OF THE NORTHFIELD CITY CHARTER

THE CITY COUNCIL OF THE CITY OF NORTHFIELD DOES ORDAIN THAT (new material is underlined; deleted material is lined out; sections which are not proposed to be amended are omitted; sections which are only proposed to be re-numbered are only set forth below as to their number and title):

SECTION 1. Northfield City Charter, Chapter Four. – Procedure of Council, Section 4.1. - Council Meetings, is hereby amended to read as follows:

Section 4.1. - Council Meetings.

Pursuant to Minn. Stat. § 205.07, subd. 1a, as the same may be amended from time to time, the terms of all city council members, including the mayor, expire on the first Monday in January of the year in which such terms expire, except that such outgoing members shall hold office until their successors qualify. At its first meeting in January, the council shall meet at the usual place and time for the holding of council meetings. At this time any newly elected members of the council including the mayor, if not having previously been administered the oath of office on or following the first Monday in January, shall, ~~as the first order of business,~~ prior to calling the meeting to order, be administered the oath of office and shall assume their duties. Thereafter, the council shall meet at such time as may be prescribed by resolution. Such a resolution shall remain in force until modified by the council. The mayor or any three members of the council may call special meetings of the council upon at least twelve hours notice to each member and such public notice as shall be prescribed by ordinance in compliance with the laws of Minnesota. Public notice of all meetings of the council and its committees shall be given as prescribed by ordinance, and any citizen shall have access to the minutes and records thereof at all reasonable times.

SECTION 2: This Ordinance shall take effect ninety days after its publication.

Passed by the City Council of the City of Northfield, Minnesota, this ____ day of _____, 2026.

ATTEST:

City Clerk

Mayor

First Reading:	
Second Reading:	
Published:	

VOTE: ___ ZWEIFEL ___ BEUMER ___ DAHLEN ___ HOLMES
___ NESS ___ SOKUP ___ PETERSON WHITE



Legislation Text

File #: 26-357, Version: 1

City Council Meeting Date: July 7, 2026

To: Mayor and City Council

From: Ben Martig, City Administrator

Reports From the Mayor and Council Members.

Summary Report:

During this portion of the meeting, the Mayor and Council will provide updates on work being done on the boards, commissions, and committees they are a part of, as well as other City events they have participated in.

Below are the 2026 board, commission and committee appointments of the City Council.

Mayor Zweifel

- City/Hospital Governance Committee
- Housing and Redevelopment Authority (HRA)
- Mayor's Youth Council

Councilor Beumer

- Beyond the Yellow Ribbon
- Economic Development Authority (EDA)
- Housing and Redevelopment Authority (HRA)

Councilor Dahlen

- Council Employment Committee
- Housing and Redevelopment Authority (HRA)
- Mill Towns Trail Joint Powers Board

Councilor Holmes

- Council Employment Committee
- City/Hospital Governance Committee
- Housing and Redevelopment Authority (HRA)
- Planning Commission & Zoning Board of Appeals (PC/ZBA)

Councilor Ness

- Age Friendly Steering Committee
- Convention and Visitors Bureau Board

- Council Employment Committee
- Housing and Redevelopment Authority (HRA)
- Northfield Area Fire & Rescue Services (NAFRS)
- Rice/Steele 911 Center Board

Councilor Peterson White

- City/Hospital Governance Committee
- Friends of Downtown Northfield
- Economic Development Authority (EDA)
- Hiawathaland Transit Advisory Committee
- Hospital Board
- Housing and Redevelopment Authority (HRA)
- Northfield Transportation Advisory Committee

Councilor Sokup

- Environmental Quality Commission (EQC)
- Housing and Redevelopment Authority (HRA)
- Mill Towns Trail Joint Powers Board

Alternative Options:

N/A

Financial Impacts:

N/A

Tentative Timelines:

N/A



Legislation Text

File #: 26-358, Version: 1

City Council Meeting Date: July 7, 2026

To: Mayor and Members of Council
City Administrator

From: David Bennett, Public Works Director/City Engineer

Discussion on Organic Recycling

Action Requested:

City Council Discusses One of Three Pathways for Organics Recycling.

Summary Report:

At the December 2025 meeting, organics recycling was removed from the residential waste contract. Since that time, staff have conducted additional research on organics recycling programs, including legal and policy considerations, participation rates, and implementation approaches used by other Minnesota communities.

Through this research, staff learned that if the City were to implement a citywide organics collection program through a residential waste contract, state law would require all residents to be charged equally for recycling services, including organics recycling. This information changes the feasibility of some program structures previously discussed by Council. Staff identified three potential pathways for Council consideration:

Pathway 1: Maintaining the current approach, where residents may subscribe to private organics collection service through Curbside Compost.

Pathway 2: Same as Pathway 1, but with a phased expansion of organics access through additional drop-off opportunities and future county coordination

Pathway 3: Universal organics recycling program available to all residents.

Research also indicates that participation in organics recycling is generally higher when service is universally available, while voluntary subscription programs tend to have lower participation rates. Staff is seeking Council direction on which pathway should be evaluated further.

City Plans & Policies Relevance:

Comprehensive Plan
Climate Action Plan

Presented to Environmental Quality Commission (EQC) on June 17, 2026.

- Recommendation: EQC recommends exploring a universal organics program.

Alternative Options:

Council could direct staff to discontinue researching options and continue to maintain the current approach where residents subscribe to private organics collection service through Curbside Compost.

Financial Impacts:

Preliminary cost estimates for a universal organics program will be presented for discussion; no financial action is requested.

Tentative Timelines:

Depending on Council direction, staff will bring back a detailed timeline.



Organic Recycling Options & Council Direction

July 7, 2026

Agenda

1. Why staff revisited organics Recycling
2. What Staff Learned
3. Policy & Legal Considerations
4. Pathways forward
5. Request for recommendation from EQC



Context of Discussion



Composting was removed from the residential waste contract in December 2025.

Staff identified three pathways forward. The presentation will share the tradeoffs, estimated impacts, and questions requiring Council direction.

City Goals & Priorities



Strategy 5: Reduce solid waste through diversion, recycling, and reuse

Northfield will be a zero-waste community.

Guiding values



Outcomes

1. Northfield has robust policies and procedures in place to reduce the quantity of solid waste that is sent to the Rice County landfill.
2. All organic materials are diverted from the waste stream through a community-wide curbside compost collection system available to all property owners and renters.

Comprehensive Plan

- Coordinate with local waste and recycling haulers to offer curbside compost pick up for residents

Climate Action Plan

- Calls out Materials & Waste as one of six core areas of focus
 - Zero Waste Plan
- Greenhouse Gas emissions: In 2024, waste was 3% of community wide emissions

Rice County Landfill

- Expected to be at capacity in 12 – 15 years

Composting: New Information



[MN State Statute 115A.93](#)

- Mandates all residents be charged equally for recycling services, including organics recycling
 - All residents must be charged for the service
- Example City of Bloomington:
 - Minnesota State Statute 115A.93 requires licensing authorities, like the City, to require that residents who recycle organics and regular recycling must not pay more than residents who do not recycle organics or regular recycling. Therefore, the City is required by Hennepin County to offer organics and State law requires that in communities where organics recycling service is available, **all residents must be charged for the service.**

Northfield Today



Waste Contract (2026-2030) does not include organic recycling

- Serves about 5,058 residential households

Organics Recycling

- City provides two locations for residents to drop off their organics
 - Free service
 - Drop off locations: Composting site & Streets Shop
- Voluntary Program residents can sign up for Curbside Compost
 - \$15/month
 - Approximately 15% of the residential households participate in curbside service

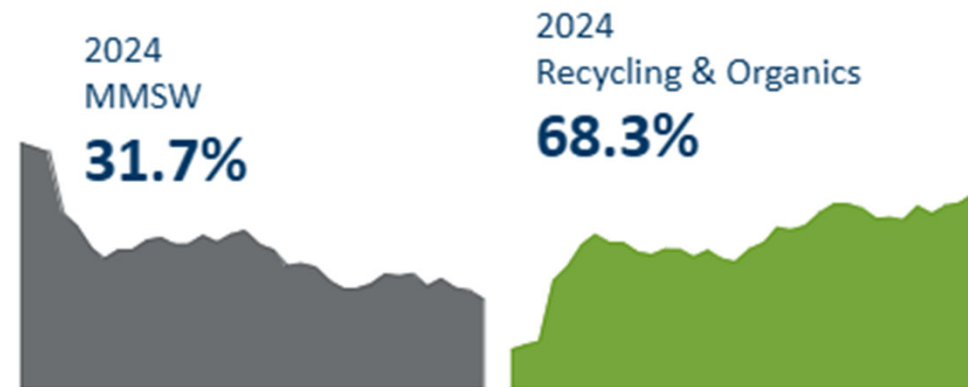
Metropolitan Solid Waste Management Policy Plan



Primary Recycling Goals

- 2030: Recycling rate 75%
 - 2024: Rice County's recycling rate was 68.3%
 - 2024: State average recycling rate was 44.7%
- Make residential curbside collection available in cities with a population greater than 5,000 by 2030

Trends in MMSW and recycling rates (1991-2024)



[Data comes from 2024 Score Report](#)

**The City of Northfield is technically excluded from the Metropolitan Solid Waste Management Plan

What Staff learned from other Communities



- Participation is highest when service is universally available
 - Voluntary subscription programs tend to remain limited
- Most cities begin with food scraps only
- Education and contamination management are critical
- Regional communities are increasingly expanding organics access

ORGANICS

Put these items in your organics collection- **use BPI-certified compostable bags.**

Food scraps

- Bakery and dry goods
- Coffee grounds
- Dairy products
- Eggs and eggshells
- Meat, fish and bones
- Produce: fruit and vegetables



No Recyclables



No Yard Waste



No Trash

For more information, visit www.dakotacounty.us, search *organics collection*.

Comparison Cities



- Have curbside collection of residential organics

City	Population	Start Date	% Participation
New Hope, MN	Approximately 22,990	Spring 2025	11%
Crystal, MN	Approximately 23,300	2025	11%
Robbinsdale, MN	Approximately 14,700	Spring 2025	20%
Golden Valley, MN	Approximately 22,700	2022	39%
Minneapolis, MN	Approximately 430,000	2015	53% (Highest)

Northfield*

Approximately 20,700

2017

About 15%

Pathways Forward



Options	Description
Status Quo	Voluntary subscription
Phased Expansion	Align with Dakota County & look at expanding drop of sites for composting
Universal Composting Service	All residents pay for service

Pathways Forward: Option 1



Status Quo: Residents sign up to receive organics recycling program in Northfield

- Flexible for residents – only those who are interested sign up
 - At higher cost for interested residents (\$15)
 - Is available at on a sliding scale to make it more affordable to all residents if they want to participate
- Participation rates are likely to remain limited under a opt -in
- Lower impact on waste diversion & sustainability goals

Pathways Forward: Option 2



Phased Expansion: Align with Dakota County timeline of expanding organics recycling. Add additional composting drop-off sites

- Alignment with County rollout
 - Discussions with haulers expected to happen in 2027
- Additional drop off locations
- Participation rates may remain limited
- Slower progress toward waste diversion and sustainability goals

Pathways Forward: Option 3



Universal Organics Recycling: Have a single hauler waste contract for organics recycling

- Alignment with Comprehensive Plan & Climate Action Plan
- Lower cost entry is expected to increase participation
- Greater participation = more progress on waste diversion and sustainability goals
- Requires resident fee regardless of participation
- Would require request for proposals and coordination with hauler

Universal Organics Recycling Program



- **Estimated Cost of Single Hauler Curbside Compost**

Participation Percentage	Estimated Monthly Price for Residents
15%	\$4.00
20%	\$4.50
25%	\$5.20
30%	\$5.70

Note: Generally to start universal organic program the City needs to Collect \$250,000 in revenue to offset hauler collection charges. Estimates are intended to support policy discussion only.

Current Garbage Rates



Garbage collection rates

Service	2026 rate
Drive by service	\$10.74 flat fee per month
20 gallon container	\$12.06 flat fee per month
35 gallon container	\$13.37 flat fee per month
64 gallon container	\$18.15 flat fee per month
96 gallon container	\$23.25 flat fee per month
Yard waste container	\$97.78 flat fee per year

Questions to City Council



Should staff pursue:

Pathway 1: Maintain the current voluntary model?

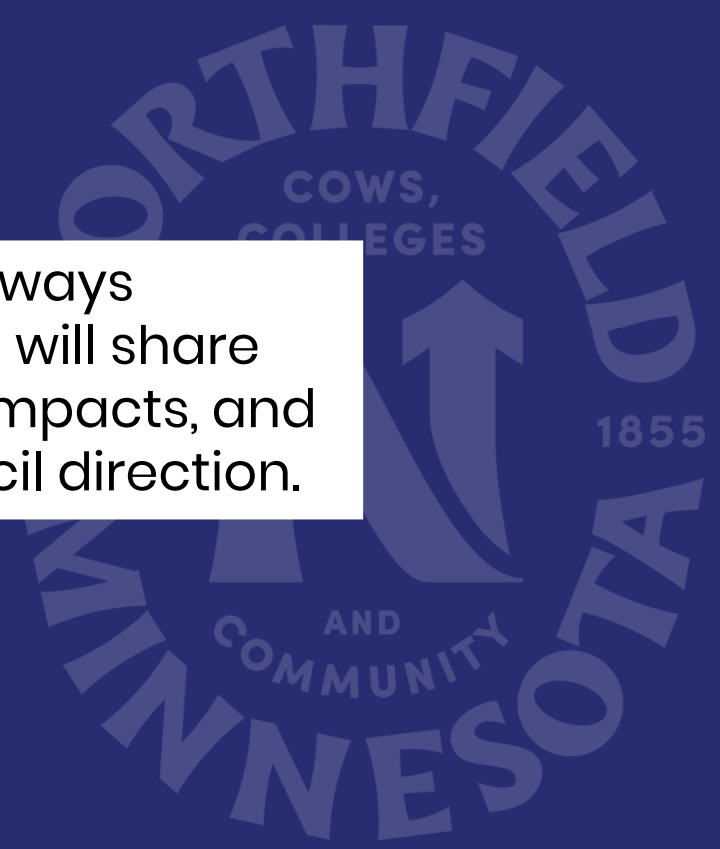
Pathway 2: Further evaluate additional drop off locations & align with Dakota County timeline of organics implementation?

Pathway 3: Explore a universal organics program?

Dave Bennett, Public Works Director

Sara Pabian, Sustainability Coordinator

Staff identified three pathways forward. The presentation will share the tradeoffs, estimated impacts, and questions requiring Council direction.





Legislation Text

File #: 26-359, Version: 1

City Council Meeting Date: July 7, 2026

To: Mayor and City Council
City Administrator

From: David E. Bennett, Public Works Director/City Engineer

Consider Approval of Final Concept for Phase II of the Northfield Skate Park Project and Authorize Preparation of Plans and Specifications.

Action Requested:

The Northfield City Council Considers Approval of Final Concept for Phase II of the Northfield Skate Park Project and Authorize Preparation of Plans and Specifications.

Summary Report:

City has hired Wizard Skateparks to design the next phase of the skate park and now have held multiple user group meetings and a neighborhood meeting to receive input on Phase II.

The input received from the neighborhood meeting is attached. The primary items the City heard at the meeting include:

- Screening the skate park from surrounding neighborhood.
- Adding rules to skate park
- Lighting concerns from neighborhood along with user concerns if lighting isn't provided.
- Noise mitigation
- LED rope lighting/feature lighting
- Shade, benches, picnic tables (Phase II contextual additions)
- Crosswalk at Fareway and Seventh Street

Staff will walk through the proposed final concept layout. The final concept layout has been updated to reflect input received. The final concept includes site amenities such as shade, benches, picnic tables, landscape screening, and lighting.

Staff and the skate park users believe lighting should be included for safety and use in the fall and spring seasons. Normal City Park hours are from 6 a.m. to 10 p.m., the proposed lighting would follow park hours and shut off at 10 p.m. The Council could consider reduced hours for lights, such as turning off at 9 p.m.

A link to the park project webpage is attached.

Broader Context (Future Phases)

During the City Council's review of the Phase II Skatepark concepts, Council requested that staff evaluate the project within the context of the broader Memorial Park site, rather than as a standalone facility. Specifically, Council encouraged consideration of how the skatepark could better integrate with adjacent park amenities, including the municipal swimming pool, to create a more cohesive and active recreational destination.

Consistent with that direction, the proposed skatepark Phase II design incorporates features intended to enhance the experience for both participants and spectators. Perimeter seating, including limestone seating blocks, provides opportunities for visitors to observe skaters, while adjacent shade structures with picnic tables offer comfortable gathering spaces for families and friends. These elements are intended to encourage longer visits, support informal social interaction, and create an inviting atmosphere for both active users and spectators.

In addition to the Phase II improvements, staff explored several conceptual ideas illustrating how future park enhancements could further strengthen the relationship between the skatepark and swimming pool while maintaining the necessary separation between the paid pool area and the surrounding public park. Examples include a future pavilion/picnic shelter positioned to overlook both amenities, creating opportunities for larger family gatherings, community events, birthday parties, and shared use by visitors to either facility. Additional concepts include potential relocation or expansion of sand volleyball courts, bocce ball courts, and other outdoor recreation amenities that could broaden the appeal of the park to users of all ages and encourage longer stays.

The conceptual illustration also explores opportunities within the existing pool site, such as replacing portions of the underutilized basketball courts with pool cabanas or flexible gathering spaces. These improvements could be designed with a combination of interior pool access and exterior park access, allowing complementary uses while preserving the security and operational needs of the pool facility. While these concepts represent only one possible vision, they demonstrate how future improvements could create stronger connections between amenities and better activate the overall park.

These concepts are presented solely for discussion and long-range planning purposes and are not proposed as part of the current Phase II Skatepark project. Rather, they respond to the City Council's request to evaluate the skatepark within the context of the entire park and illustrate how future investments could build upon one another over time. Experience in other communities has shown that thoughtfully grouping complementary recreational amenities can increase overall park activity, encourage family-oriented use, improve the visitor experience, and maximize the community benefit of public investment.

Alternative Options:

NA

Financial Impacts:

\$500,000 Grant from MN DEED

Local Costs projected to be under 10% or \$50,000 that would be paid through the Capital Park Fund.

Tentative Timelines:

Design 2026

Construction Tentative Fall 2026 or Spring 2027



Northfield Skate Park Phase II

City Council
July 7, 2026

Background



- Phase I constructed at Memorial Park in 2015 after many years of discussion and planning by city officials and Northfield Youth Group's with the Northfield Skateboard Coalition leading the charge.
- Grant Application submitted to the State of MN in February of 2025 for \$500,000 to expand our skatepark from 4500 Sq-Ft to the initial goal of 9000-10,000 Sq-Ft
- City of Northfield awarded the full amount of \$500,000 through the State of MN's City of Skate grant program in June of 2025.
- City receives signed grant back from DEED at the state level in February of 2026.
- Designer, Mark Leski owner of Wizard Skateparks, LLC awarded contract to design Phase two Expansion

Designer



- Mark Leski “the wiz”
- 30+ years building and designing skateparks
- Minnesota native know nationally for his creative vision to turn a space into some of the most recognized private and public skateparks in the industry
- Notable parks include:
 - Blood Bowl
 - Hiawatha
 - Cuckoo’s Nest
 - Can Wakpa
 - Duluth, MN
- Worked on construction crews for Painter Park, Elliott, Shakopee, and many others
- Lifelong skater who has skated 500+ parks across the USA

Goal and Vision Phase II



- Larger, dynamic layout
- Accessible for all skill levels
- Regional reach to bring people into Northfield
- Safe and creative outlet for the Northfield community

Engagement – User and Neighborhood Input



- Screening the skate park from surrounding neighborhood.
- Adding rules to skate park
- Lighting concerns from neighborhood along with user concerns if lighting isn't provided.
- Noise mitigation
- LED rope lighting/feature lighting
- Shade, benches, picnic tables
- Crosswalk at Fareway and Seventh Street

Skate Park Phase II



We are here

MN DEED
Grant
Approved
Feb 10, 2026

Community/
Stakeholder
Engagement
April-May
2026



Council
Approves
Plans for
Bidding
August 25,
2026

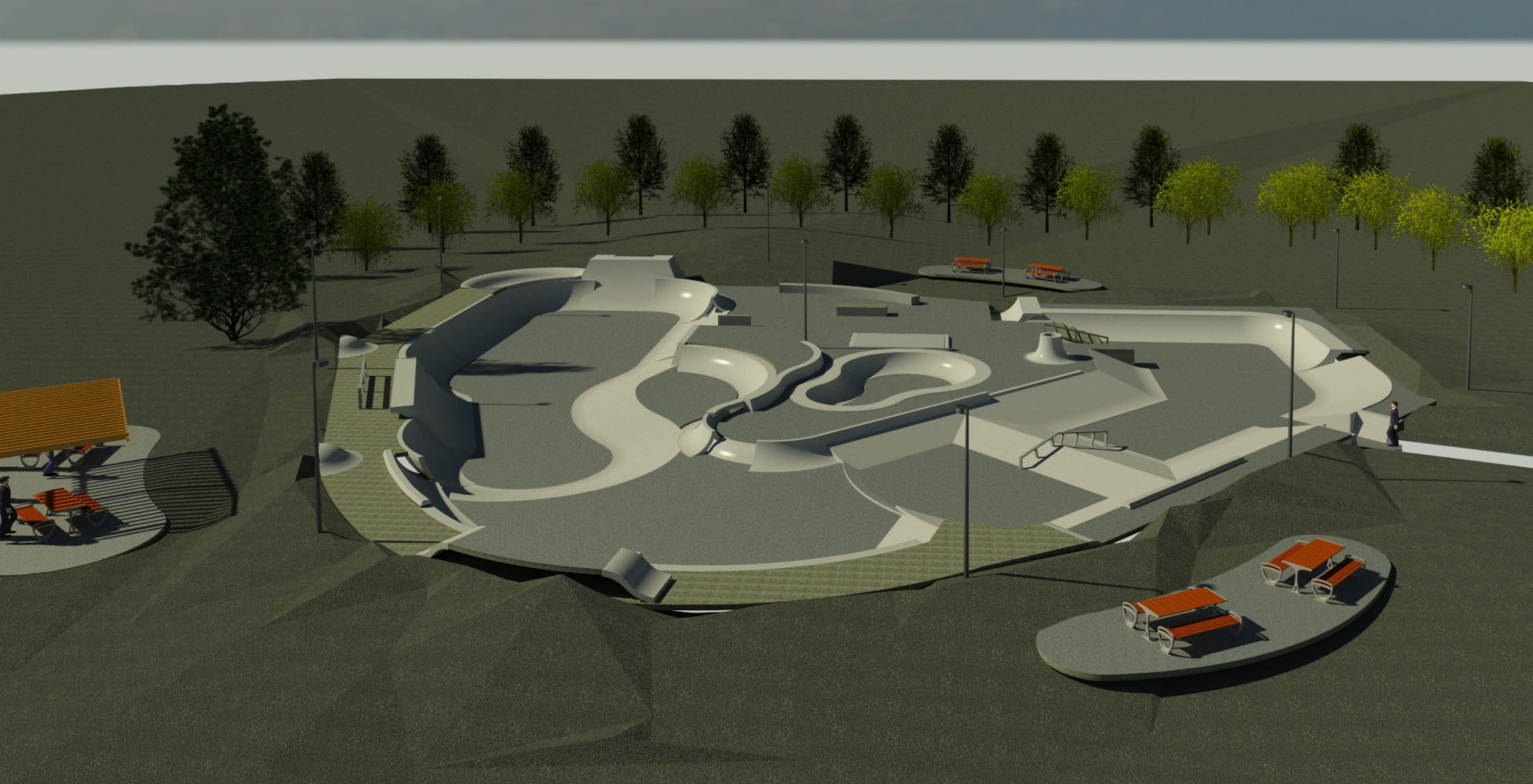
Council
Awards
Bids
October 6

Council
Preliminary
Input April
21, 2026

Council
Approves
Recommended
Final Concept
July 7, 2026

Bids Open
September
24

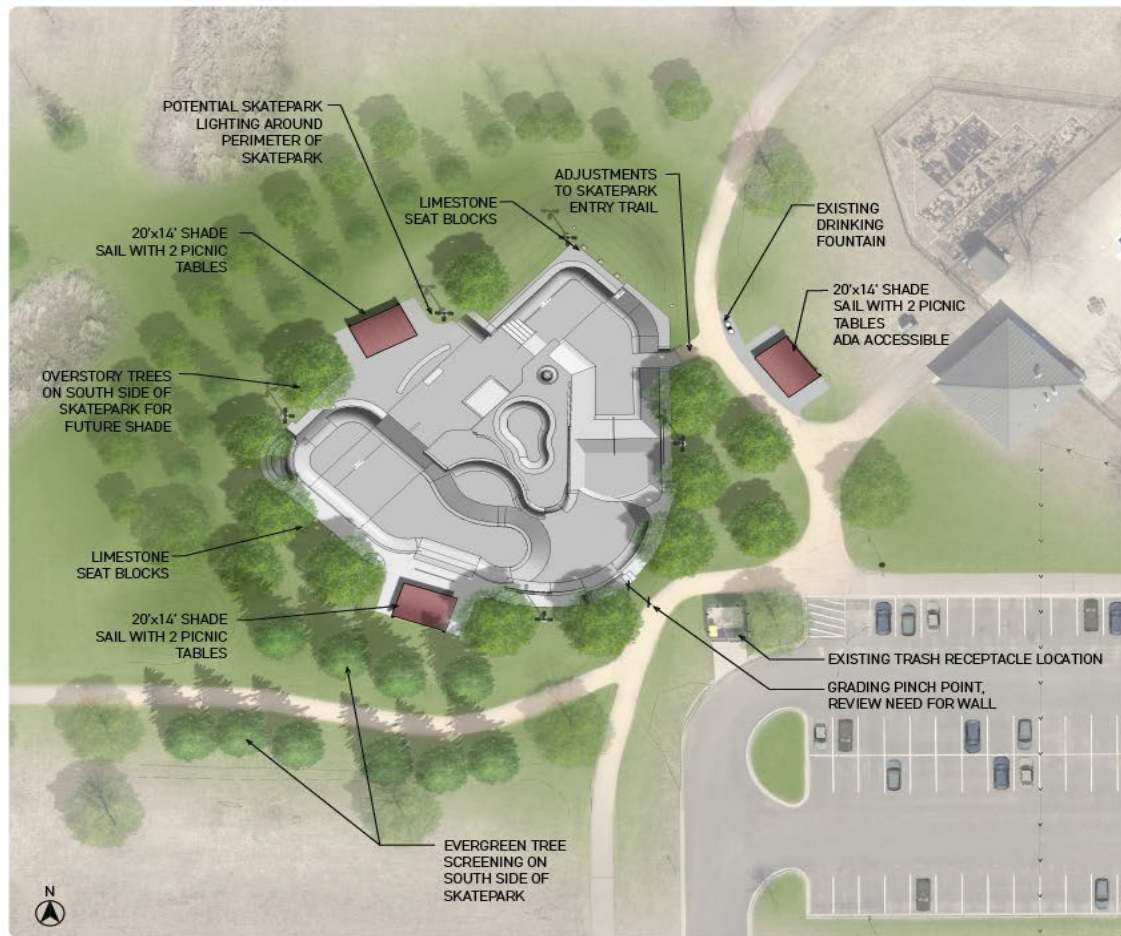
Construction
Fall 2026 to
Summer 2027



Initial Design Rendering – View Looking North



Night View – Dark Sky fixtures, warm color temperature





MULTI-USE FLEX
PLAY FIELD

LOCAL ARTIST
OPPORTUNITIES

VIEWING HILL WITH PLAZA +
PAVILION + SITTING STONES
[HILL CREATED FROM SKATE PARK
EXCAVATION MATERIALS]

VOLLEYBALL

RENTAL CABANAS

BOCCE BALL

PAVILION/SHELTER

VIEWS TO POOL

VIEWS TO
SKATE PARK

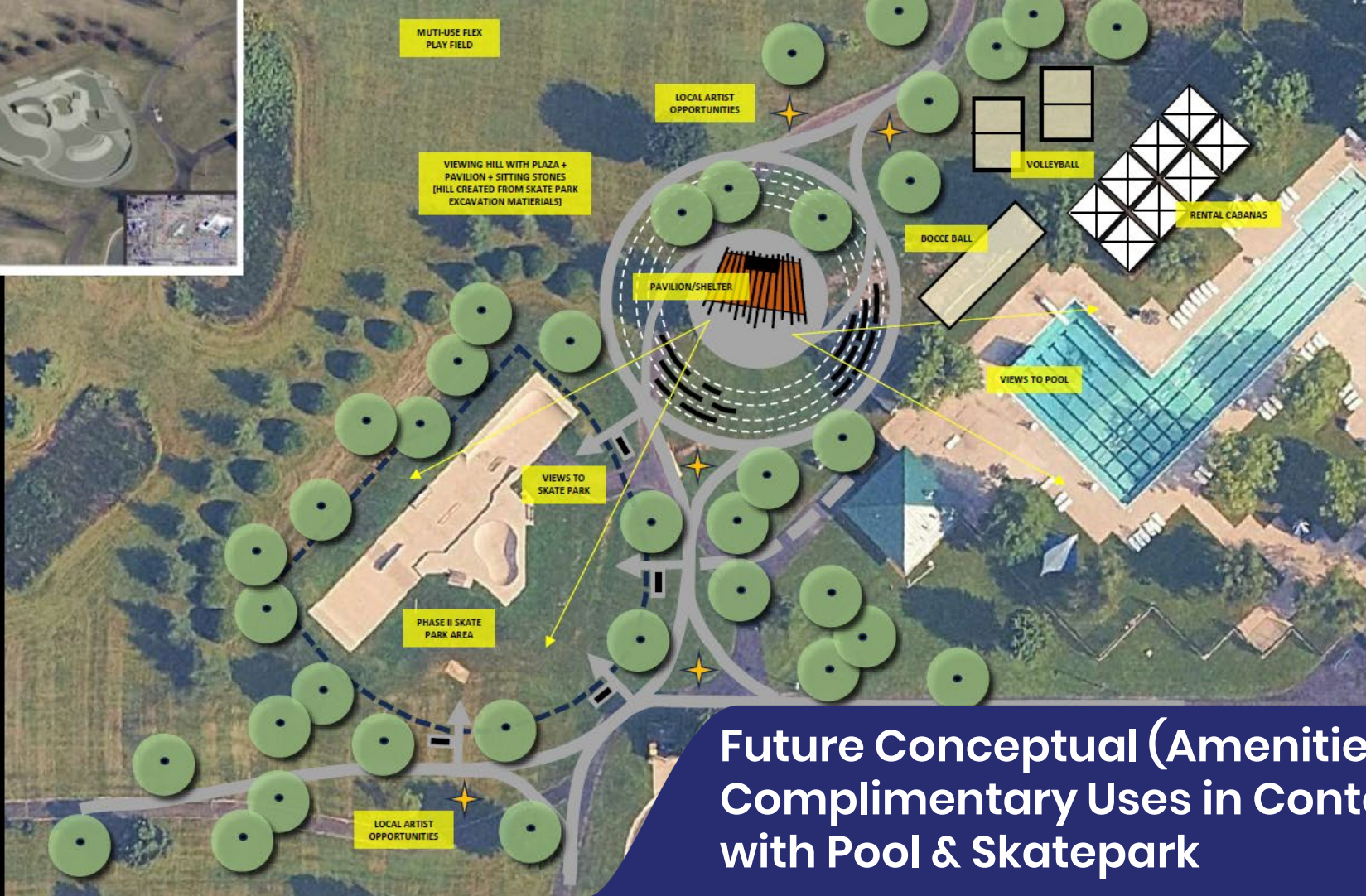
PHASE II SKATE
PARK AREA

LOCAL ARTIST
OPPORTUNITIES

Future Conceptual (Area in Red) Complimentary Uses in Context with Pool & Skatepark



Wardwood Park
Phase II
1:10,000
© 2018 M&M



MULTI-USE FLEX
PLAY FIELD

LOCAL ARTIST
OPPORTUNITIES

VIEWING HILL WITH PLAZA +
PAVILION + SITTING STONES
[HILL CREATED FROM SKATE PARK
EXCAVATION MATERIALS]

VOLLEYBALL

RENTAL CABANAS

BOCCE BALL

PAVILION/SHELTER

VIEWS TO POOL

VIEWS TO
SKATE PARK

PHASE II SKATE
PARK AREA

LOCAL ARTIST
OPPORTUNITIES

Future Conceptual (Amenities) Complimentary Uses in Context with Pool & Skatepark

Tonight's Action



Council Approves Final Concept and Authorized Preparation of Plans and Specification.

Questions /Comments

 PLEASE SHARE YOUR COMMENTS

South vegetation
to provide some screenage
and noise reduction
for homes on 7th street



PLEASE SHARE YOUR COMMENTS

Please, no lights.

Please, close at pool

closure time

Please, aggressive noise
mitigation.

Please, skatepark
etiquette signage.



PLEASE SHARE YOUR COMMENTS

Please be serious about noise mitigation = Early planning, budgets

1. ~~Bar~~ Berms, trees, shrubs

2. Directions of walls of skate park

3. Materials!!! More concrete less metal ← very important

4. No lights

5. Hours!!!

There is a lot of good advice

Plan for 30 years of a
skate park co-existing happily
with a residential neighborhood.

Thank you!

Scott Bierman



PLEASE SHARE YOUR COMMENTS

Pipe-dreams

- Geothermal heating to melt
snow to extend skating
season

- LED Rope lighting on park
features

- Glo-in-the-dark concrete



PLEASE SHARE YOUR COMMENTS

* Lighting is crucial so skaters
can skate in the cooler evening
hours during spring & fall

More benches to watch skaters

Blend skateboard park w/
other features of Memorial Park

 PLEASE SHARE YOUR COMMENTS

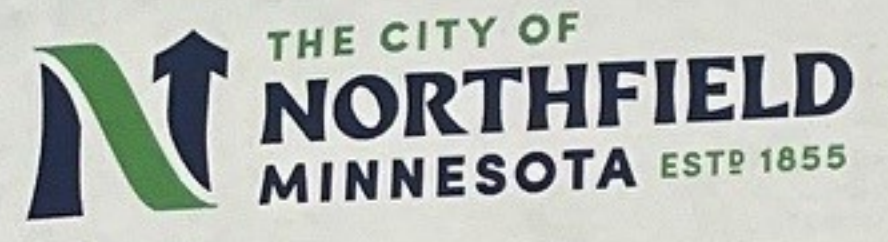
skateboard Park needs it
own proper sign

Also needs a "Rules" sign
especially given the
e-scooter trend

 PLEASE SHARE YOUR COMMENTS

Crosswalk at Foreway
of 7th
Cars speed down 7th

K Wojtowicz
5 Central Ave



Memorial Park

Location Map

- - - - Park Boundary
- - - - Project Location
 0 150 300
 Feet



wayfinding signs to Memorial Park & library downtown

bushes/trees stand to this side please!

Add crosswalk with lights

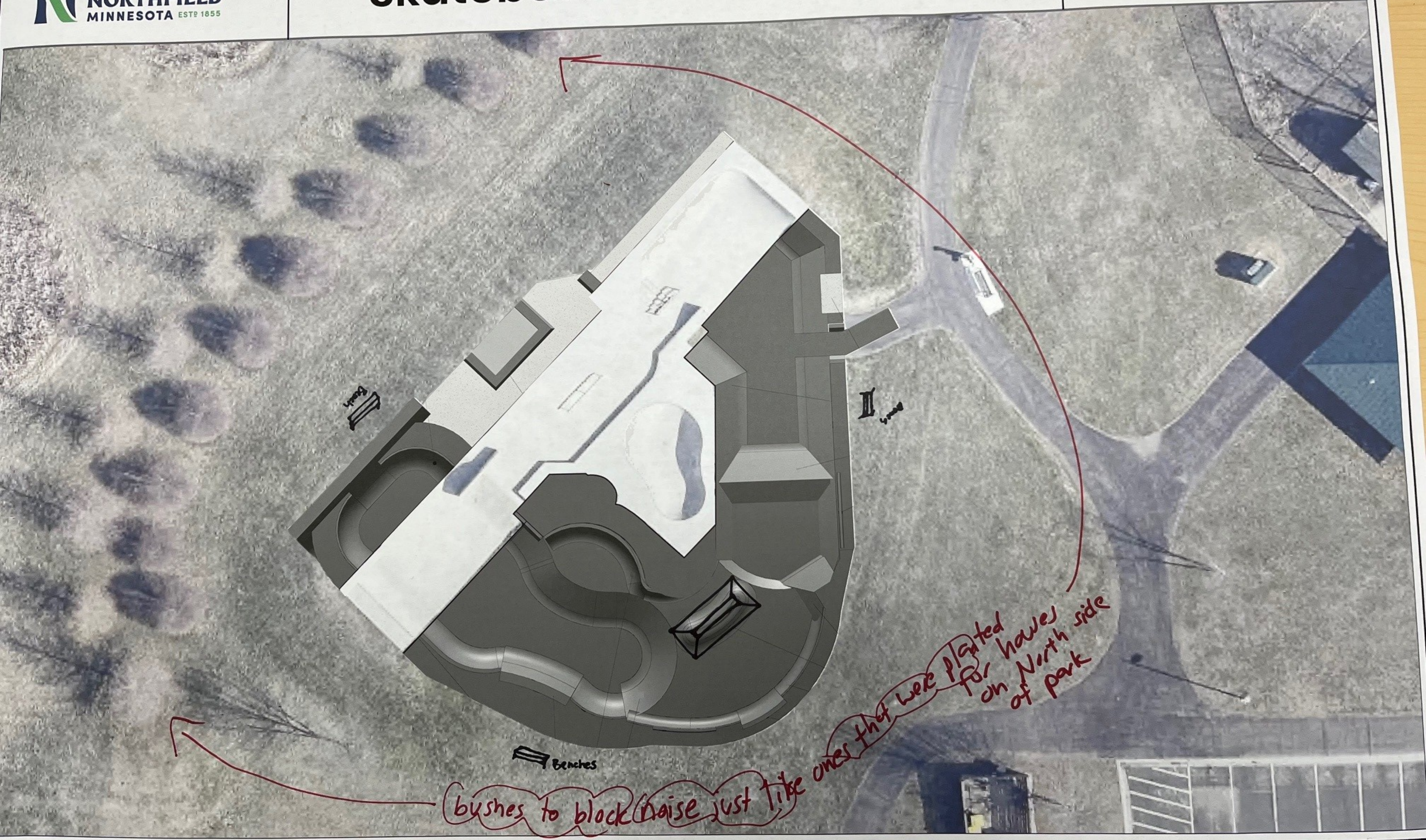
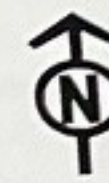
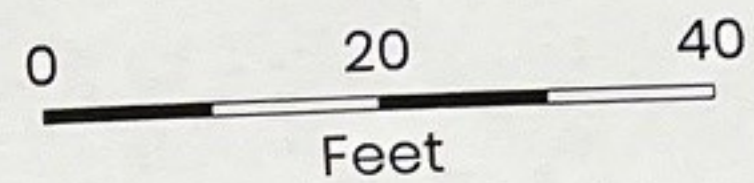
Public Bathroom? when pool closed?

SHAPE/paths especially near pool

HOW TO SLOW TRAFFIC?

8TH

Skateboard Park - Phase II



Benches

Benches

Benches

bushes to block noise just like ones that were planted for hedges on North side of park



Legislation Text

File #: 26-360, Version: 1

City Council Meeting Date: July 7, 2026

To: Mayor and City Council

From: Ben Martig, City Administrator

City Administrator's Update.

Summary Report:

Please see the following

- [Upcoming Agenda Items List](#).
See attachment #1

Alternative Options:

N/A

Financial Impacts:

N/A

Tentative Timelines:

N/A



City of Northfield

Upcoming Agenda Items

City Hall
801 Washington Street
Northfield, MN 55057
northfieldmn.gov

City Council

Tuesday, July 14, 2026

TMP 26-284 Consider Summary Publication of Ordinance No. 1095 Amending Section 4.1 of the Northfield City Charter.

Drafter: Peterson

Notes: Special Meeting #2 (5 min.); vote only

TMP 26-281 Consider Ordinance 1095 Amending Section 4.1 of the Northfield City Charter (Second Reading).

Drafter: Martig

Notes: Special Meeting #1 (5 min.)

TMP 26-389 2027-2028 Budget Worksession.

Drafter: Angelstad

Notes: Work Session #4 (90 min.)

TMP 26-530 Review of Broadband Franchising Option Related to Modernization of Cable Franchising and City Alternative Revenue Strategic Priority.

Drafter: Martig

Notes: Work Session #1 (30 min.)

TMP 26-540 Review the proposed 2027 Northfield Area Fire & Rescue Service Budget and Capital Equipment Plan and Related City of Northfield Fire Department 2027 Contribution.

Drafter: Martig

Notes: Work Session #2 (30 min.)

TMP 25-886 Review Fee Schedule Changes effective January 1, 2027.

Drafter: Peterson

Notes: Work Session #3 (15 min.)

Tuesday, July 21, 2026

TMP 25-887 Consider Approval of Temporary Liquor Licenses for the Defeat of Jesse James Days Committee.

Drafter: Peterson

Notes: consent

TMP 25-647 Consider approval of agreement with Post Consumer Brands. for Ames Mill Dam Ownership Transfer to the City of Northfield.

Drafter: Bennett

Notes: Regular #3 (15 min.)

TMP 26-483 Consideration of Summary Publication of Ordinance 1094 Related to the Vacation of the Drainage & Utility Easement within 2420 Bridgewater Ln.

Drafter: Schmidt

Notes: Consent

TMP 26-524 Consider Motion approving the Sibley Swale Park Improvement Plan.

Drafter: Tussing

Notes: Regular (15 min)

TMP 26-525 Consider Motion approving the Oddfellows Park Improvement Plan.

Drafter: Tussing

Notes: Regular #1 (15 min)

TMP 26-413 Consider Approval of Agreement with MnDOT for Railroad Crossing Signal Improvement at Third Street, Second Street, and St. Olaf Avenue.

Drafter: Bennett

Notes: Consent

TMP 26-568 Consider Approving Disbursements totaling \$

Drafter: Grant

Notes: consent

TMP 26-576 Consider Approval of a Temporary Liquor License for The Meetinghouse LLC dba Chapel Brewing for September 17, 2026 for the Friends of Downtown Northfield Third Thursday Event.

Drafter: Peterson

Notes: Consent

TMP 26-551 Consider Resolution Proclaiming July 30th through August 2nd, 2026 as "Vintage Band Festival Week" in Northfield, Minnesota.

Drafter: Martig

Notes: consent

- TMP 26-558** Consideration of the Development Agreement Resolution for Harvest Hills Second Addition.
Drafter: Schmidt
Notes: Consent
- TMP 26-559** Consideration of a Resolution Approving a Final Plat for Harvest Hills Second Addition.
Drafter: Schmidt
Notes: Consent
- TMP 26-561** Consider Resolution for Working Group Committee.
Drafter: Martig
Notes: Regular #5 (10 min.)
- TMP 26-477** Consider Resolution Providing for the Issuance and Sale of \$_____ General Obligation Street Reconstruction and Equipment Bonds, Series 2026A.
Drafter: Bennett
Notes: Regular #4 (___ min.)
- TMP 26-407** Consider Resolution Accepting Public Improvements and Approving Final Payment for the 2024 College Street and Water Street Areas Reconstruction Project (STR2024-A77).
Drafter: Simonson
Notes: Consent
- TMP 26-179** Consider Approval of Sale of Property at 1600 Riverview Ln by Northfield Hospital + Clinics.
Drafter: Bennett
Notes: #1 Immediately Following Public Hearing #1 (5 min.)
- TMP 26-185** Consider Approval of Grant Contract Agreement with the State of Minnesota for Local Housing Trust Fund Grant (2025) in the Amount of \$150,000.
Drafter: Hanson
Notes: consent
- TMP 26-509** Consider Resolution Approving MnDOT Railroad Crossing Signal Agreement for the Railroad Crossing Gate Improvements at Second Street, Third Street and St. Olaf Avenue.
Drafter: Simonson

Notes: Consent

TMP 26-548 Consider Joint Resolution between the City of Dundas and the City of Northfield for the Detachment and Annexation of Part of 2420 Bridgewater Ln.

Drafter: Schmidt

Notes: consent

TMP 26-549 Consider a Drainage, Utility, Use & Maintenance Agreement for Property Located as Part of the Dundas Commons Final Plat.

Drafter: Schmidt

Notes: consent

TMP 25-846 Consider Resolution approving Contract with the State of Minnesota for the Reconstruction of the Mill Towns State Trail in Sechler Park.

Drafter: Bennett

Notes: consent

Ord. 1094 Consider Second Reading of Ordinance 1094 Vacating a Drainage and Utility Easement within 2420 Bridgewater Ln.

Drafter: Schmidt

Notes: consent

TMP 26-141 City Administrator's Update.

Drafter: Martig

Notes: update

TMP 26-177 Public Hearing on Sale of Property in at 1600 Riverview Ln (Northfield Hospital + Clinics)

Drafter: Bennett

Notes: Public Hearing #1 (5 min.)

TMP 25-893 Age Friendly Northfield (AFN) Mid-Year Presentation.

Drafter: Martig

Notes: Presentation #1 (10 min.); confirmed 5/4/26

TMP 25-768 Consider Approval of July 7, 2026 City Council Meeting Minutes.

Drafter: Peterson

Notes: consent

TMP 25-769 Consider Approval of July 14, 2026 City Council Work Session Minutes.

Drafter: Peterson

Notes: consent

Monday, August 3, 2026

TMP 26-550 Consideration of Resolution Ordering Preparation of Feasibility Report for the 2027 Reclamation Project.

Drafter: Simonson

Notes: Consent

TMP 26-003 First Reading of Ordinance to Amend Chapter 34: Land Development Code: Article 5. Subdivision of Land. 5.26 Parks, Trails and Open Space Dedication Related to Park & Trail Dedication Fees.

Drafter: Schmidt

Notes: Regular #__ (___ min.)

TMP 25-958 City Administrator's Update.

Drafter: Martig

Notes: update

TMP 25-770 Consider Approval of July 21, 2026 City Council Meeting Minutes.

Drafter: Peterson

Notes: consent

Tuesday, August 18, 2026

TMP 26-152 Discuss Safe Streets and Roads for All (SS4A) Planning RFP- Scope of Services.

Drafter: Bennett

Notes: #1 (___ min.)

TMP 26-390 2027-2028 Budget Worksession.

Drafter: Angelstad

Notes: #2 (___ min.)

Tuesday, August 25, 2026

TMP 26-006 Summary Publication Notice for the Text Amendment to Park Dedication Fees.

Drafter: Schmidt

Notes: consent

- TMP 26-571** Public Hearing Related to Resolution for Modified, Amended and Restated Resolution of the Economic Development Authority (EDA).
Drafter: Martig
Notes: Public Hearing #1 (10 min)
- TMP 26-569** Consider Resolution for Modified, Amended and Restated Resolution of the Economic Development Authority (EDA).
Drafter: Martig
Notes: Immediately following Public Hearing #1
- TMP 26-513** Public Hearing for Wellhead Protection Plan Part 2 Update.
Drafter: Wagner
Notes: Public Hearing #2 (__ min.)
- TMP 26-005** Second Reading of Ordinance to Amend the Text Related to Park & Trail Dedication Fees.
Drafter: Schmidt
Notes: Consent
- TMP 26-573** Consider First Reading of Ordinance 10XX Amending City Code Chapter 2, Related to City Boards and Commissions (Modification of Boards/Commissions).
Drafter: Martig
Notes: Consent
- TMP 26-143** City Administrator's Update.
Drafter: Martig
Notes: update
- TMP 26-191** 2026 Second Quarter Financial & Investment Updates
Drafter: Angelstad
Notes: consent
- TMP 25-771** Consider Approval of August 3, 2026 City Council Meeting Minutes.
Drafter: Peterson
Notes: consent
- TMP 25-772** Consider Approval of August 18, 2026 City Council Meeting Minutes.
Drafter: Peterson

Notes: consent