

City of Northfield

*City Hall
801 Washington Street
Northfield, MN 55057
northfieldmn.gov*



Meeting Agenda

Wednesday, July 1, 2026

6:00 PM

Council Chambers

Heritage Preservation Commission

6:00 PM - REGULAR AGENDA CALL TO ORDER AND ROLL CALL

APPROVAL OF AGENDA

APPROVAL OF MINUTES

1. [26-338](#) June 3, 2026 HPC Meeting Minutes

Attachments: [06-03-2026 HPC Meeting Minutes](#)

OPEN PUBLIC COMMENT

Persons may take one opportunity to address the Board/Commission for two (2) minutes (not including interpreter's time) on any topic, even if on the agenda, with the condition that they may not speak on the same item later in the meeting. No notification of the Chair is required. However, speakers are asked to complete a sign up card. Persons wanting a response to a question must submit the question in writing to the recording secretary. Questions must include name and information on how to contact. You may use the back side of the comment cards available in the meeting room. Persons cannot gift their 2 minute speaking time to other members of the public.

BOARD MEMBER AND COMMISSIONER REPORTS

REGULAR AGENDA

Persons that wish to speak on a regular agenda item must provide name and address by completing & submitting a sign up card. Persons may also contact the staff liaison via the City's website no later than 12:00 noon on the day of the meeting. The Chair will call up individuals to speak, based on preregistration and cards submitted, after the staff report on an item. Please be respectful of the public's and the Commission's time. Members of the public wishing to speak must adhere to the following guidelines:

- *Speak only once for no more than two minutes (not including interpreter's time) on the topic unless the speaker is addressed by the Commission;*
- *Identify your relationship to the topic;*
- *Have a spokesperson or two for your group to present your comments;*
- *Persons wanting a response to a question must submit the question in writing to the recording secretary, including name and how you would like to be contacted.*

2. [BC 26-006](#) Motion to Confirm 30% Construction Drawings are Consistent with the Project Proposed at the June 3, 2026, Heritage Preservation Commission Meeting for New Construction at 212 Division Street South - The Archer House Redevelopment.

Attachments: [1 - HPC Resolution 2026-006](#)
[2 - Exhibit A Scope of Work](#)
[3 - Exhibit B Findings of Fact](#)
[4 - 30% Construction Drawings](#)
[5 - 6-23-2026 RENDERINGS](#)
[6 - Comparison Slides](#)
[7 - Hyperlink to June 3, 2026 COA Discussion](#)

STAFF UPDATES

3. [26-339](#) Staff Updates.

Attachments:

- [1 - Upcoming Council Agenda Items](#)
- [2 - 2026 Board and Commission Schedule](#)
- [3 - Hyperlink to Northfield Construction & Development Projects](#)
- [4 - Hyperlink to Maryland Department of Planning Webinars](#)
- [5 - Hyperlink to the Zoning Code Update Website](#)
- [6 - Hyperlink to NAPC Forum Conference Information](#)
- [7 - Sign Drawing Modern Therapeutics](#)

ADJOURNMENT



Legislation Text

File #: 26-338, Version: 1

Heritage Preservation Commission Meeting Date: July 1, 2026

To: Members of the Heritage Preservation Commission

From: Matt Bailey, Meeting Associate

..Title

June 3, 2026 HPC Meeting Minutes

..Body

Action Requested:

Please review the June 3, 2026 HPC Meeting Minutes and approve or approve with amendments.

Summary Report:

N/A

City Plans & Policies Relevance:

N/A

Alternative Options:

N/A

Financial Impacts:

N/A

Tentative Timelines:

N/A



City of Northfield

City Hall
801 Washington Street
Northfield, MN 55057
northfieldmn.gov

Meeting Minutes - Draft Heritage Preservation Commission

Wednesday, June 3, 2026

6:00 PM

Council Chambers

6:00 PM - REGULAR AGENDA CALL TO ORDER AND ROLL CALL

Chair Beimers called the meeting to order at 6:01 p.m.

Present: 6 - Commissioner Baird Jarman, Commissioner Clifford Clark, Commissioner Robert Stangler, Chair Sarah Beimers, Commissioner Aaron Street and Commissioner Larry Tolle

Absent: 1 - Commissioner Amy Machacek Shonka

Also present: Mathias Hughey, Associate Planner; Matt Bailey, Meeting Associate; Astrid White, Youth Representative

APPROVAL OF AGENDA

A motion was made by Commissioner Clark, seconded by Commissioner Street, to approve the agenda. The motion carried by the following vote:

Yes: 6 - Commissioner Jarman, Commissioner Clark, Commissioner Stangler, Chair Beimers, Commissioner Tolle, and Commissioner Street

APPROVAL OF MINUTES

1. [26-297](#) May 6, 2026 HPC Meeting Minutes

Attachments: [1 - May 6, 2026 HPC Meeting Minutes](#)

A motion was made by Commissioner Street, seconded by Commissioner Clark, to approve the May 6, 2026 HPC Meeting Minutes as amended to correct the titles of members in votes after the election. The motion carried by the following vote:

Yes: 6 - Commissioner Jarman, Commissioner Clark, Commissioner Stangler, Chair Beimers, Commissioner Tolle, and Commissioner Street

OPEN PUBLIC COMMENT

No public comment was received.

BOARD MEMBER AND COMMISSIONER REPORTS

No Board and Commissioner reports were received.

REGULAR AGENDA

2. [HPC Res. 2026-005](#) Certificate of Appropriateness for Window and Door Replacement at 411-413 Division St. S. - the Hamre Building.

Attachments: [1 - HPC Resolution](#)
[2 - Exhibit A Scope of Work](#)
[3 - Exhibit B Findings of Fact](#)
[4 - Historic Survey File](#)
[5 - Existing Conditions Photos](#)

Associate Planner Mathias Hughey presented the application for a Certificate of Appropriateness for Window and Door Replacement at 411-413 Division Street South - the Hamre Building. Hughey and a representative of the applicant, REO Properties LLC, responded to questions and comments from the HPC regarding materials and placement of the windows.

A motion was made by Commissioner Jarman, seconded by Commissioner Stangler, to approve the Certificate of Appropriateness for Window and Door Replacement at 411-413 Division Street South - the Hamre Building. The motion carried by the following vote:

Yes: 6 - Commissioner Jarman, Commissioner Clark, Commissioner Stangler, Chair Beimers, Commissioner Tolle, and Commissioner Street

3. [HPC Res. 2026-006](#) Certificate of Appropriateness for New Construction at 212 Division Street South - The Archer House Redevelopment.

Attachments: [1 - HPC Resolution](#)
[2 - Exhibit A Scope of Work](#)
[3 - Exhibit B Findings of Fact](#)
[4 - Renderings](#)
[5 - Archer House Redevelopment Narrative](#)
[6 - Archer Floor Plans](#)
[7 - Final Consultant and Subcommittee Memo](#)
[8 - Hyperlink to May Presentation](#)

Associate Planner Mathias Hughey presented the application for a Certificate of Appropriateness for New Construction at 212 Division Street South - The Archer House Redevelopment. Hughey provided an overview of the history of this project and the requirements for the structure already set by the City. Scott Quiring, Partner at Amcon Construction, presented updated renderings of the design. Hughey, City Planner Mikayla Schmidt, Community Development Director Scott Wopata, and Quiring responded to questions and comments from the HPC regarding the setback of and variations in the facade, the color of the brick, the riverside (rear) facade and patio, on-street parking, and the visual verticality of the facade. Molly Maguire, Associate Director at New History, consultants on the design, provided background on the historical appropriateness of the proposed design and the agreements on the design reached by City staff, the HPC subcommittee, and New History.

A motion was made by Commissioner Jarman, seconded by Commissioner

Street, to extend the meeting by 30 minutes. The motion carried by the following vote:

Yes: 6 - Commissioner Jarman, Commissioner Clark, Commissioner Stangler, Chair Beimers, Commissioner Tolle, and Commissioner Street

A motion was made by Commissioner Stangler, seconded by Commissioner Jarman, to extend the meeting until 8:30 p.m. The motion carried by the following vote:

Yes: 6 - Commissioner Jarman, Commissioner Clark, Commissioner Stangler, Chair Beimers, Commissioner Tolle, and Commissioner Street

A motion was made by Commissioner Clark, seconded by Commissioner Stangler, to approve a condition to the Certificate of Appropriateness for New Construction at 212 Division Street South - The Archer House Redevelopment that a matte finish paint be applied to the rooftop mechanical enclosures to reduce reflection. The motion carried by the following vote:

Yes: 5 - Commissioner Jarman, Commissioner Clark, Commissioner Stangler, Chair Beimers and Commissioner Tolle

Abstained: 1 - Commissioner Street

A motion was made by Commissioner Stangler, seconded by Commissioner Clark, to approve a condition to the Certificate of Appropriateness for New Construction at 212 Division Street South - The Archer House Redevelopment that the exterior red brick feature a consistent shade with minimal variegation to better match the historic district. The motion carried by the following vote:

Yes: 5 - Commissioner Jarman, Commissioner Clark, Commissioner Stangler, Chair Beimers and Commissioner Tolle

Abstained: 1 - Commissioner Street

A motion was made by Commissioner Stangler, seconded by Commissioner Clark, to approve a condition to the Certificate of Appropriateness for New Construction at 212 Division Street South - The Archer House Redevelopment that round-top windows be added back into the design for the top level of the west (river-facing) facade. The motion carried by the following vote:

Yes: 5 - Commissioner Jarman, Commissioner Clark, Commissioner Stangler, Chair Beimers and Commissioner Tolle

Abstained: 1 - Commissioner Street

A motion was made by Chair Jarman, seconded by Commissioner Street, to extend the meeting until the conclusion of business. The motion carried by the following vote:

Yes: 6 - Commissioner Jarman, Commissioner Clark, Commissioner Stangler, Chair Beimers, Commissioner Tolle, and Commissioner Street

A motion was made by Commissioner Clark, seconded by Commissioner Stangler, to a condition to the Certificate of Appropriateness for New Construction at 212 Division Street South - The Archer House Redevelopment that the color of the ground-floor rusticated stone be differentiated to extend the verticality of the building to visually break up the building's large horizontal

mass. The motion carried by the following vote:

Yes: 5 - Commissioner Jarman, Commissioner Clark, Commissioner Stangler, Chair Beimers and Commissioner Tolle

Abstained: 1 - Commissioner Street

A motion was made by Commissioner Clark, seconded by Commissioner Stangler, to approve the Certificate of Appropriateness for New Construction at 212 Division Street South - The Archer House Redevelopment as amended to include the four conditions approved by the HPC. The motion carried by the following vote:

Yes: 5 - Commissioner Jarman, Commissioner Clark, Commissioner Stangler, Chair Beimers and Commissioner Tolle

Abstained: 1 - Commissioner Street

STAFF UPDATES

4. [26-298](#) Staff Updates.

Attachments: [1 - Upcoming Council Agenda Items](#)
[2 - 2026 Board and Commission Schedule](#)
[3 - Hyperlink to Northfield Construction & Development Projects](#)
[4 - Hyperlink to Maryland Department of Planning Webinars](#)
[5 - Hyperlink to the Zoning Code Update Website](#)
[6 - Hyperlink to NAPC Forum Conference Information](#)

Associate Planner Mathias Hughey provided updates from City staff.

ADJOURNMENT

Chair Beimers adjourned the meeting at 8:59 p.m.



Legislation Text

File #: BC 26-006, Version: 1

Heritage Preservation Commission Meeting Date: July 1, 2026

To: Members of the Heritage Preservation Commission

From: Mathias Hughey, Associate City Planner

..Title

Motion to Confirm 30% Construction Drawings are Consistent with the Project Proposed at the June 3, 2026, Heritage Preservation Commission Meeting for New Construction at 212 Division Street South - The Archer House Redevelopment.

..Body

Action Requested:

The Heritage Preservation Commission (HPC) is asked to review the 30% construction drawings for new construction at 212 Division Street South - The Archer House Redevelopment, and confirm by a motion that the 30% construction drawings match the project presented and satisfy the conditions of the Certificate of Appropriateness (COA) approved at the June 3, 2026, HPC meeting.

Summary Report:

The applicant, Rebound Real Estate, received a COA for a proposed infill project at 212 Division St. S., the site of the former Archer House, at the June 3, 2026, HPC meeting. That COA was approved with conditions, including the condition that when 30% construction drawings were complete, the HPC would review them to ensure consistency with the illustrations of the project the approval had been based on.

The applicant has completed 30% construction drawings and is providing updated renderings to clarify and illustrate compliance with the other conditions included in the original COA.

Once approved, the 30% construction drawings will be incorporated into the scope of work (Exhibit A) of the original COA.

The original COA with conditions is included as an attachment for reference.

The applicant has added arched windows to the 4th story of the north and south side facades. The HPC included a condition that arched windows be installed on the 4th story of the west rear facade but did not specify that the side facades must have flat-top windows. The applicant felt that arched windows on the side facades offered architectural consistency, improving the overall cohesiveness of the project. The adjacent Nutting Block includes arched windows on the side facade. The HPC may accept the arched windows as consistent with the intent of the related condition without additional action.

The arches of the windows on the 4th story are taller than shown in the original renderings. The updated geometry is more similar to the arches on the windows of the adjacent Nutting Block.

The recessed entries along Division St are dimensioned at 3-feet deep. The previous floor plan did not include dimensions but appeared to show the entries set at 2-feet-deep. A 3-foot-deep recess allows the entry door to open without entering the public right-of-way (sidewalk). This recess depth is within the range of the downtown district, while addressing a relevant safety and accessibility issue.

A course of rock-faced stone was added just below the sign belt cornice on the rear facade. This matches the configuration of the front facade.

To satisfy the condition to slightly alter the tone of the rock-faced stone on the front facade the applicant selected a new supplier. The base color of the cast stone shifted from "limestone" to "tan" though any change in actual color is minimal.

The red-colored brick was previously identified as having a smooth finish, while the tan brick on the central bay was identified as having a velour finish. These textures have been switched.

Staff Recommendation

Staff have reviewed the changes with the applicant and the consultant and recommend that they are consistent with the HPC's original intent in approving the COA for the project.

Staff recommend the HPC:

Move to accept the 30% construction drawings as consistent with the approved project as present at the June 3, 2026, HPC meeting, and satisfying the conditions of the Certificate of Appropriateness issued for new construction at 212 Division Street South.

City Plans & Policies Relevance:

The City is committed to the preservation and enhancement of its historic downtown, and the value of this area culturally and economically is underscored in multiple plans and policies.

Alternative Options:

The HPC has approved the COA for this project. If the 30% construction drawings include any substantive changes which undermine the project's compliance with the findings, the HPC should note those, and direct the applicant to correct them.

Financial Impacts:

NA

Tentative Timelines:

June 3, 2026: HPC COA Preliminary Approval

June 18, 2026: Zoning Board of Appeals Hearing and Decision on Height Variance (approved)

June 18, 2026: Public Hearing and Planning Commission Recommendation on CUP for Off-Street Parking (PC recommended approval to City Council)

July 1, 2026: HPC verifies consistency of 30% construction drawings.

July 7, 2026: City Council Decision on CUP for Off-Street Parking

CITY OF NORTHFIELD, MINNESOTA
HERITAGE PRESERVATION COMMISSION RESOLUTION HPC #2026-006

A RESOLUTION BY THE HERITAGE PRESERVATION COMMISSION OF THE CITY OF
NORTHFIELD, MINNESOTA, APPROVING A CERTIFICATE OF APPROPRIATENESS
FOR 212 DIVISION ST. S.

WHEREAS, the applicant, Rebound Real Estate (the “Applicant”), is seeking a Certificate of Appropriateness (“COA”) from the City of Northfield Heritage Preservation Commission (“HPC” or “Commission”) for new construction as more particularly described in Exhibit A, which is attached hereto and incorporated herein by reference (the “Work”), for certain property owned by Manawa, LLC located at 212 Division St. S. in the City of Northfield (the “Property”); and

WHEREAS, the Property is located within a designated historic district, the Northfield Commercial Historic District, a locally designated district and a district on the National Register of Historic Places; and

WHEREAS, according to Northfield City Code (the “City Code”), Chapter 34, Section 8.5.8 (A), unless otherwise exempted in Section 7.8.3 or unless otherwise provided in Section 8.5.8, a COA is required for construction, exterior alteration or rehabilitation, moving or demolition of a building or structure on a city-owned or privately owned heritage preservation site; and

WHEREAS, according to City Code, Chapter 34, Section 8.5.8 (A), unless otherwise provided in City Code, no zoning certificate or building permit shall be issued before a COA has received approval; and

WHEREAS, according to City Code, Chapter 34, Section 8.5.8 (A)(1), the proposed Work is classified as Major Work requiring the Type 3 review procedure as established in Section 8.4.6, Type 3 Review Procedure (Heritage Preservation Commission Decision); and

WHEREAS, according to City Code, Chapter 34, Section 8.5.8 (D), for proposed new construction, as well as alteration, remodeling, rehabilitation, relocation or addition to an existing building, structure or historic object, the HPC, based upon the above review procedure, shall consider the following in evaluating an application for a COA, and shall make written findings regarding approval or denial of the same by resolution (Criterion (a) below must be met and criteria (b) through (g) shall be considered, if applicable to an application):

- (a) For all applications, the proposed action fully complies with all applicable requirements of this LDC;
- (b) That the proposed action is in harmony with the intent purpose of the H-O district for sites located in the H-O district;

- (c) That the proposed action would complement other structures within the H-O district for sites located in the H-O district;
- (d) That the proposed action is consistent with the Downtown Preservation Design Guidelines for sites located in the H-O district, and consistent with the Secretary of the Interior’s Standards for Treatment of Historic Properties for sites located within or outside the H-O district;
- (e) Consideration should be given to the amount and quality of original material and design remaining in the building or structure when applying criteria, guidelines and standards;
- (f) For new construction, the building or addition should be compatible with:
 - (i) scale, texture, materials, and other visual qualities of the surrounding buildings and neighborhoods;
 - (ii) the height, width, depth, massing and setback of the surrounding buildings; and
 - (iii) the amount of solid wall to window and door openings, and the replacement of window and door openings, should be proportional to that of the surrounding buildings and neighborhood; and
- (g) Consideration shall be given to clear cases of economic hardship or to deprivation of reasonable use of the owner's property.; and

WHEREAS, according to City Code, Chapter 34, Section 8.5.8 (D), the Applicant bears the burden of proof of meeting the foregoing criteria; and

WHEREAS, according to City Code, Chapter 34, Section 8.5.8 (E), this decision of the HPC shall be final unless timely appealed to the City Council by filing a written notice of appeal with the City Clerk no later than ten (10) days after the date of the HPC’s decision; and

WHEREAS, the Commission held a duly noticed public meeting on June 3rd, 2026, to consider testimony from the Applicant and the public regarding the COA, and has considered such testimony and reviewed the requested COA on the Property according to the above criteria.

NOW THEREFORE BE IT RESOLVED BY THE HERITAGE PRESERVATION COMMISSION OF THE CITY OF NORTHFIELD, MINNESOTA, that the Commission has duly considered the required criteria contained in City Code as applicable to the above-requested COA regarding the Property, and hereby adopts the findings of fact contained in the staff report regarding the same, which is attached hereto and incorporated herein by reference as Exhibit B, along with the above recitals hereto.

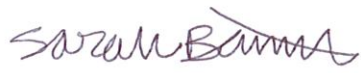
BE IT FURTHER RESOLVED that the requested COA is hereby approved based upon the above-referenced adopted findings, subject to the following conditions:

1. This approval is preliminary and based on the renderings and other information presented at the June 3, 2026 HPC meeting and incorporated here as Exhibit A. The preliminary approval will become final upon review and acceptance of 30%

construction drawings by the HPC, which will be incorporated into Exhibit A. Minor changes that may be required to construct the building will not be grounds for reversal of the preliminary approval.

2. All screening materials used on the rooftop will have a painted, enameled, powder-coated, or similar coating applied with a matte finish.
3. To better meet the compatibility standards specifically related to materials and colors, the material selection identified as "A" – Thin Brick #1 in color Desert Ironspot Dark in the material key will be revised to a selection with less or minimal variegation in tone and color.
4. To better meet the compatibility standards with regards to detailing, the upper-level windows on the rear façade shall have rounded or arched tops consistent with those proposed for the upper-level of the front façade.
5. To better meet the compatibility standards regarding the composition and proportions of the façade by providing additional emphasis to the vertical orientation of the building at the ground level, and a storefront rhythm more in line with the historic development patterns of the district, the materials identified as "B" - Cultured Stone with a smooth limestone finish, and "C" – Cultured Stone Band with a split limestone finish in the material key will be differentiated from one another through a slight shift in tone or shade. This change will only apply to the north and south bays of the front façade, and the material selection for the central bay and rear facade will remain unchanged.

PASSED by the Heritage Preservation Commission of the City of Northfield, this 3rd day of June 2026.



Chair



Member

VOTE: Y CLARK Absent MACHACEK SHONKA Y JARMAN
Y TOLLE Y STANGLER Y BEIMERS Abstain STREET

EXHIBIT A

SCOPE OF WORK

New construction as specified in the attached and incorporated documents.

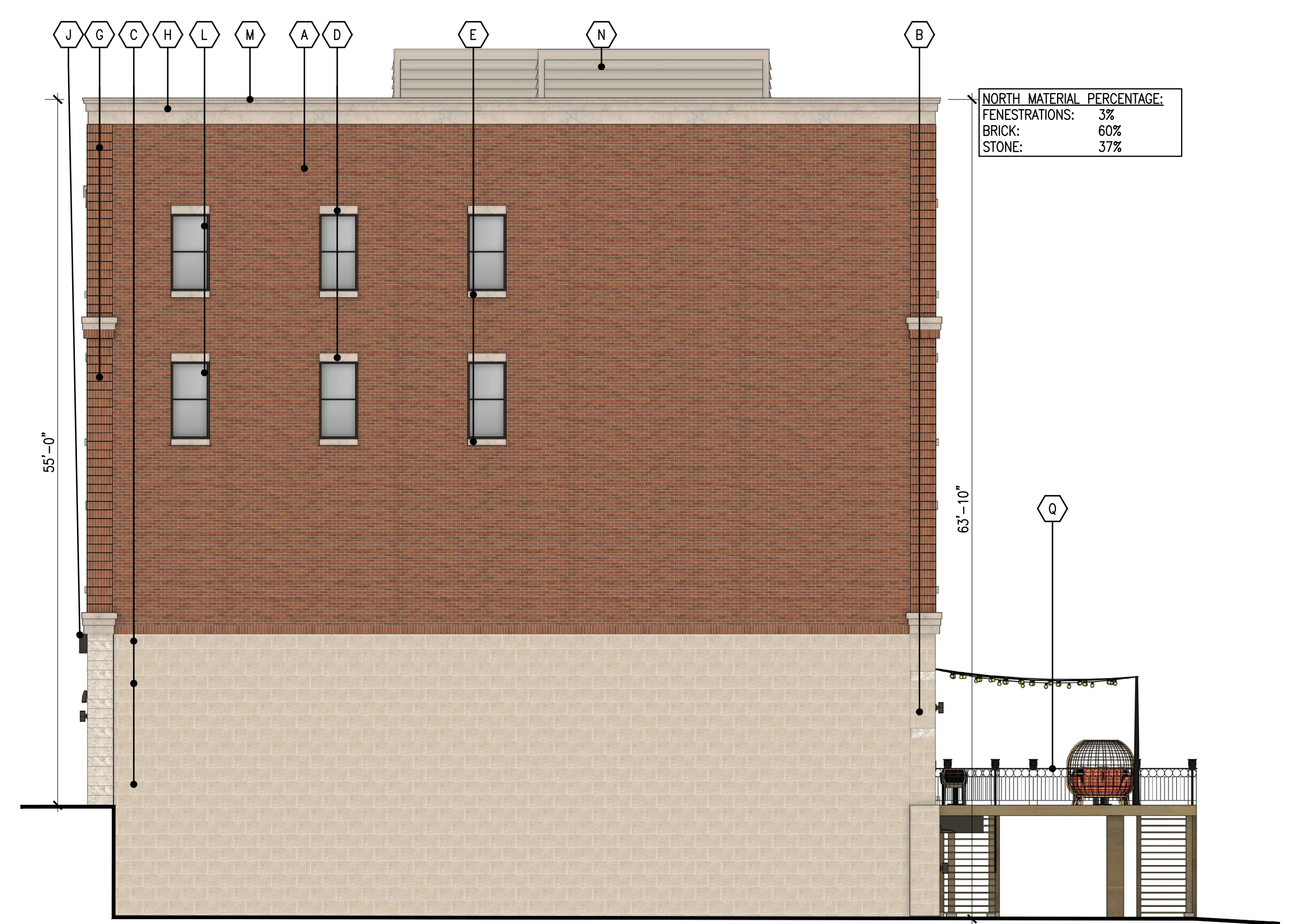
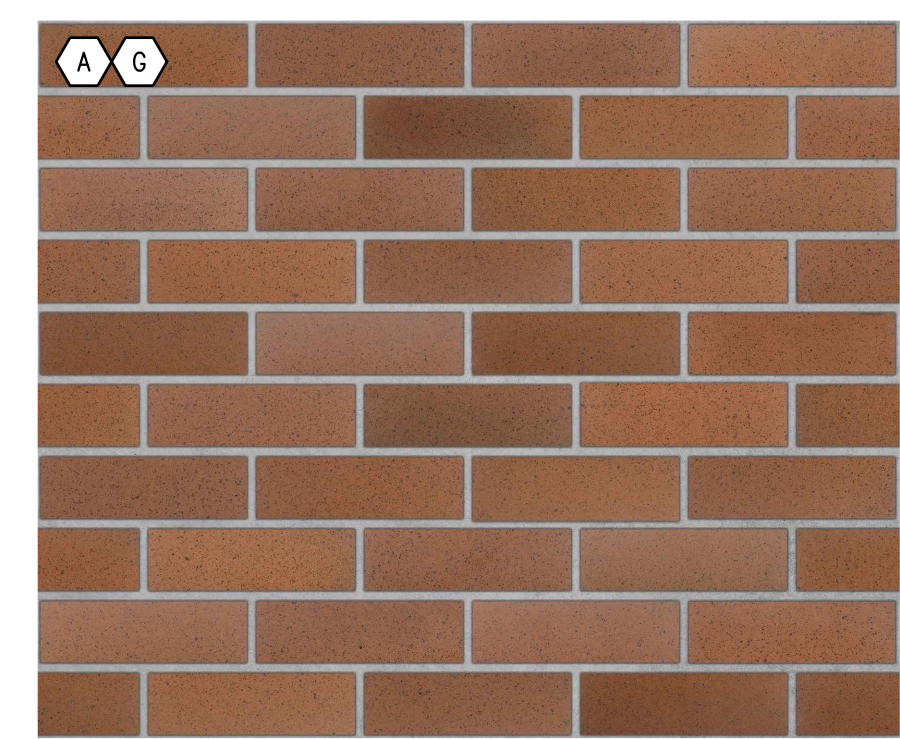
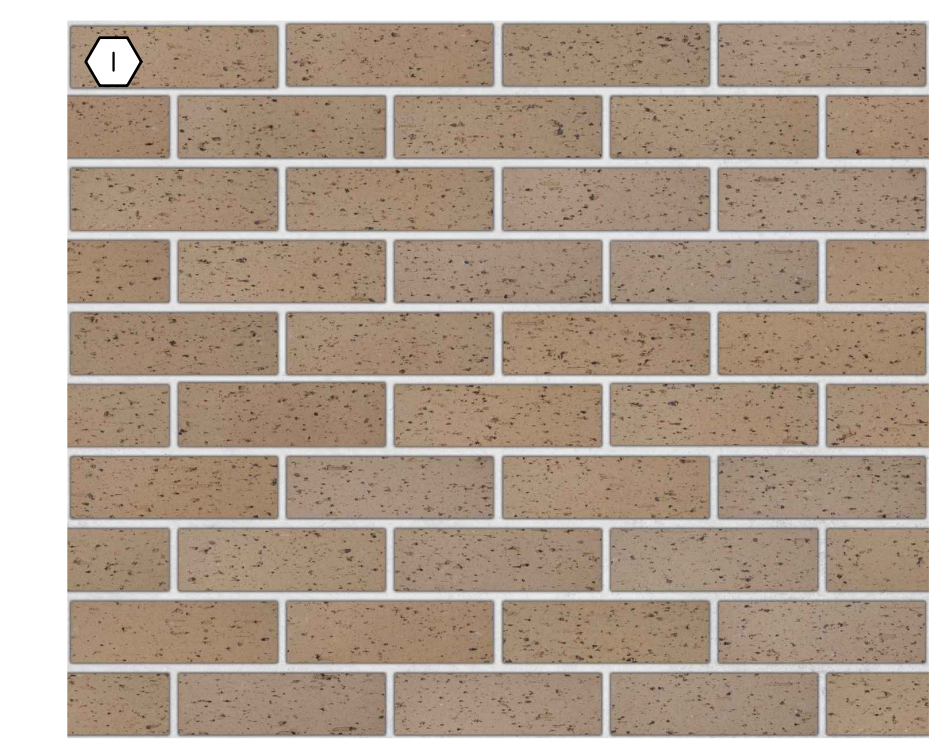
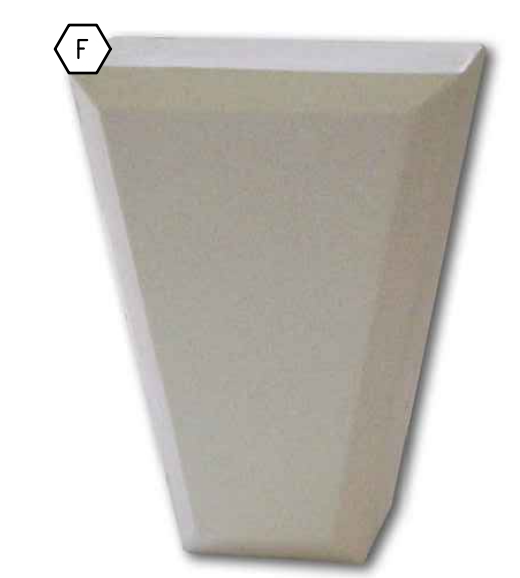
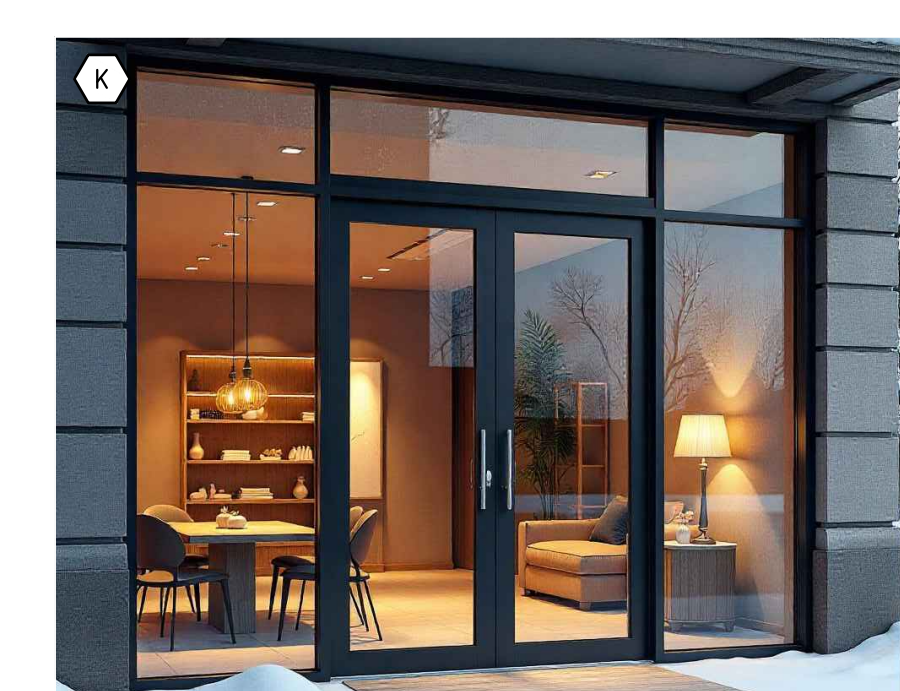
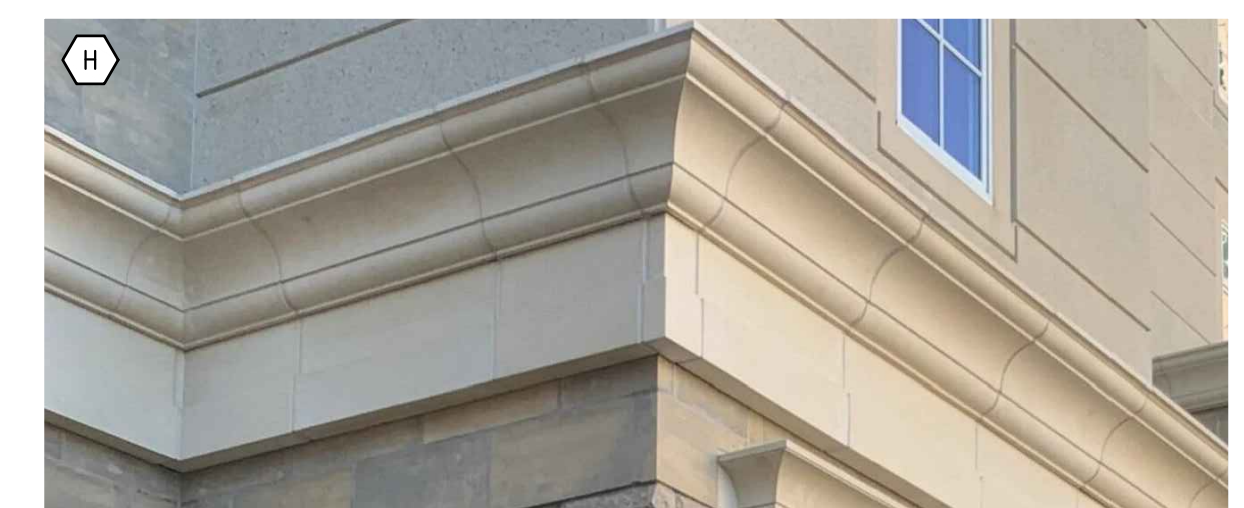


EAST MATERIAL PERCENTAGE:
 FENESTRATIONS: 26%
 BRICK: 43%
 STONE: 31%

MATERIAL KEYNOTES	
A THIN BRICK #1: MANUF: ENDICOTT PRODUCT: THIN BRICK COLOR: DESERT IRONSPOT DARK FINISH: SMOOTH	J ALUMINUM COMPOSITE MATERIAL EYEBROW: MANUF: ARCONIC PRODUCT: REYNOLDBOND COLOR: DEAP BLACK
B CULTURED STONE: MANUF: CORONADO PRODUCT: CLASSIC SERIES FINISH: SMOOTH LIMESTONE COLOR: CREAM	K ALUMINUM STOREFRONT SYSTEM: MANUF: OLDCASTLE (OR EQUAL) PRODUCT: SERIES 3000XT COLOR: BLACK
C CULTURED STONE BAND: MANUF: CORONADO PRODUCT: DESIGNER SERIES FINISH: SPLIT LIMESTONE COLOR: CREAM	L SINGLE HUNG WINDOW: MANUF: ANDERSEN PRODUCT: 100 SERIES COLOR: BLACK
D 8" PRECAST LINTEL: MANUF: ARRISCRAFT PRODUCT: CAMBRIDGE SILL COLOR: LIMESTONE FINISH: TBD	M PREFINISHED METAL CAP FLASHING: MANUF: CMG (OR EQUAL) COLOR: SANDSTONE
E 6" PRECAST LINTEL: MANUF: ARRISCRAFT PRODUCT: CAMBRIDGE SILL COLOR: LIMESTONE FINISH: TBD	N MECHANICAL SCREEN: MANUF: ENVISOR (OR EQUAL) PRODUCT: HORIZONTAL RIB COLOR: PUTTY
F ARCHED BRICK EYEBROW W/KEYSTONE: MANUF: ARRISCRAFT PRODUCT: ARRIS-CAST KEYSTONE COLOR: LIMESTONE FINISH: TBD	O INSULATED OVERHEAD GARAGE DOOR: MANUF: MIDLAND (OR EQUAL) COLOR: BLACK
G THIN BRICK #1 SOLIDER COURSE QUOINS: MANUF: ENDICOTT PRODUCT: THIN BRICK COLOR: DESERT IRONSPOT DARK FINISH: SMOOTH	P LIGHT FIXTURES: (SEE SITE LIGHTING PLAN) MANUF: TBD COLOR: BLACK
H PRECAST CORNICE: MANUF: ARRISCRAFT PRODUCT: ARRIS-CAST COLOR: LIMESTONE FINISH: TBD PROFILE: TBD	Q DECK SYSTEM: RAILING: BLACK SUBSTRUCTURE: BROWN TREATED DECKING: TREX (OR EQUAL)
I THIN BRICK #2: MANUF: ENDICOTT PRODUCT: THIN BRICK COLOR: LIGHT SANDSTONE FINISH: VELOUR	

1 EAST ELEVATION
A301

SCALE: 1/8" = 1'-0"



NORTH MATERIAL PERCENTAGE:
 FENESTRATIONS: 3%
 BRICK: 60%
 STONE: 37%

2 NORTH ELEVATION
A301

SCALE: 1/8" = 1'-0"

ISSUES / REVISIONS:	
SITE PLAN REVIEW	04.20.2026
HFC REVIEW	05.22.2026

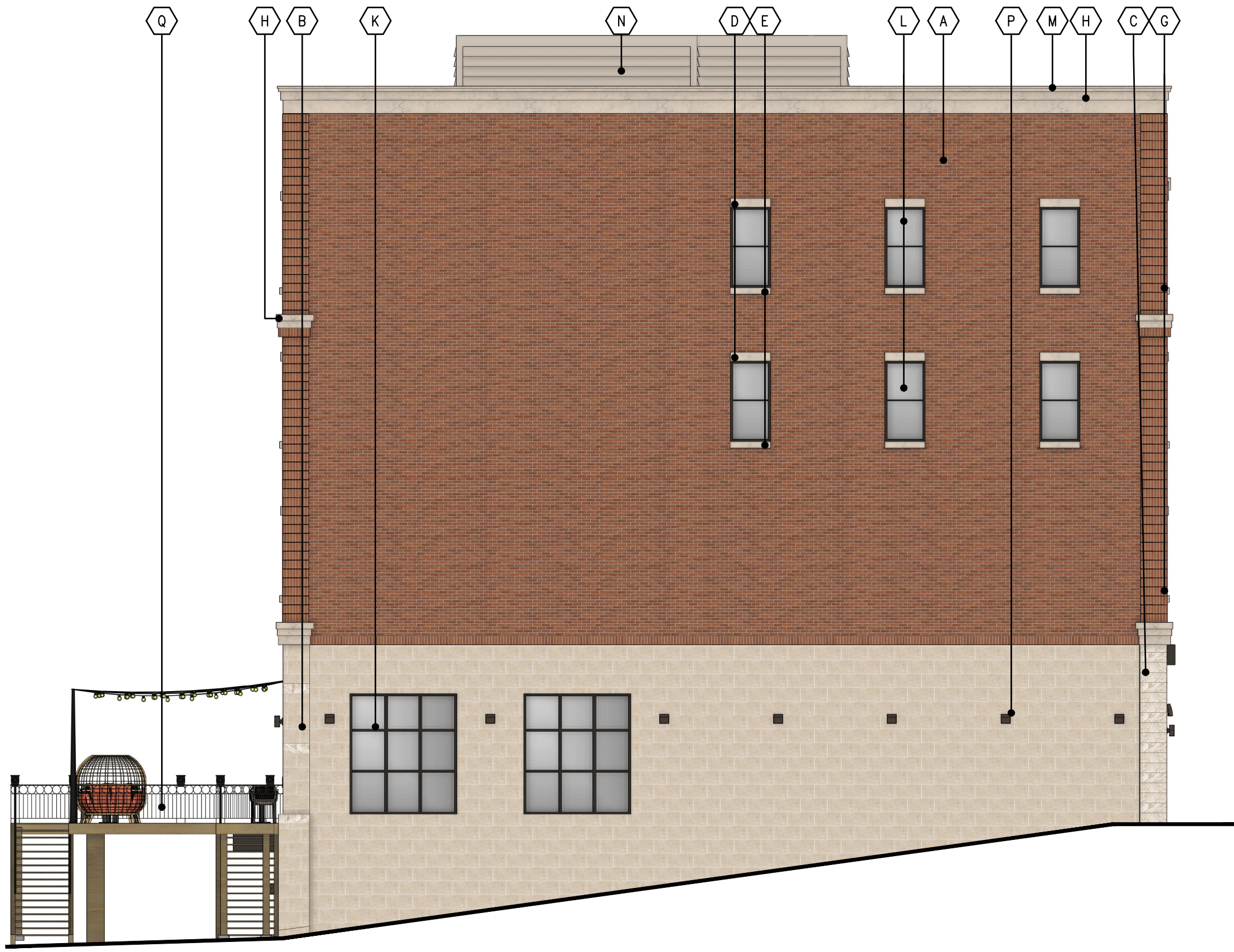


1 WEST ELEVATION
A302

WEST MATERIAL PERCENTAGE:
FENESTRATIONS: 21%
BRICK: 36%
STONE: 41%

MATERIAL KEYNOTES	
(A) THIN BRICK #1: MANUF: ENDICOTT PRODUCT: THIN BRICK COLOR: DESERT IRONSPOT DARK FINISH: SMOOTH	(J) ALUMINUM COMPOSITE MATERIAL EYEBROW: MANUF: ARCONIC PRODUCT: REYNOBOND COLOR: DEAP BLACK
(B) CULTURED STONE: MANUF: CORONADO PRODUCT: CLASSIC SERIES FINISH: SMOOTH LIMESTONE COLOR: CREAM	(K) ALUMINUM STOREFRONT SYSTEM: MANUF: OLDCASTLE (OR EQUAL) PRODUCT: SERIES 3000XT COLOR: BLACK
(C) CULTURED STONE BAND: MANUF: CORONADO PRODUCT: DESIGNER SERIES FINISH: SPLIT LIMESTONE COLOR: CREAM	(L) SINGLE HUNG WINDOW: MANUF: ANDERSEN PRODUCT: 100 SERIES COLOR: BLACK
(D) 8" PRECAST LINTEL: MANUF: ARRISCRAFT PRODUCT: CAMBRIDGE SILL COLOR: LIMESTONE FINISH: TBD	(M) PREFINISHED METAL CAP FLASHING: MANUF: CMG (OR EQUAL) COLOR: SANDSTONE
(E) 6" PRECAST LINTEL: MANUF: ARRISCRAFT PRODUCT: CAMBRIDGE SILL COLOR: LIMESTONE FINISH: TBD	(N) MECHANICAL SCREEN: MANUF: ENVISOR (OR EQUAL) PRODUCT: HORIZONTAL RIB COLOR: PUTTY
(F) ARCHED BRICK EYEBROW W/KEYSTONE: MANUF: ARRISCRAFT PRODUCT: ARRIS-CAST KEYSTONE COLOR: LIMESTONE FINISH: TBD	(O) INSULATED OVERHEAD GARAGE DOOR: MANUF: MIDLAND (OR EQUAL) COLOR: BLACK
(G) THIN BRICK #1 SOLIDER COURSE QUINS: MANUF: ENDICOTT PRODUCT: THIN BRICK COLOR: DESERT IRONSPOT DARK FINISH: SMOOTH	(P) LIGHT FIXTURES: (SEE SITE LIGHTING PLAN) MANUF: TBD COLOR: BLACK
(H) PRECAST CORNICE: MANUF: ARRISCRAFT PRODUCT: ARRIS-CAST COLOR: LIMESTONE FINISH: TBD PROFILE: TBD	(Q) DECK SYSTEM: RAILING: BLACK SUBSTRUCTURE: BROWN TREATED DECKING: TREX (OR EQUAL)
(I) THIN BRICK #2: MANUF: ENDICOTT PRODUCT: THIN BRICK COLOR: LIGHT SANDSTONE FINISH: VELOUR	

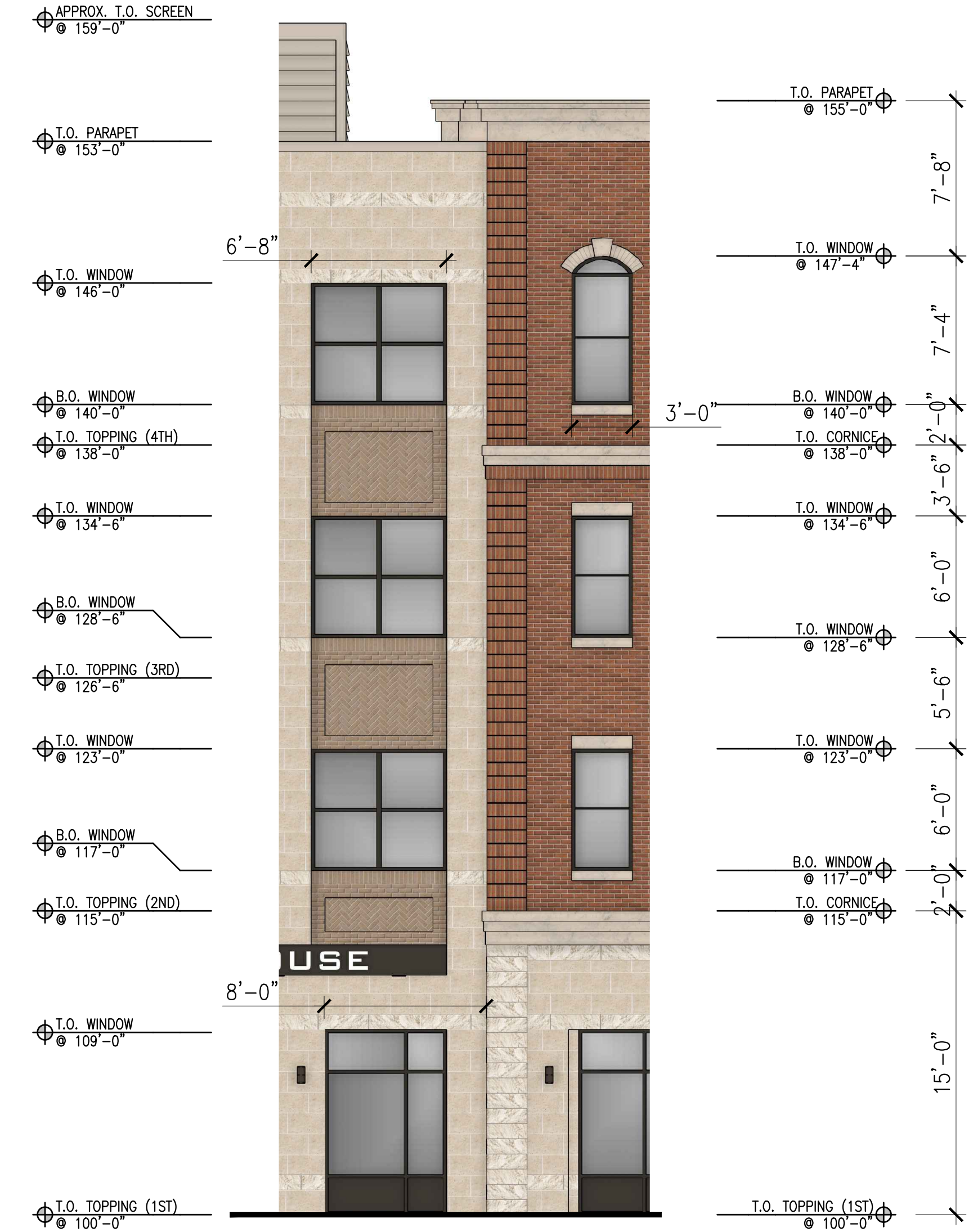
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
A302

SOUTH MATERIAL PERCENTAGE:
FENESTRATIONS: 7%
BRICK: 65%
STONE: 28%

SCALE: 1/8" = 1'-0"



3 PARTIAL ELEVATION
A302

SCALE: 3/16" = 1'-0"

ISSUES / REVISIONS:	
SITE PLAN REVIEW	04.20.2025
HFC REVIEW	05.22.2025

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: NOT FOR CONSTRUCTION JOSHUA D. WILDT
Expiration: 06-30-2026

License #: 57650
Date: 04-20-2026

PROJECT MANAGER
JOSH

DRAWN BY
L + J

PROJECT NAME
ARCHER HOUSE

NORTHFIELD
MINNESOTA

ISSUE LOG
04-20-2026 SUBMITTAL

PROJECT NUMBER

SHEET TITLE

LANDSCAPE PLAN

SHEET NUMBER

L101

LANDSCAPE PLANT LEGEND

DECIDUOUS TREES			
RB	2	RIVER BIRCH <i>Betula nigra</i>	MULTI STEM B&B 40'H x 30'W
PH	3	PRAIRIE HORIZON ALDER <i>Ainus hirsuta 'Harbin'</i>	2" CAL. B&B 35'H x 25'W
GM	7	ARMSTRONG GOLD MAPLE <i>Acer rubrum 'JFS-KW78'</i>	2" CAL. B&B 40'H x 12'W

EVERGREEN TREES			
CM	5	COLUMNAR TANNENBAUM <i>Pinus mugo 'Columnaris'</i>	36" HT B&B 8'H x 3'W

SHRUBS			
AJ	13	AMBER JUBILEE NINEBARK <i>Physocarpus opulifolius 'Jefam'</i>	#2 CONT. POT 5'H x 4'W
LL	9	LITTLE LIME HYDRANGEA <i>Hydrangea paniculata 'Jane'</i>	#3 CONT. POT 5'H x 5'W
BH	6	DWARF BUSH HONEYSUCKLE <i>Diervilla lonicera</i>	#2 CONT. POT 3'H x 3'W

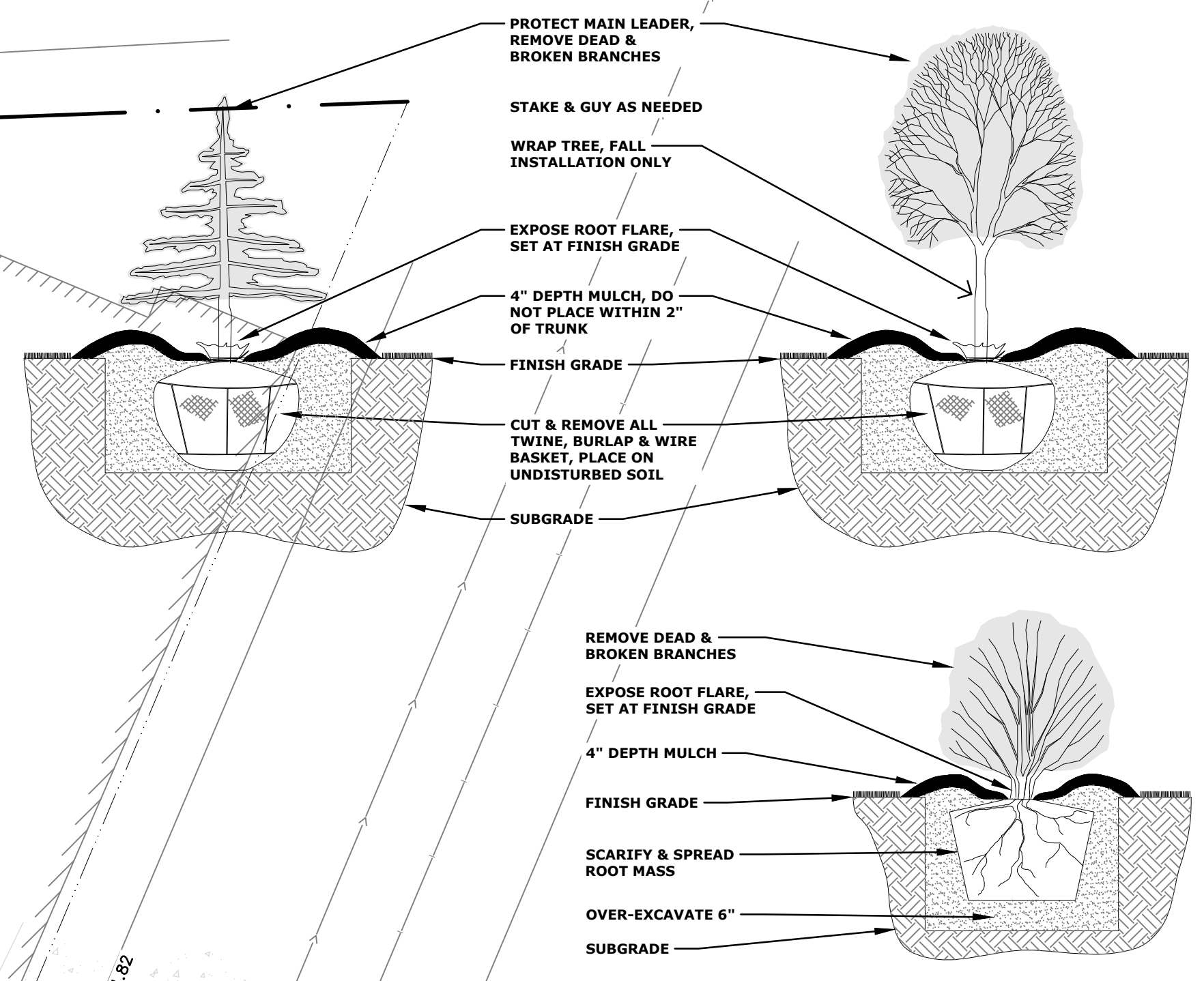
PERENNIALS			
RS	6	RUSSIAN SAGE <i>Salvia yangii</i>	#1 CONT. POT 4'H x 3'W
SE	12	AUTUMN FIRE <i>Sedum x 'Autumn Fire'</i>	#1 CONT. POT 1.5'H x 2'W
JW	6	JUNIOR WALKER CATMINT <i>Nepeta faassenii 'Junior Walker'</i>	#1 CONT. POT 1'H x 2'W

GROUNDCOVER		
--SY		MNDOT SEED MIX 25-131 - LOW MAINTENANCE TURF (OR APPROVED ALTERNATE).
--CY		UNDYED HARDWOOD MULCH
--CY		1-1/2" ROCK MULCH
--LF		METAL EDGING

RAIN GARDEN NOTES: NATIVE PLANTS, PLANTING AND TRANSPLANTING

- NATIVE PLANTING NOT TO BEGIN UNTIL PLANTING AREAS HAVE BEEN AMENDED AND PREPARED.
- PLANTING BEDS TO BE FREE FROM ALL WEEDS AND INVASIVE PLANT SPECIES.
- PLANT MATERIAL TO BE SPACED 18" O.C.
- ALL PLANT MATERIAL TO BE THOROUGHLY WATERED UPON INSTALLATION.
- GROUP PLANTINGS, MINIMUM OF 12 PLUGS PER SPECIES GROUPING.

BF	72	BLUE FLAG IRIS <i>Iris versicolor</i>	PLUG
SG	72	SHENANDOAH SWITCH GRASS <i>Panicum virgatum 'Shenandoah'</i>	PLUG
WC	72	WHITE CONEFLOWER <i>Echinacea purpurea alba</i>	PLUG
LB	72	LITTLE BLUE STEM <i>Schizachyrium scoparium</i>	PLUG
PB	72	PRAIRIE BLAZINGSTAR <i>Liatris ligulistylis</i>	PLUG
PC	72	PURPLE CONEFLOWER <i>Echinacea purpurea</i>	PLUG
PD	72	PRAIRIE DROPS EED <i>Sporobolus heterolepis</i>	PLUG
NA	72	NEW ENGLAND ASTER <i>Aster novae-angliae</i>	PLUG
JB	72	JOHNSON'S BLUE GERANIUM <i>Geranium x 'Johnson's Blue'</i>	PLUG
EB	72	ELIJAH BLUE FESCUE <i>Festuca ovina 'Elijah Blue'</i>	PLUG

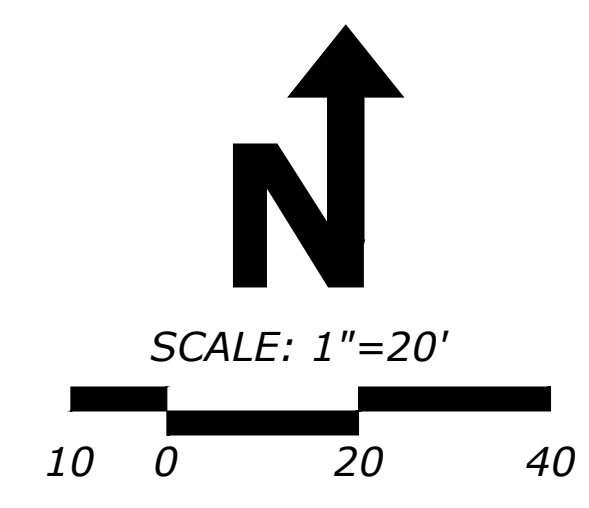
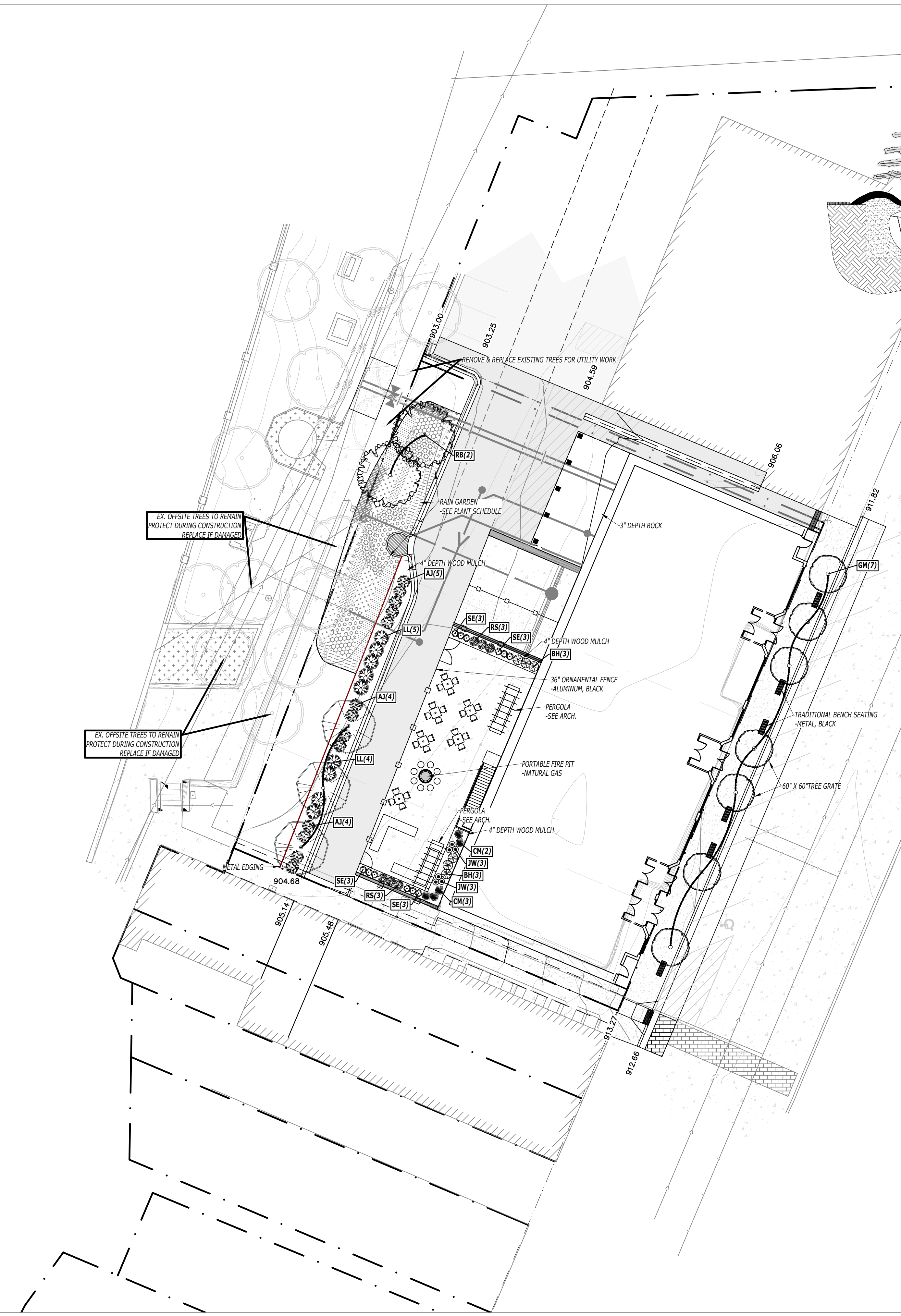


LANDSCAPE REQUIREMENTS

- ONE (1) STREET TREE PER 40' OF FRONTAGE
- 170' OF FRONTAGE = 5 TREES REQUIRED

LANDSCAPE NOTES:

- CONTRACTOR TO HAVE ALL UTILITIES ON SITE VERIFIED AND MARKED BEFORE STARTING WORK.
- CONTRACTOR IS LIABLE FOR ANY DAMAGE TO EXISTING UTILITIES ON SITE AND RESPONSIBLE FOR THE COSTS ASSOCIATED WITH REPAIRING/REPLACING DAMAGE.
- CONTRACTOR IS LIABLE FOR ALL DAMAGE RELATED TO CONTRACTORS ACTIVITY ON SITE AND RESPONSIBLE FOR THE COSTS ASSOCIATED WITH REPAIRING/REPLACING DAMAGE.
- OBTAIN ALL NECESSARY PERMITS FOR PLANTING IN ALL RIGHT-OF-WAY.
- COMPLETE WORK PER OWNERS CONSTRUCTION SCHEDULE AND COORDINATE WORK WITH OTHERS ON SITE.
- PLANT MATERIAL SHALL COMPLY WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND BE FREE OF DISEASE AND DAMAGE.
- ALL PLANT MATERIALS TO BE WARRANTIED ONE (1) FULL YEAR FROM THE COMPLETION AND ACCEPTANCE BY OWNER, WITH ONE TIME REPLACEMENT.
- WATER AND MAINTAIN ALL PLANT MATERIALS UNTIL ACCEPTED BY OWNER.
- IF THERE IS A DISCREPANCY BETWEEN THE QUANTITY OF PLANTS SHOW ON THE PLAN COMPARED TO THE PLANT LEGEND, THE PLAN TAKES PRECEDENCE.
- ALL AREAS DISTURBED DURING CONSTRUCTION TO RECEIVE 6" OF TOPSOIL AND SOD UNLESS OTHERWISE SPECIFIED ON PLANS.
- VERIFY TOPSOIL DEPTH AND NOTIFY OWNER OF ANY DEFICIENCY.
- REPLACEMENT TOPSOIL SHOULD BE CLEAN, FREE OF DEBRIS, SHARP OBJECTS, ROCKS AND WEEDS.
- ALL AREAS TO BE LANDSCAPED AND SODDED SHALL BE GRADED SMOOTH AND EVEN.
- SOD TO BE A KENTUCKY BLUEGRASS SEED VARIETY.
- NO GUARANTEE ON SOD EXCEPT SOD THAT IS NOT ACCEPTABLE AT TIME OF INSTALLATION.
- STAKE SOD ON SLOPES 3:1 AND GREATER.
- PROVIDE BLANKET ON ALL SEEDED AREAS THAT ARE SLOPED. MULCH APPLICATION FOR ALL OTHER SEEDED AREAS SHALL BE HYDROMULCH OR DISCED STRAW DEPENDING ON SEED TYPE.
- INSTALL BLACK METAL EDGING AROUND ALL PLANTING BEDS AS SHOWN ON PLAN.
- MULCH TO BE FINELY SHREDDED, UNDYED, HARDWOOD ORGANIC MULCH INSTALLED TO 4" DEPTH.
- NO WEED FABRIC BARRIER BENEATH ORGANIC MULCHES.
- TREES SHALL HAVE MULCH PULLED BACK 2" FROM BASE OF TRUNK.
- NO EDGING AROUND TREES OUTSIDE OF SHRUB BEDS.
- ROCK MULCH SHALL BE 1-1/2" DIAMETER WASHED RIVER ROCK INSTALLED TO 3" DEPTH WITH APPROVED WEED FABRIC BARRIER.
- SWEEP AND MAINTAIN ALL PAVEMENT AREAS AFTER LANDSCAPE INSTALLATION IS COMPLETE AND ACCEPTED BY OWNER, DAILY CLEANING TO BE COMPLETED IF REQUIRED BY THE MUNICIPALITY.



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: NOT FOR CONSTRUCTION JOSHUA D. WILDT
Expiration: 06-30-2026

License #: 57650
Date: 04-20-2026

PROJECT MANAGER
JOSH

DRAWN BY
L + J

PROJECT NAME
ARCHER HOUSE

NORTHFIELD
MINNESOTA

ISSUE LOG
04-20-2026 SUBMITTAL

PROJECT NUMBER

SHEET TITLE

GROUND COVER PLAN

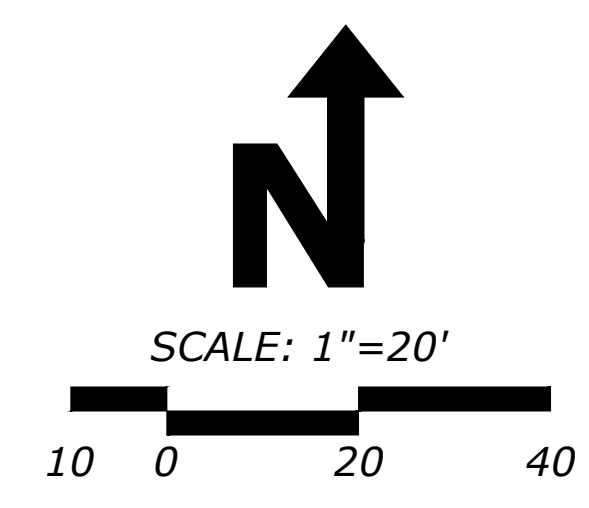
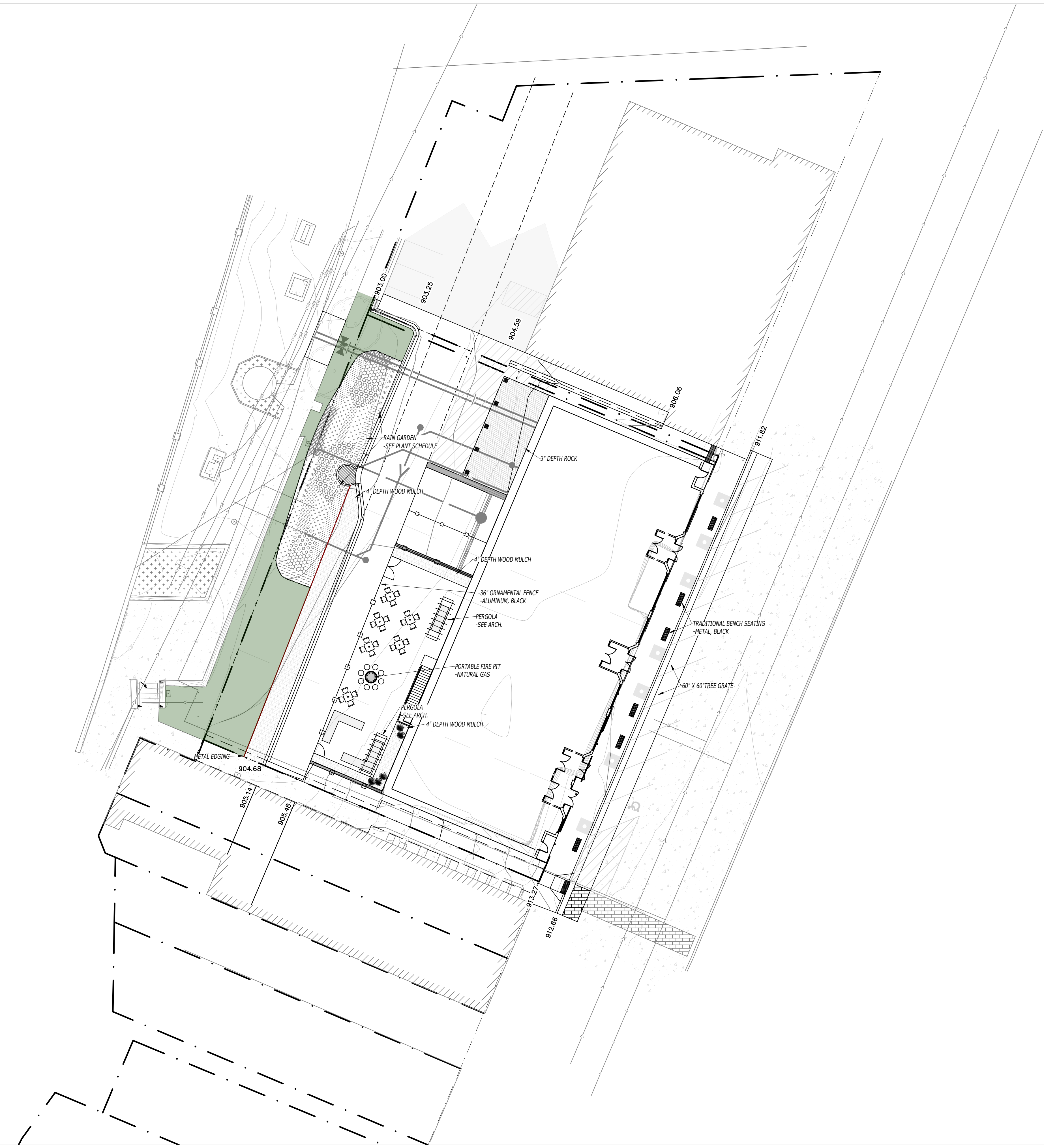
SHEET NUMBER

L102

GROUND COVER			
-- SY		MNDOT SEED MIX 25-131 - LOW MAINTENANCE TURF (OR APPROVED ALTERNATE).	
-- CY		UNDYED HARDWOOD MULCH	
-- CY		1-1/2" ROCK MULCH	
-- LF		METAL EDGING	
RAIN GARDEN NOTES: NATIVE PLANTS, PLANTING AND TRANSPLANTING			
<ul style="list-style-type: none"> NATIVE PLANTING NOT TO BEGIN UNTIL PLANTING AREAS HAVE BEEN AMENDED AND PREPARED. PLANTING BEDS TO BE FREE FROM ALL WEEDS AND INVASIVE PLANT SPECIES. PLANT MATERIAL TO BE SPACED 18" O.C. ALL PLANT MATERIAL TO BE THOROUGHLY WATERED UPON INSTALLATION. GROUP PLANTINGS, MINIMUM OF 12 PLUGS PER SPECIES GROUPING. 			
BF 72		BLUE FLAG IRIS <i>Iris versicolor</i>	PLUG
SG 72		SHENANDOAH SWITCH GRASS <i>Panicum virgatum 'Shenandoah'</i>	PLUG
WC 72		WHITE CONEFLOWER <i>Echinacea purpurea alba</i>	PLUG
LB 72		LITTLE BLUE STEM <i>Schizachyrium scoparium</i>	PLUG
PB 72		PRAIRIE BLAZINGSTAR <i>Liatris ligulistylis</i>	PLUG
PC 72		PURPLE CONEFLOWER <i>Echinacea purpurea</i>	PLUG
PD 72		PRAIRIE DROPSEED <i>Sporobolus heterolepis</i>	PLUG
NA 72		NEW ENGLAND ASTER <i>Aster novae-angliae</i>	PLUG
JB 72		JOHNSON'S BLUE GERANIUM <i>Geranium x 'Johnson's Blue'</i>	PLUG
EB 72		ELIJAH BLUE FESCUE <i>Festuca ovina 'Elijah Blue'</i>	PLUG

IRRIGATION NOTES:

- IRRIGATE ENTIRE SITE, DESIGN SHOULD ENCOMPASS ALL LANDSCAPE AREAS WITH SOD AND PLANTINGS.
- MINIMIZE OVERSPRAY ON BUILDINGS AND PAVEMENT.
- DRIP IRRIGATION TO BE PROVIDED FOR ALL LANDSCAPE BEDS.
- CONTRACTOR TO REVIEW MECHANICAL AND ELECTRICAL PLANS FOR WATER STUB OUT AND ELECTRICAL LOCATIONS.
- CONTRACTOR TO VERIFY WATER STUB OUT SIZE IS SUFFICIENT, NOTIFY OWNER OF ANY DEFICIENCY.
- CONTRACTOR TO VERIFY CONTROLLER LOCATION WITH OWNER BEFORE INSTALLATION.
- RPZ BACKFLOW PREVENTER TO BE USED AT WATER STUB OUT.
- PREFERRED CONTROLLER SHOULD BE A WATERSENSE WEATHER BASED IRRIGATION CONTROLLER (WBIC).
- CONTRACTOR TO HAVE ALL UTILITIES ON SITE VERIFIED AND MARKED BEFORE STARTING WORK.
- CONTRACTOR IS LIABLE FOR ANY DAMAGE TO EXISTING UTILITIES ON SITE AND RESPONSIBLE FOR THE COSTS ASSOCIATED WITH REPAIRING/REPLACING DAMAGE.
- CONTRACTOR TO COORDINATE WITH GENERAL CONTRACTOR IN ORDER TO PROVIDE ALL PVC SLEEVES AT A DEPTH OF 2'-0" BELOW FINISHED GRADE. MARK LOCATIONS OF PLACED PVC SLEEVES.
- CONTRACTOR TO PLACE MAIN LINES MINIMUM 1'-6" BELOW FINISH GRADE, LATERAL LINES MINIMUM 1'-0" BELOW FINISH GRADE.
- WIRES TO BE MINIMUM 16 AWG SOLID COPPER. SPLICE ONLY AT BOXES WITH MOISTURE RATED CONNECTORS.
- VALVES BOXES AND COVERS SHOULD BE BEST COLOR TO MATCH WITH SURROUNDING LANDSCAPE.
- BOXES TO BE SET ON A BASE OF 3" MINIMUM DEPTH 3/4" CLEAR GRAVEL.
- PLACE BOXES IN LANDSCAPE BEDS WHEN POSSIBLE.
- TRENCH BACKFILL TO BE CLEAN, FREE OF DEBRIS, SHARP OBJECTS AND ROCKS.
- CONTRACTOR TO PROVIDE AS-BUILT DRAWINGS TO OWNERS UPON COMPLETION OF WORK.



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: NOT FOR CONSTRUCTION
 JOSHUA D. WILDT
 Expiration: 06-30-2026

License #: 57650
 Date: 04-20-2026

PROJECT MANAGER
JOSH

DRAWN BY
L + J

PROJECT NAME
ARCHER HOUSE

NORTHFIELD
MINNESOTA

ISSUE LOG
 04-20-2026 SUBMITTAL

PROJECT NUMBER

SHEET TITLE

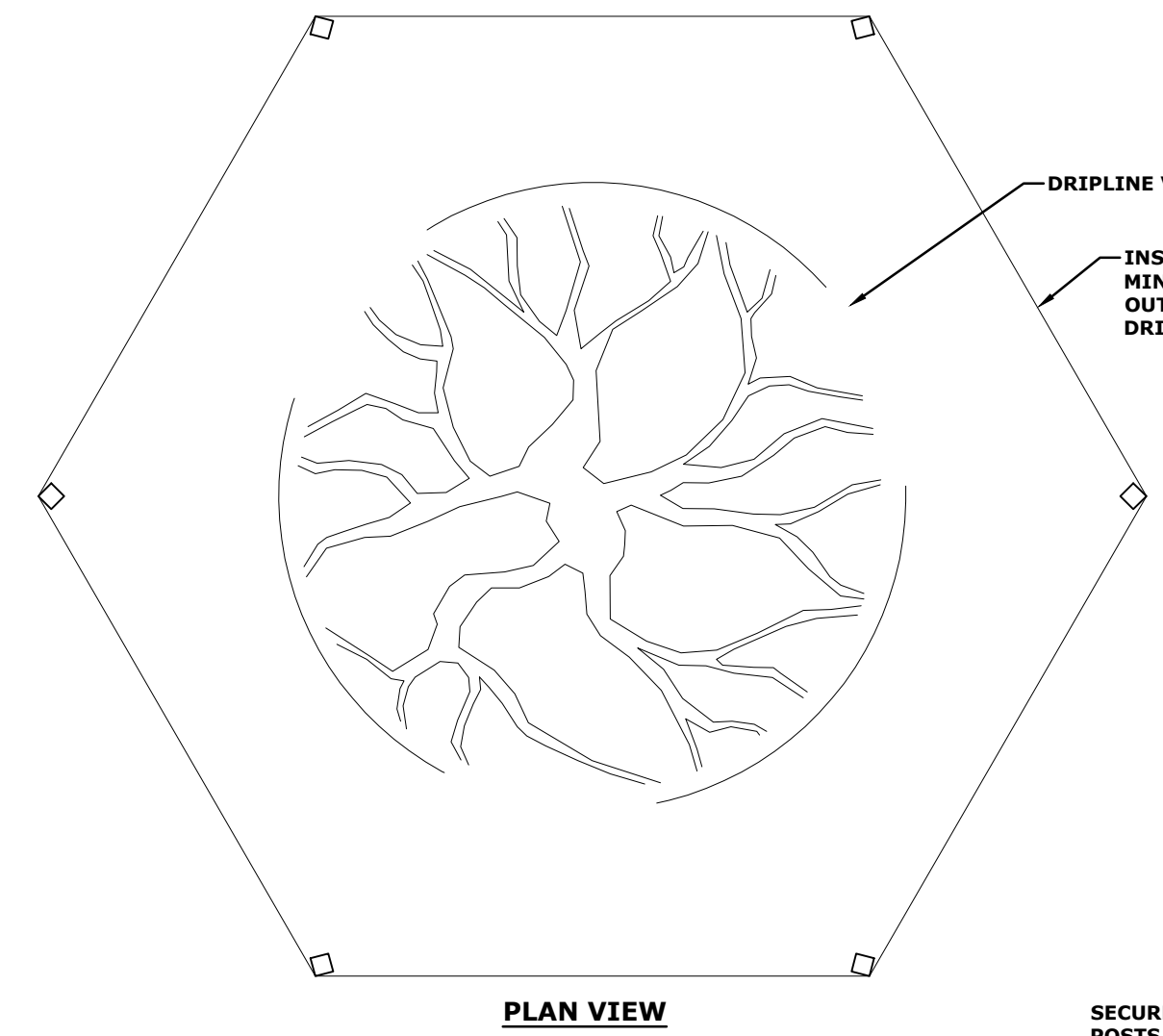
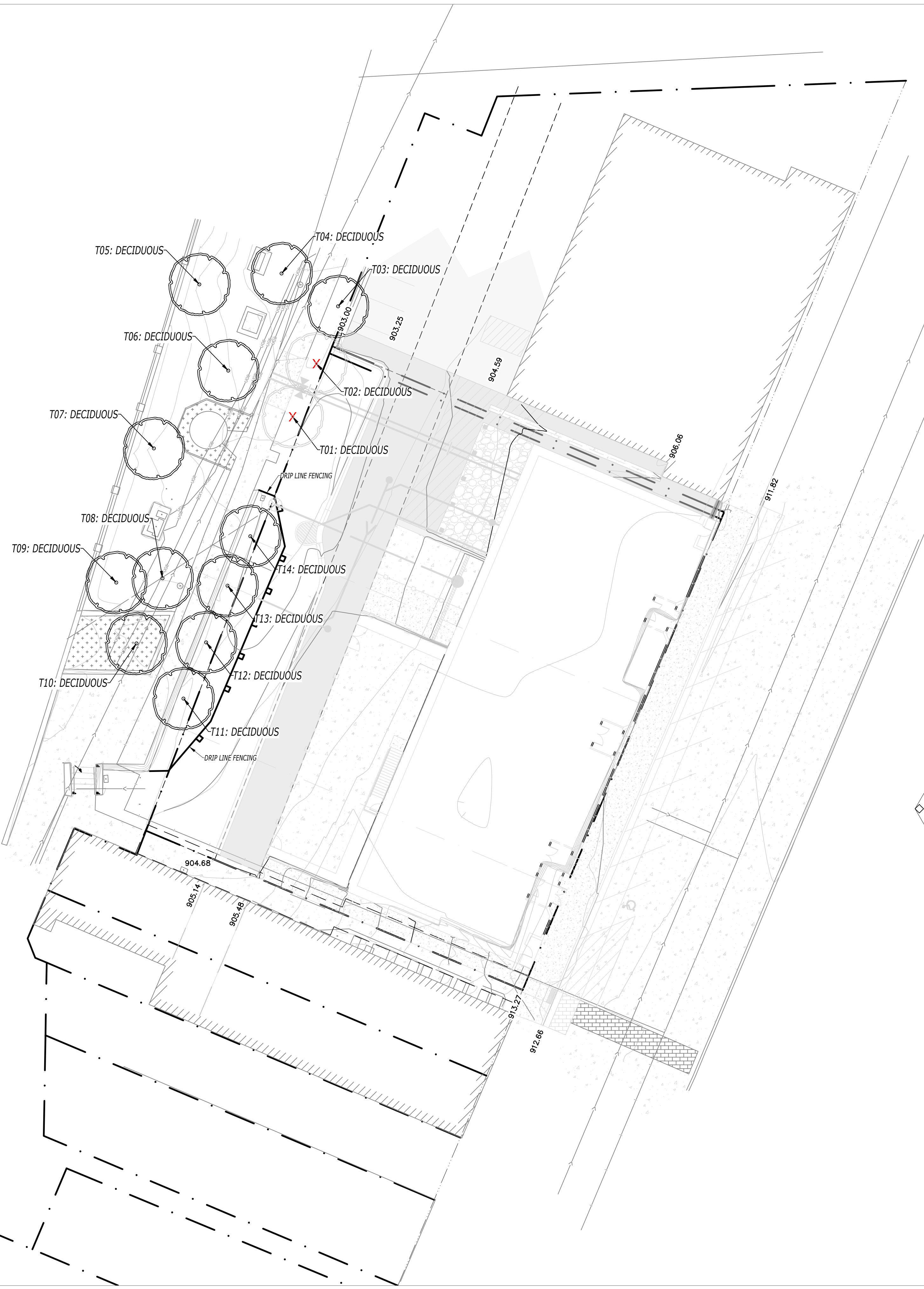
**TREE
 REMOVAL
 PLAN**

SHEET NUMBER

L103

EXISTING TREE LEGEND

ID#	SPECIES	STATUS
T01	DECIDUOUS TREE	REMOVE
T02	DECIDUOUS TREE	REMOVE
T03	DECIDUOUS TREE	REMAIN
T04	DECIDUOUS TREE	REMAIN
T05	DECIDUOUS TREE	REMAIN
T06	DECIDUOUS TREE	REMAIN
T07	DECIDUOUS TREE	REMAIN
T08	DECIDUOUS TREE	REMAIN
T09	DECIDUOUS TREE	REMAIN
T10	DECIDUOUS TREE	REMAIN
T11	DECIDUOUS TREE	REMAIN
T12	DECIDUOUS TREE	REMAIN
T13	DECIDUOUS TREE	REMAIN
T14	DECIDUOUS TREE	REMAIN



- NOTES:**
- FENCE SHALL BE INSTALLED ACCORDING TO PLANS BEFORE ANY WORK BEGINS ON SITE.
 - FENCE MAY BE RELOCATED WITH APPROVAL FROM THE LANDSCAPE ARCHITECT OR ENGINEER.
 - ALL FENCE SHALL BE MAINTAINED FOR THE DURATION OF WORK ON SITE.
 - CONTRACTOR SHALL NOT PARK VEHICLES, EQUIPMENT OR OTHER TEMPORARY FACILITIES IN TREE PROTECTION ZONES.
 - CONTRACTOR SHALL NOT STORE MATERIALS, SUPPLIES OR STOCKPILES IN TREE PROTECTION ZONES.
 - ANY EXPOSED ROOTS FROM GRADING PROCESS SHALL BE CLEANLY CUT.

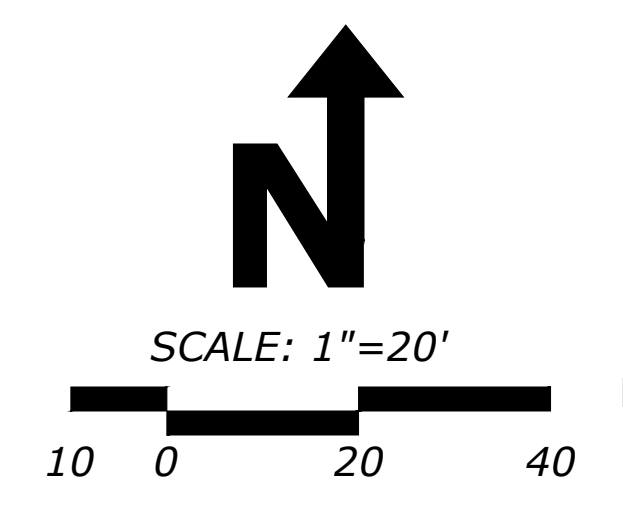
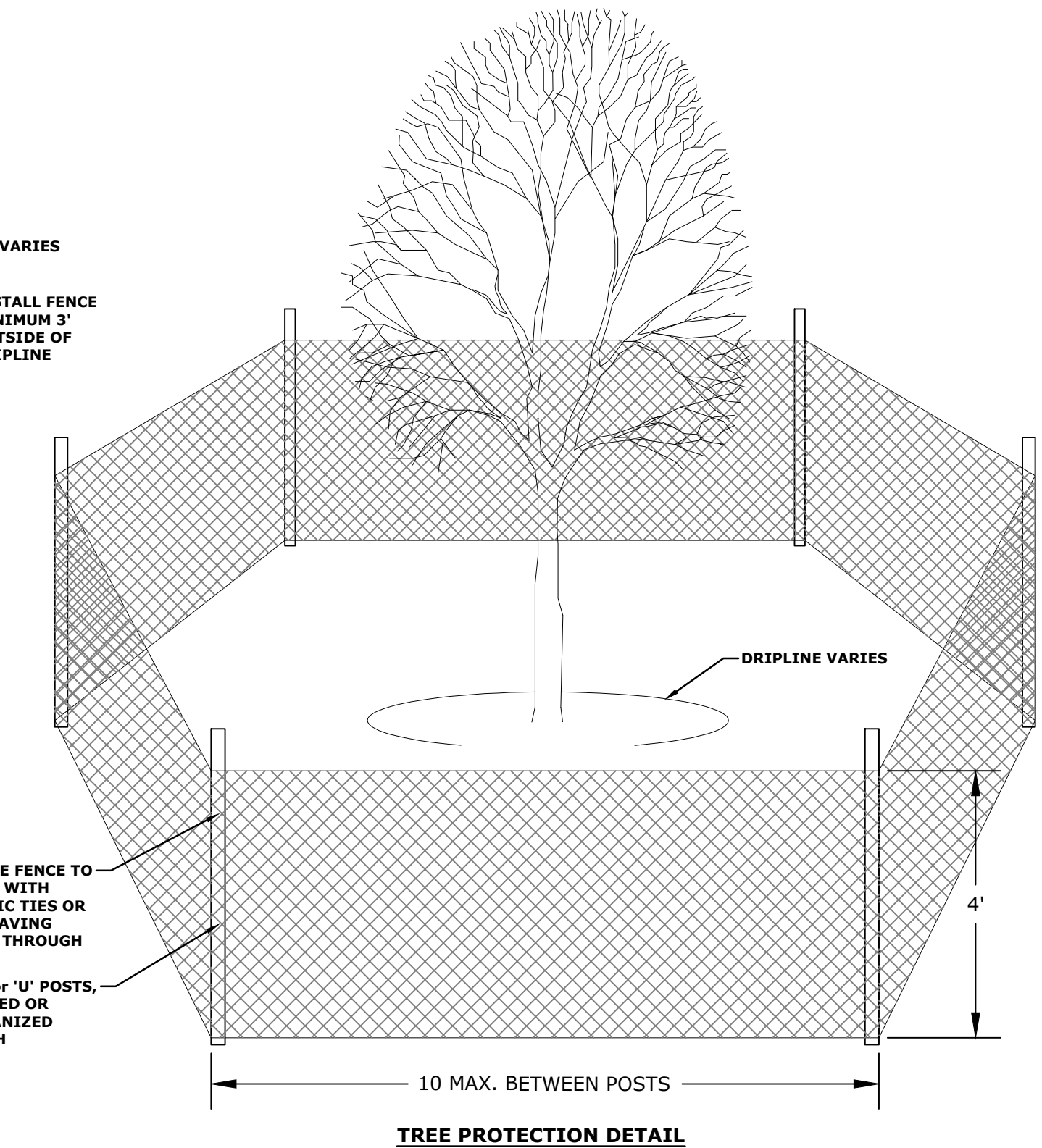


EXHIBIT B

FINDINGS OF FACT

The Northfield city ordinances outline in Chapter 34 – Land Development Code (LDC), Section 8.5.8 the Heritage Preservation Commission’s Certificate of Appropriateness process and approval criteria. The HPC shall consider the following in evaluating an application for a certificate of appropriateness for a zoning certificate and/or building permit. Criterion (A) below must be met and criteria (B) through (G) shall be considered:

Criteria A. For all applications, the proposed action fully complies with all applicable requirements of the LDC;

Findings: The proposed work complies with the LDC. The project is subject to a site plan review and compliance with the C1-B zoning district standards, has applied for a variance to the height limit established in the LDC, and a conditional use permit for proposed off-street parking. These procedures require approval of the project by the HPC.

Criteria B. That the proposed action is in harmony with the purpose of the H-O district for sites located in the H-O district;

Findings: The proposed action is in harmony with the intent of the H-O district. Within the LDC Section 2.5.3, Historic Overlay District (H-O) purpose is defined “(a) Safeguard the heritage of the city by preserving sites and structures which reflect elements of the city's cultural, social, economic, political, visual or architectural history; (b) Protect and enhance the city's appeal to residents, visitors and tourists and serve as a support and stimulus to business and industry; (c) Foster civic pride in the beauty and notable accomplishments of the past; and, (d) Promote the preservation and continued use of historic sites and structures for the education and general welfare of the people of the city.”

- a) The applicant is proposing a design of new construction which does not detract from the cultural, visual, and architectural history expressed in the district.
- b) The proposed development supports continued tourism and visitors to the district and surrounding neighborhoods.
- c) The proposed development will foster pride in the architectural heritage of the city by integrating contemporary construction with historic architecture.
- d) The proposed development promotes continued interest and investment in the district by redeveloping a vacant site in a manner appropriate for the historic context.

Criteria C. That the proposed action would complement other structures within the H-O district for sites located in the H-O district;

Findings: The changes will complement other structures within the H-O district, detailed assessment is included under Criterion D.

Criteria D. That the proposed action is consistent with the Downtown Preservation Design Guidelines for sites located in the H-O district, and consistent with the Secretary of the Interior's Standards for Treatment of Historic Properties for sites located within or outside the H-O district;

Findings:

The proposed new construction is consistent with the Downtown Preservation Design Guidelines and the Secretary of the Interior's Standards for the Treatment of Historic Properties. The proposed façade is compatible with the historic character of the district through its use of a traditional three-part façade composition, ground-floor storefront systems, recessed entries, vertically proportioned upper-story windows, brick and cast stone materials, and detailing such as arched openings, quoining, cornice expression, and articulated bays. These design elements reflect the proportions, rhythms, materials, color, and setback patterns found in the surrounding historic commercial district as identified in the Downtown Preservation Design Guidelines.

Consistent with the Secretary of the Interior's Standards, the design is differentiated from contributing historic buildings in the district through features such as the use of modern storefront assemblies, cast stone at the central bay, square window openings in portions of the façade, and shallower shadow lines associated with modern wall construction. These differences allow the building to read as new construction while remaining compatible with the historic materials, features, size, scale, proportion, and massing of the district's historic buildings. Because the project does not involve alterations to contributing buildings, it will not destroy historic materials or features, and could be removed in the future without impairing the essential form and integrity of the historic district.

Criteria E, Consideration should be given to the amount and quality of original material and design remaining in the building or structure when applying criteria, guidelines, and standards;

Findings: Not applicable.

Criteria F, For new construction, the building or addition should be compatible with: (i) scale, texture, materials, and other visual qualities of the surrounding buildings and neighborhoods; (ii) the height, width, depth, massing, and setback of the surrounding buildings; and (iii) the amount of solid wall to window and door openings, and the replacement of window and door openings, should be proportional to that of the surrounding buildings and neighborhood;

Findings:

(i) The proposed building is constructed with brick, cast stone, and contemporary aluminum storefront systems. These materials are compatible with the surrounding historic commercial district and are used to organize the façade into a distinct transparent base, articulated upper stories, and a defined parapet/cornice expression. The ground-floor storefront treatment, recessed tenant entries, brick detailing, quoining, arched upper-story openings, and cast stone central bay provide visual interest and decorative detailing that reflect the texture, materials, and traditional commercial character of surrounding buildings, while remaining distinguishable as new construction. The change in plane and material expression above the storefront level further reinforces a traditional base-middle-top composition and helps establish a datum that relates to the historic storefront, awning, and overhang patterns found elsewhere in the district.

(ii) The proposed development is a multi-story building with three primary façade components, consisting of two brick portions flanking a central cast stone portion. The building appears to

maintain the approximate zero-lot-line setback characteristic of the district and is similar in height to the adjacent Nutting Block, though slightly taller. Its width and massing are broken down through façade articulation, changes in material, and the rhythm of window bays, which help the larger new construction relate to the narrower façade rhythms of surrounding historic commercial buildings.

(iii) The proposed storefront system and upper-story window pattern are also compatible with the surrounding buildings and neighborhood. The ground-floor storefront openings create a transparent base similar to traditional downtown commercial buildings, while the upper-story windows are vertically proportioned and arranged in a regular rhythm. The amount of solid wall to window and door openings appears generally proportional to surrounding buildings in the district.

Criteria G, Consideration shall be given to clear cases of economic hardship or to deprivation of reasonable use of the owner's property.

Findings: The proposed project is a reasonable use of the owner's property.

PLAN GENERAL NOTES

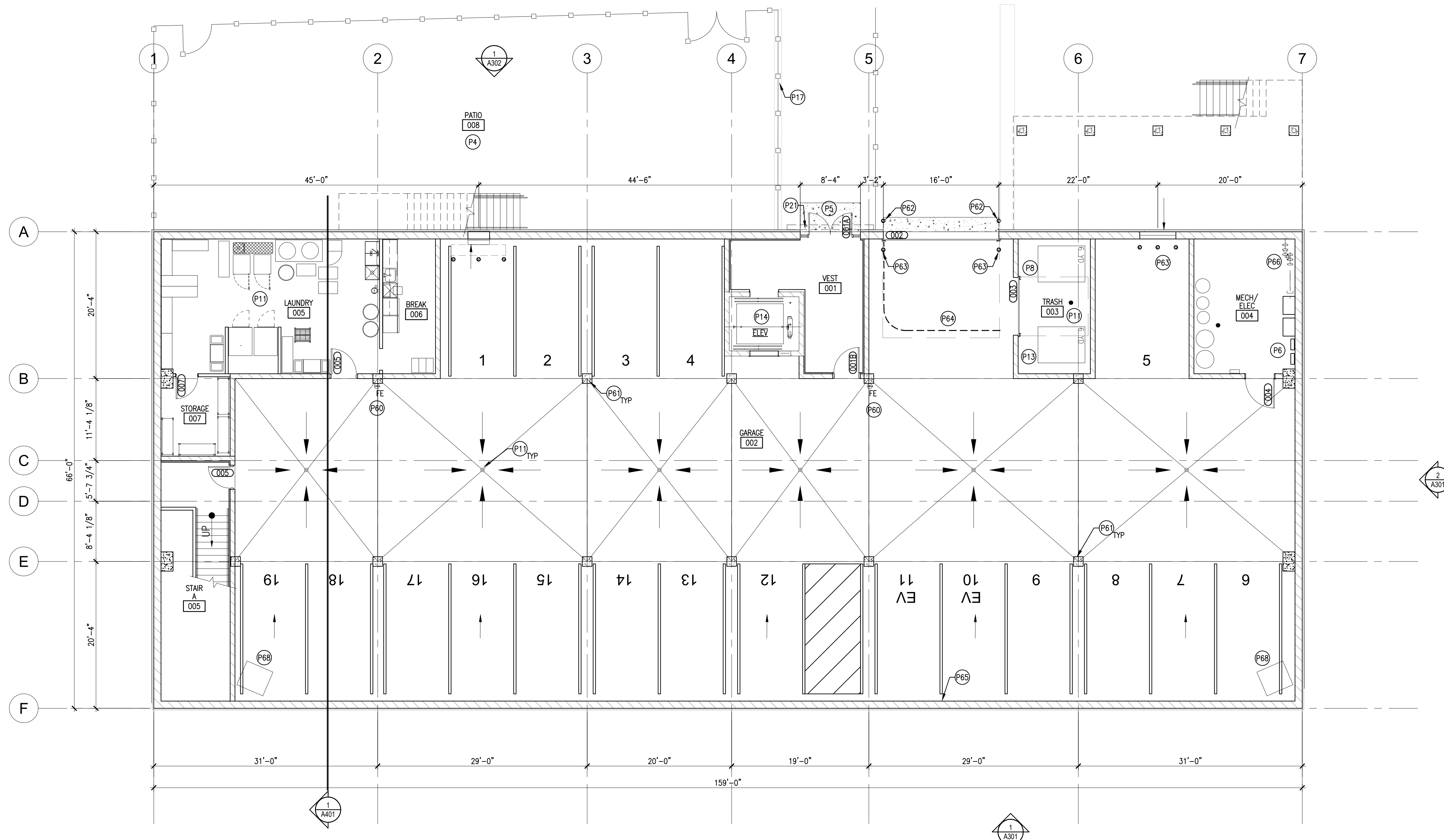
- DIMENSIONS ON EXTERIOR WALLS ARE TO THE INSIDE FACE OF FOUNDATION WALL AND/OR METAL STUD FRAMING
- ALL DOOR FRAMES ARE 4" FROM ADJACENT WALL ON HINGE SIDE, UNO
- VERIFY FINAL LOCATION OF ALL EQUIPMENT PRIOR TO INSTALLATION OF ELECTRICAL, PLUMBING OR MECHANICAL HOOK-UPS.
- ALL WALLS TO ROOF DECK, UNO TO ACCOMMODATE DEFLECTION OF THE ROOF AND FLOOR STRUCTURE, ASSEMBLY TO BE UL LISTED
- PROVIDE CONTROL JOINTS IN GYP BD WALLS AS RECOMMENDED BY MANUF
- PROVIDE MOISTURE RESISTANT GYP BD ON TOILET ROOM WET WALLS AND ADJACENT TO MOP SINK
- PROVIDE 4'x8' FIRE RATED TREATED PLYWOOD ON WALL IN ELECT ROOM FOR TELEPHONE DEMARCATION POINT
- NO COMBUSTIBLE MATERIALS ALLOWED IN PLENUM SPACE
- SEAL ALL OPENINGS OR PENETRATIONS IN THE TENANT DEMISING WALLS, AND OPEN AREAS AT THE ROOF DECK WALL INTERSECTION, TO PREVENT ODOR OR SOUND FROM BEING TRANSMITTED THROUGH OPENINGS INTO ADJACENT TENANT SPACES. MAINTAIN FIRE RATING AT ALL RATED WALLS/FLOORS
- PROVIDE DIRECTIONAL EXIT SIGNS PER CODE (SECTION 1013.1), SEE ELEC PLANS
- SEE CIVIL PLANS FOR SLAB ELEVATIONS
- SEE STRUCTURAL PLANS FOR COLUMN/BEAM LOCATIONS
- PROVIDE AND POST "OCCUPANCY LOAD X" SIGN IN ALL ASSEMBLY OCCUPANCIES, IBC SECTION 1004.3, SEE SHEET A009

PLAN KEYNOTES

- NOTE: NOT ALL NOTES ARE USED ON EACH SHEET
- (P1) PROVIDE SEMI-RECESSED FIRE CABINET W/ PORTABLE FIRE EXTINGUISHER, PER IBC 906, SEE DETAIL 1/A1001.
 - (P2) PROVIDE RECESSED FIRE DEPARTMENT KEY BOX, COORDINATE LOCATION W/ FIRE MARSHAL
 - (P3) PROVIDE SEMI-RECESSED FIRE ANNUNCIATOR PANEL
 - (P4) PROVIDE CONCRETE PATIO SYSTEM, SEE CIVIL PLANS
 - (P5) PROVIDE STRUC STOOP AT DOOR, W/ 18" MIN CONC ON PULL/LATCH SIDE OF DOOR (STOOP HIGH POINT TO BE 1/4" BELOW T.O.S. ELEV SLOPE CONC AWAY FROM DOOR 1/4" PER FT), SEE STRUC PLANS FOR SIZE AND COORD W/ CIVIL PLANS
 - (P6) PROVIDE ELECTRICAL PANELS, SEE ELEC PLANS
 - (P7) NOT USED
 - (P8) PROVIDE HOSE BIB, SEE PLUMBING PLANS
 - (P9) PROVIDE ELECTRIC WATER COOLER/ BOTTLE FILLER COMBO, SEE PLUMBING PLANS
 - (P10) PROVIDE MOP SINK, SEE PLUMBING PLANS
 - (P11) PROVIDE FLOOR DRAIN, SEE DETAIL 15/A1001. SEE PLUMBING PLANS
 - (P12) PROVIDE RAIN LEADER, SEE PLUMBING AND CIVIL PLANS
 - (P13) PROVIDE RECYCLING AREA, PER SPS 362
 - (P14) PROVIDE MACHINE ROOM-LESS TRACTION ELEVATOR (3,500 LBS). COORDINATE SHAFT SIZES, PIT DEPTH AND OVERRUN DISTANCE W/ ELEVATOR SUPPLIER
 - (P15) PROVIDE EXIT DISCHARGE BARRIER (GATE), PER IBC SECTION 1023.8, SEE DETAIL 14/A1001
 - (P16) PROVIDE SHIPS LADDER FOR ROOF ACCESS
 - (P17) PROVIDE RETAINING WALL W/ GUARDRAIL SYSTEM, SEE CIVIL
 - (P18) NOT USED
 - (P19) NOT USED
 - (P20) WRAP STRUCT COLUMN AND/OR ROOF DRAIN AS TIGHT AS POSSIBLE W/ MTL FRAMING AND 5/8" GYP BD
 - (P21) LINE OF CANOPY ABOVE
 - (P22) PROVIDE DOUBLE SIDED GAS FIREPLACE

GARAGE PLAN KEY NOTES

- (P60) PROVIDE SURFACE MOUNTED FIRE EXTINGUISHERS, PER IBC 906
- (P61) PROVIDE PRECAST CONCRETE COLUMN, SEE STRUCT PLANS
- (P62) PROVIDE 6" CONCRETE FILLED PIPE BOLLARD, SEE DETAIL 7/A803
- (P63) PROVIDE PIPE BOLLARD, SEE DETAIL 11/A803
- (P64) PROVIDE UNDERGROUND AUTOMATIC OVERHEAD DOOR OPERATOR LOOP, SEE ELEC PLANS
- (P65) PROVIDE ELECTRIC CAR CHARGING STATION, SEE ELEC PLANS
- (P66) PROVIDE SPRINKLER RISER, SEE FIRE PROTECTION PLANS
- (P67) TRENCH DRAIN, SEE CIVIL
- (P68) PROVIDE UNIT HEATER, SEE MECH PLANS
- (P69) PROVIDE MECH LOUVER, SEE MECH PLANS. PAINT TO MATCH ADJACENT MATERIAL COLOR
- (P70) PAINT PARKING STALL NUMBERS: 18" HIGH, COLOR: WHITE
- (P71) PAINT PARKING STALL STRIPE: 4" WIDE, COLOR: WHITE
- (P72) PAINT BEAM ABOVE YELLOW, FACING DRIVE AISLE, PAINT IN BLACK LETTERS, "7'-0" HEIGHT CLEARANCE BEYOND"
- (P73) PROVIDE HANGING SIGN LOCATED 3'-6" IN FRONT OF HEAD CLEARANCE HEIGHT CHANGE W/ BOTTOM OF SIGN AT 7'-0" AFF, TO READ: "7'-0" HEIGHT CLEARANCE BEYOND"
- (P74) PROVIDE 8'-4" MIN VERTICAL CLEARANCE AREA: NO BEAMS, PIPING, LIGHTS, ETC ALLOWED IN THIS AREA BELOW 8'-4" (SHADED AREA)
- (P75) PAINT BEAM ABOVE, FACING DRIVE AISLE (SHADED AREA), YELLOW W/ BLACK LETTERS AT EACH ACCESSIBLE STALL, TO READ: "8'-4" HEIGHT CLEARANCE"
- (P76) PAINT SIGN ON CONCRETE DRIVE, FACING TRAFFIC FROM GARAGE DOOR ENTRY, YELLOW W/ BLACK LETTERING, TO READ: "7'-0" HEIGHT CLEARANCE BEYOND"



1 GARAGE FLOOR PLAN
 A101

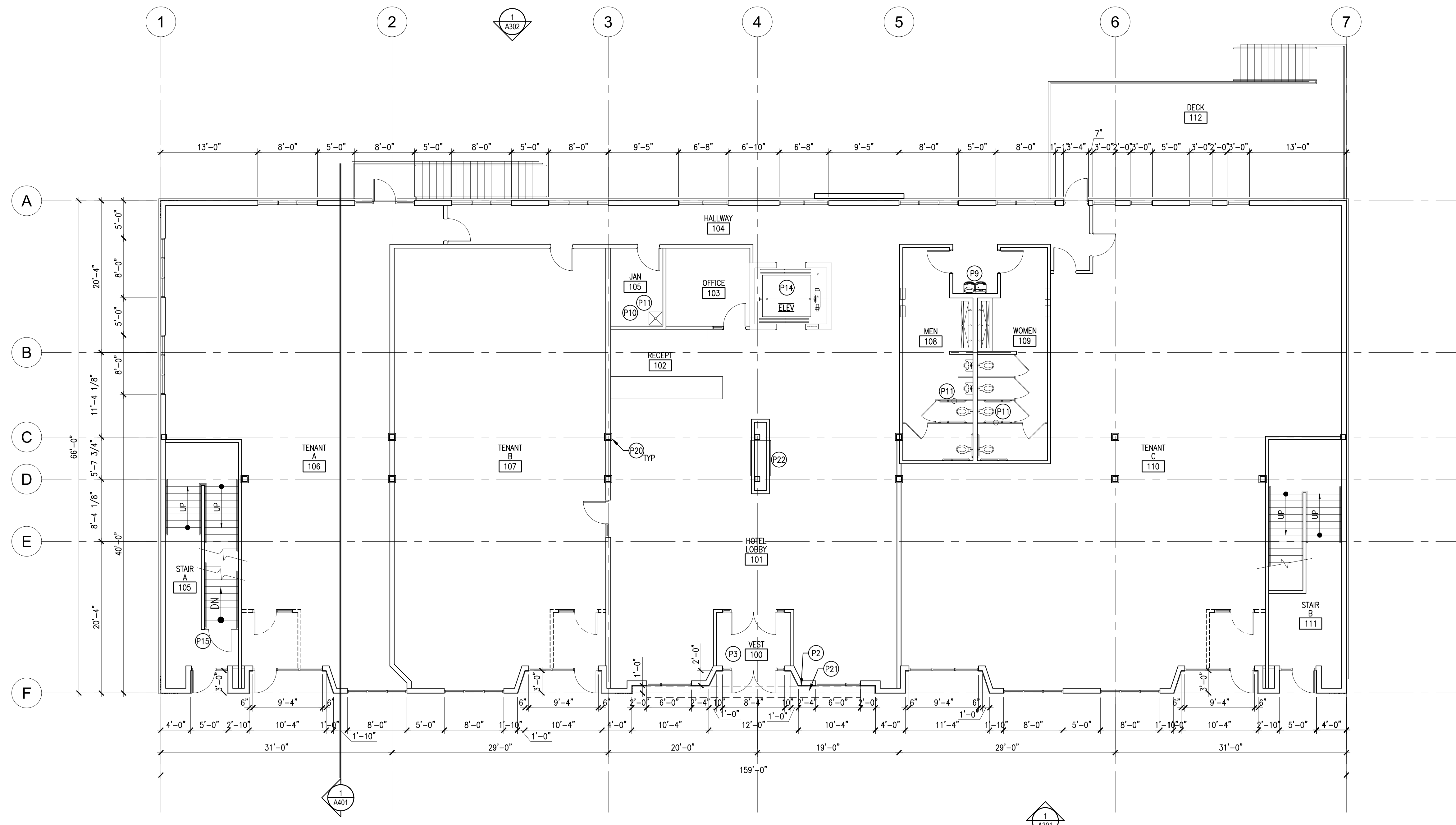
W: 25053, Archer House - Northfield | Plan: 25053_A101 | Floor: Garage | Date: 05/22/2026 | 1:15 PM (GMT-05:00) | By: Jemal Mahamud

PLAN GENERAL NOTES

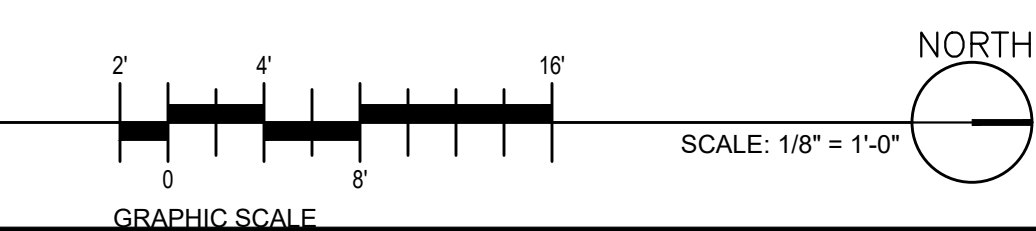
- DIMENSIONS ON EXTERIOR WALLS ARE TO THE INSIDE FACE OF FOUNDATION WALL AND/OR METAL STUD FRAMING
- ALL DOOR FRAMES ARE 4" FROM ADJACENT WALL ON HINGE SIDE, UNO
- VERIFY FINAL LOCATION OF ALL EQUIPMENT PRIOR TO INSTALLATION OF ELECTRICAL, PLUMBING OR MECHANICAL HOOK-UPS.
- ALL WALLS TO ROOF DECK, UNO TO ACCOMMODATE DEFLECTION OF THE ROOF AND FLOOR STRUCTURE, ASSEMBLY TO BE UL LISTED
- PROVIDE CONTROL JOINTS IN GYP BD WALLS AS RECOMMENDED BY MANUF
- PROVIDE MOISTURE RESISTANT GYP BD ON TOILET ROOM WET WALLS AND ADJACENT TO MOP SINK
- PROVIDE 4'x8' FIRE RATED TREATED PLYWOOD ON WALL IN ELECT ROOM FOR TELEPHONE DEMARCATION POINT
- NO COMBUSTIBLE MATERIALS ALLOWED IN PLENUM SPACE
- SEAL ALL OPENINGS OR PENETRATIONS IN THE TENANT DEMISING WALLS, AND OPEN AREAS AT THE ROOF DECK WALL INTERSECTION, TO PREVENT ODOR OR SOUND FROM BEING TRANSMITTED THROUGH OPENINGS INTO ADJACENT TENANT SPACES. MAINTAIN FIRE RATING AT ALL RATED WALLS/FLOORS
- PROVIDE DIRECTIONAL EXIT SIGNS PER CODE (SECTION 1013.1), SEE ELEC PLANS
- SEE CIVIL PLANS FOR SLAB ELEVATIONS
- SEE STRUCTURAL PLANS FOR COLUMN/BEAM LOCATIONS
- PROVIDE AND POST "OCCUPANCY LOAD X" SIGN IN ALL ASSEMBLY OCCUPANCIES, IBC SECTION 1004.3, SEE SHEET A009

PLAN KEYNOTES

- NOTE: NOT ALL NOTES ARE USED ON EACH SHEET
- (P1) PROVIDE SEMI-RECESSED FIRE CABINET W/ PORTABLE FIRE EXTINGUISHER, PER IBC 906, SEE DETAIL 1/A1001.
 - (P2) PROVIDE RECESSED FIRE DEPARTMENT KEY BOX, COORDINATE LOCATION W/ FIRE MARSHAL
 - (P3) PROVIDE SEMI-RECESSED FIRE ANNUNCIATOR PANEL
 - (P4) PROVIDE CONCRETE PATIO SYSTEM, SEE CIVIL PLANS
 - (P5) PROVIDE STRUC STOOP AT DOOR, W/ 18" MIN CONC ON PULL/LATCH SIDE OF DOOR (STOOP HIGH POINT TO BE 1/4" BELOW T.O.S. ELEV SLOPE CONC AWAY FROM DOOR 1/4" PER FT), SEE STRUC PLANS FOR SIZE AND COORD W/ CIVIL PLANS
 - (P6) PROVIDE ELECTRICAL PANELS, SEE ELEC PLANS
 - (P7) NOT USED
 - (P8) PROVIDE HOSE BIB, SEE PLUMBING PLANS
 - (P9) PROVIDE ELECTRIC WATER COOLER/ BOTTLE FILLER COMBO, SEE PLUMBING PLANS
 - (P10) PROVIDE MOP SINK, SEE PLUMBING PLANS
 - (P11) PROVIDE FLOOR DRAIN, SEE DETAIL 15/A1001. SEE PLUMBING PLANS
 - (P12) PROVIDE RAIN LEADER, SEE PLUMBING AND CIVIL PLANS
 - (P13) PROVIDE RECYCLING AREA, PER SPS 362
 - (P14) PROVIDE MACHINE ROOM-LESS TRACTION ELEVATOR (3,500 LBS), COORDINATE SHAFT SIZES, PIT DEPTH AND OVERRUN DISTANCE W/ ELEVATOR SUPPLIER
 - (P15) PROVIDE EXIT DISCHARGE BARRIER (GATE), PER IBC SECTION 1023.8, SEE DETAIL 14/A1001
 - (P16) PROVIDE SHIPS LADDER FOR ROOF ACCESS
 - (P17) PROVIDE RETAINING WALL W/ GUARDRAIL SYSTEM, SEE CIVIL
 - (P18) NOT USED
 - (P19) NOT USED
 - (P20) WRAP STRUCT COLUMN AND/OR ROOF DRAIN AS TIGHT AS POSSIBLE W/ MTL FRAMING AND 5/8" GYP BD
 - (P21) LINE OF CANOPY ABOVE
 - (P22) PROVIDE DOUBLE SIDED GAS FIREPLACE



1 FIRST LEVEL FLOOR PLAN
 A102



W:\25053_Archer House - Northfield\Drawn\25053_A102_Floor_Plan.dwg | 06/19/2026 11:58 AM (Owner: JEM) | E:\Javier_Mohammoud

ISSUES / REVISIONS:

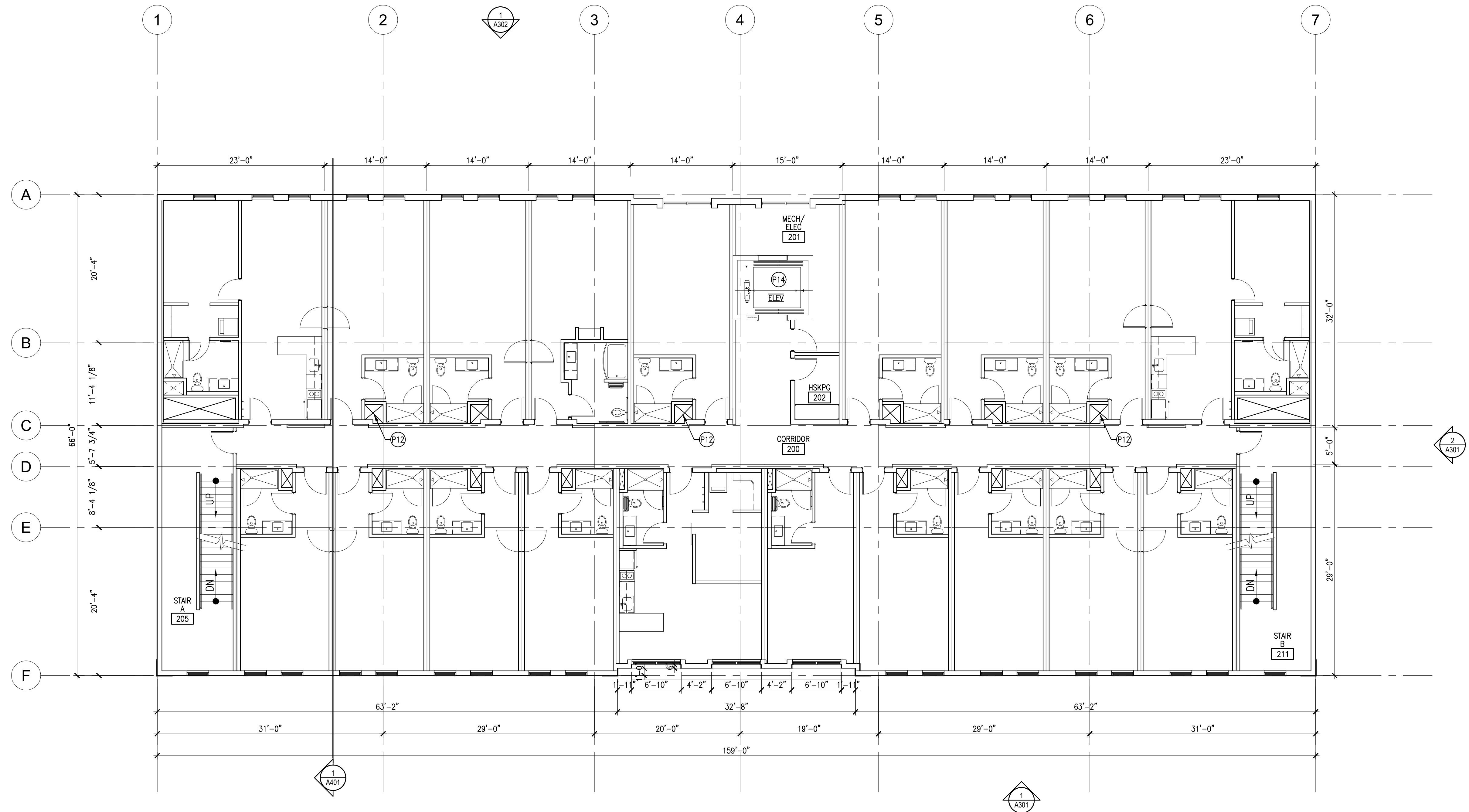
SITE PLAN REVIEW	04.20.2026
HFC REVIEW	05.22.2026
30% SET	06.19.2026

PLAN GENERAL NOTES

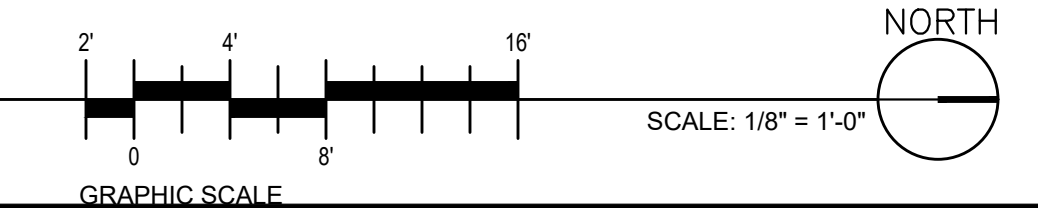
- DIMENSIONS ON EXTERIOR WALLS ARE TO THE INSIDE FACE OF FOUNDATION WALL AND/OR METAL STUD FRAMING
- ALL DOOR FRAMES ARE 4" FROM ADJACENT WALL ON HINGE SIDE, UNO
- VERIFY FINAL LOCATION OF ALL EQUIPMENT PRIOR TO INSTALLATION OF ELECTRICAL, PLUMBING OR MECHANICAL HOOK-UPS.
- ALL WALLS TO ROOF DECK, UNO TO ACCOMMODATE DEFLECTION OF THE ROOF AND FLOOR STRUCTURE, ASSEMBLY TO BE UL LISTED
- PROVIDE CONTROL JOINTS IN GYP BD WALLS AS RECOMMENDED BY MANUF
- PROVIDE MOISTURE RESISTANT GYP BD ON TOILET ROOM WET WALLS AND ADJACENT TO MOP SINK
- PROVIDE 4'x8' FIRE RATED TREATED PLYWOOD ON WALL IN ELEC ROOM FOR TELEPHONE DEMARCATION POINT
- NO COMBUSTIBLE MATERIALS ALLOWED IN PLENUM SPACE
- SEAL ALL OPENINGS OR PENETRATIONS IN THE TENANT DEMISING WALLS, AND OPEN AREAS AT THE ROOF DECK WALL INTERSECTION, TO PREVENT ODOR OR SOUND FROM BEING TRANSMITTED THROUGH OPENINGS INTO ADJACENT TENANT SPACES. MAINTAIN FIRE RATING AT ALL RATED WALLS/FLOORS
- PROVIDE DIRECTIONAL EXIT SIGNS PER CODE (SECTION 1013.1), SEE ELEC PLANS
- SEE CIVIL PLANS FOR SLAB ELEVATIONS
- SEE STRUCTURAL PLANS FOR COLUMN/BEAM LOCATIONS
- PROVIDE AND POST "OCCUPANCY LOAD X" SIGN IN ALL ASSEMBLY OCCUPANCIES, IBC SECTION 1004.3, SEE SHEET A009

PLAN KEYNOTES

- NOTE: NOT ALL NOTES ARE USED ON EACH SHEET
- (P1) PROVIDE SEMI-RECESSED FIRE CABINET W/ PORTABLE FIRE EXTINGUISHER, PER IBC 906, SEE DETAIL 1/A1001.
 - (P2) PROVIDE RECESSED FIRE DEPARTMENT KEY BOX, COORDINATE LOCATION W/ FIRE MARSHAL
 - (P3) PROVIDE SEMI-RECESSED FIRE ANNUNCIATOR PANEL
 - (P4) PROVIDE CONCRETE PATIO SYSTEM, SEE CIVIL PLANS
 - (P5) PROVIDE STRUC STOOP AT DOOR, W/ 18" MIN CONC ON PULL/LATCH SIDE OF DOOR (STOOP HIGH POINT TO BE 1/4" BELOW T.O.S. ELEV SLOPE CONC AWAY FROM DOOR 1/4" PER FT), SEE STRUC PLANS FOR SIZE AND COORD W/ CIVIL PLANS
 - (P6) PROVIDE ELECTRICAL PANELS, SEE ELEC PLANS
 - (P7) NOT USED
 - (P8) PROVIDE HOSE BIB, SEE PLUMBING PLANS
 - (P9) PROVIDE ELECTRIC WATER COOLER/ BOTTLE FILLER COMBO, SEE PLUMBING PLANS
 - (P10) PROVIDE MOP SINK, SEE PLUMBING PLANS
 - (P11) PROVIDE FLOOR DRAIN, SEE DETAIL 15/A1001. SEE PLUMBING PLANS
 - (P12) PROVIDE RAIN LEADER, SEE PLUMBING AND CIVIL PLANS
 - (P13) PROVIDE RECYCLING AREA, PER SPS 362
 - (P14) PROVIDE MACHINE ROOM-LESS TRACTION ELEVATOR (3,500 LBS), COORDINATE SHAFT SIZES, PIT DEPTH AND OVERRUN DISTANCE W/ ELEVATOR SUPPLIER
 - (P15) PROVIDE EXIT DISCHARGE BARRIER (GATE), PER IBC SECTION 1023.8, SEE DETAIL 14/A1001
 - (P16) PROVIDE SHIPS LADDER FOR ROOF ACCESS
 - (P17) PROVIDE RETAINING WALL W/ GUARDRAIL SYSTEM, SEE CIVIL
 - (P18) NOT USED
 - (P19) NOT USED
 - (P20) WRAP STRUCT COLUMN AND/OR ROOF DRAIN AS TIGHT AS POSSIBLE W/ MTL FRAMING AND 5/8" GYP BD
 - (P21) LINE OF CANOPY ABOVE
 - (P22) PROVIDE DOUBLE SIDED GAS FIREPLACE



1 SECOND LEVEL FLOOR PLAN
A103



ISSUES / REVISIONS:

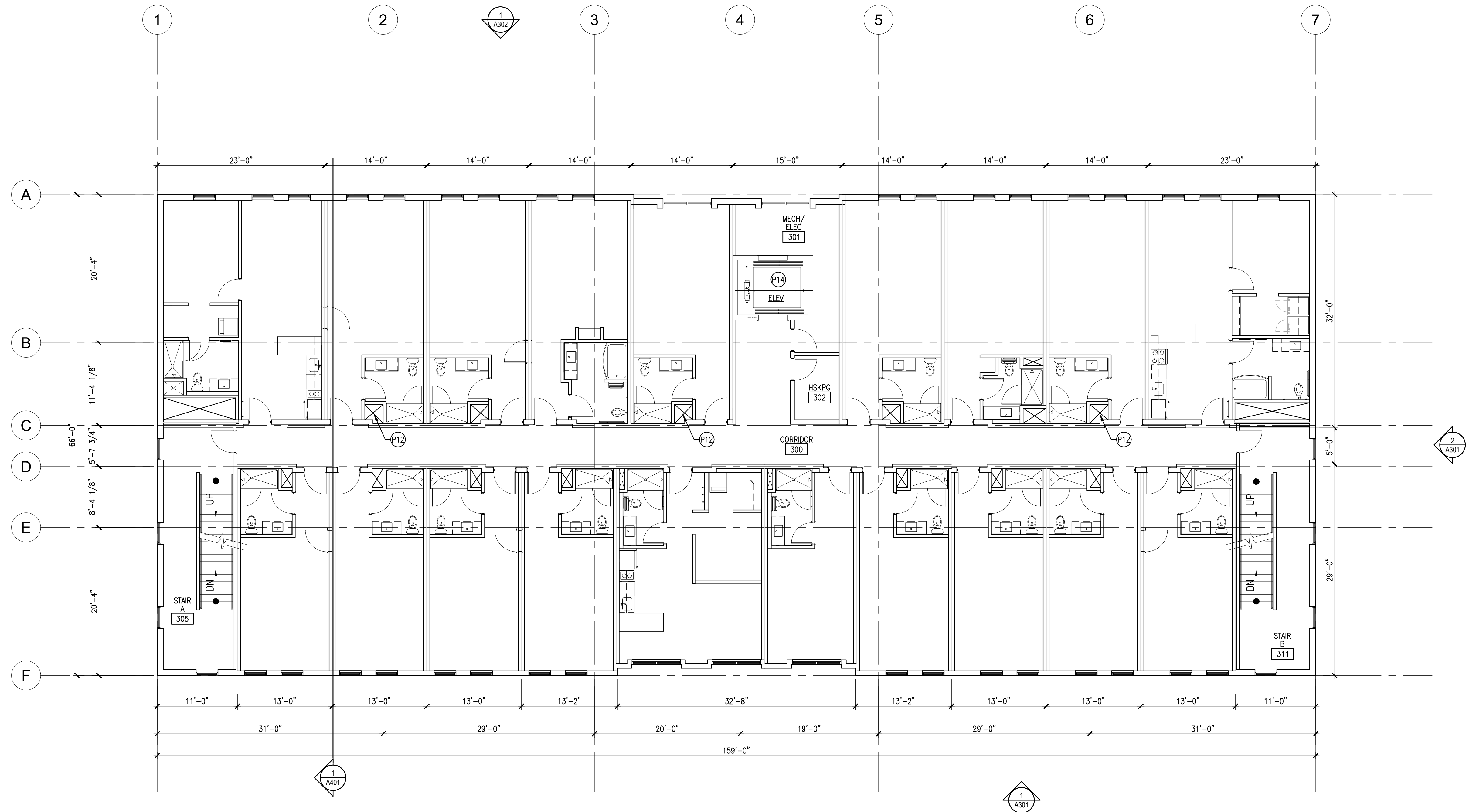
SITE PLAN REVIEW	04.20.2026
HFC REVIEW	05.22.2026
30% SET	06.19.2026

PLAN GENERAL NOTES

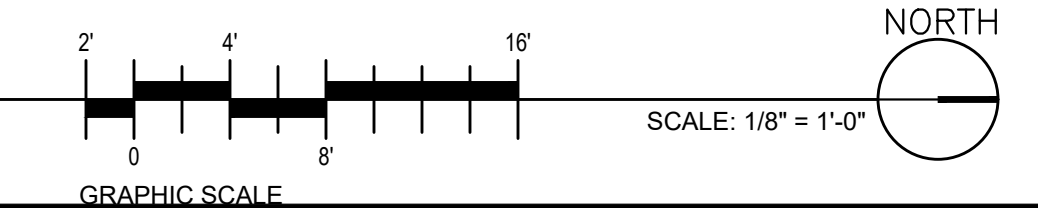
- DIMENSIONS ON EXTERIOR WALLS ARE TO THE INSIDE FACE OF FOUNDATION WALL AND/OR METAL STUD FRAMING
- ALL DOOR FRAMES ARE 4" FROM ADJACENT WALL ON HINGE SIDE, UNO
- VERIFY FINAL LOCATION OF ALL EQUIPMENT PRIOR TO INSTALLATION OF ELECTRICAL, PLUMBING OR MECHANICAL HOOK-UPS.
- ALL WALLS TO ROOF DECK, UNO TO ACCOMMODATE DEFLECTION OF THE ROOF AND FLOOR STRUCTURE, ASSEMBLY TO BE UL LISTED
- PROVIDE CONTROL JOINTS IN GYP BD WALLS AS RECOMMENDED BY MANUF
- PROVIDE MOISTURE RESISTANT GYP BD ON TOILET ROOM WET WALLS AND ADJACENT TO MOP SINK
- PROVIDE 4'x8' FIRE RATED TREATED PLYWOOD ON WALL IN ELEC ROOM FOR TELEPHONE DEMARCATION POINT
- NO COMBUSTIBLE MATERIALS ALLOWED IN PLENUM SPACE
- SEAL ALL OPENINGS OR PENETRATIONS IN THE TENANT DEMISING WALLS, AND OPEN AREAS AT THE ROOF DECK WALL INTERSECTION, TO PREVENT ODOR OR SOUND FROM BEING TRANSMITTED THROUGH OPENINGS INTO ADJACENT TENANT SPACES. MAINTAIN FIRE RATING AT ALL RATED WALLS/FLOORS
- PROVIDE DIRECTIONAL EXIT SIGNS PER CODE (SECTION 1013.1), SEE ELEC PLANS
- SEE CIVIL PLANS FOR SLAB ELEVATIONS
- SEE STRUCTURAL PLANS FOR COLUMN/BEAM LOCATIONS
- PROVIDE AND POST "OCCUPANCY LOAD X" SIGN IN ALL ASSEMBLY OCCUPANCIES, IBC SECTION 1004.3, SEE SHEET A009

PLAN KEYNOTES

- NOTE: NOT ALL NOTES ARE USED ON EACH SHEET
- (P1) PROVIDE SEMI-RECESSED FIRE CABINET W/ PORTABLE FIRE EXTINGUISHER, PER IBC 906, SEE DETAIL 1/A1001.
 - (P2) PROVIDE RECESSED FIRE DEPARTMENT KEY BOX, COORDINATE LOCATION W/ FIRE MARSHAL
 - (P3) PROVIDE SEMI-RECESSED FIRE ANNUNCIATOR PANEL
 - (P4) PROVIDE CONCRETE PATIO SYSTEM, SEE CIVIL PLANS
 - (P5) PROVIDE STRUC STOOP AT DOOR, W/ 18" MIN CONC ON PULL/LATCH SIDE OF DOOR (STOOP HIGH POINT TO BE 1/4" BELOW T.O.S. ELEV SLOPE CONC AWAY FROM DOOR 1/4" PER FT), SEE STRUC PLANS FOR SIZE AND COORD W/ CIVIL PLANS
 - (P6) PROVIDE ELECTRICAL PANELS, SEE ELEC PLANS
 - (P7) NOT USED
 - (P8) PROVIDE HOSE BIB, SEE PLUMBING PLANS
 - (P9) PROVIDE ELECTRIC WATER COOLER/ BOTTLE FILLER COMBO, SEE PLUMBING PLANS
 - (P10) PROVIDE MOP SINK, SEE PLUMBING PLANS
 - (P11) PROVIDE FLOOR DRAIN, SEE DETAIL 15/A1001. SEE PLUMBING PLANS
 - (P12) PROVIDE RAIN LEADER, SEE PLUMBING AND CIVIL PLANS
 - (P13) PROVIDE RECYCLING AREA, PER SPS 362
 - (P14) PROVIDE MACHINE ROOM-LESS TRACTION ELEVATOR (3,500 LBS), COORDINATE SHAFT SIZES, PIT DEPTH AND OVERRUN DISTANCE W/ ELEVATOR SUPPLIER
 - (P15) PROVIDE EXIT DISCHARGE BARRIER (GATE), PER IBC SECTION 1023.8, SEE DETAIL 14/A1001
 - (P16) PROVIDE SHIPS LADDER FOR ROOF ACCESS
 - (P17) PROVIDE RETAINING WALL W/ GUARDRAIL SYSTEM, SEE CIVIL
 - (P18) NOT USED
 - (P19) NOT USED
 - (P20) WRAP STRUCT COLUMN AND/OR ROOF DRAIN AS TIGHT AS POSSIBLE W/ MTL FRAMING AND 5/8" GYP BD
 - (P21) LINE OF CANOPY ABOVE
 - (P22) PROVIDE DOUBLE SIDED GAS FIREPLACE



1 THIRD LEVEL FLOOR PLAN
 A104

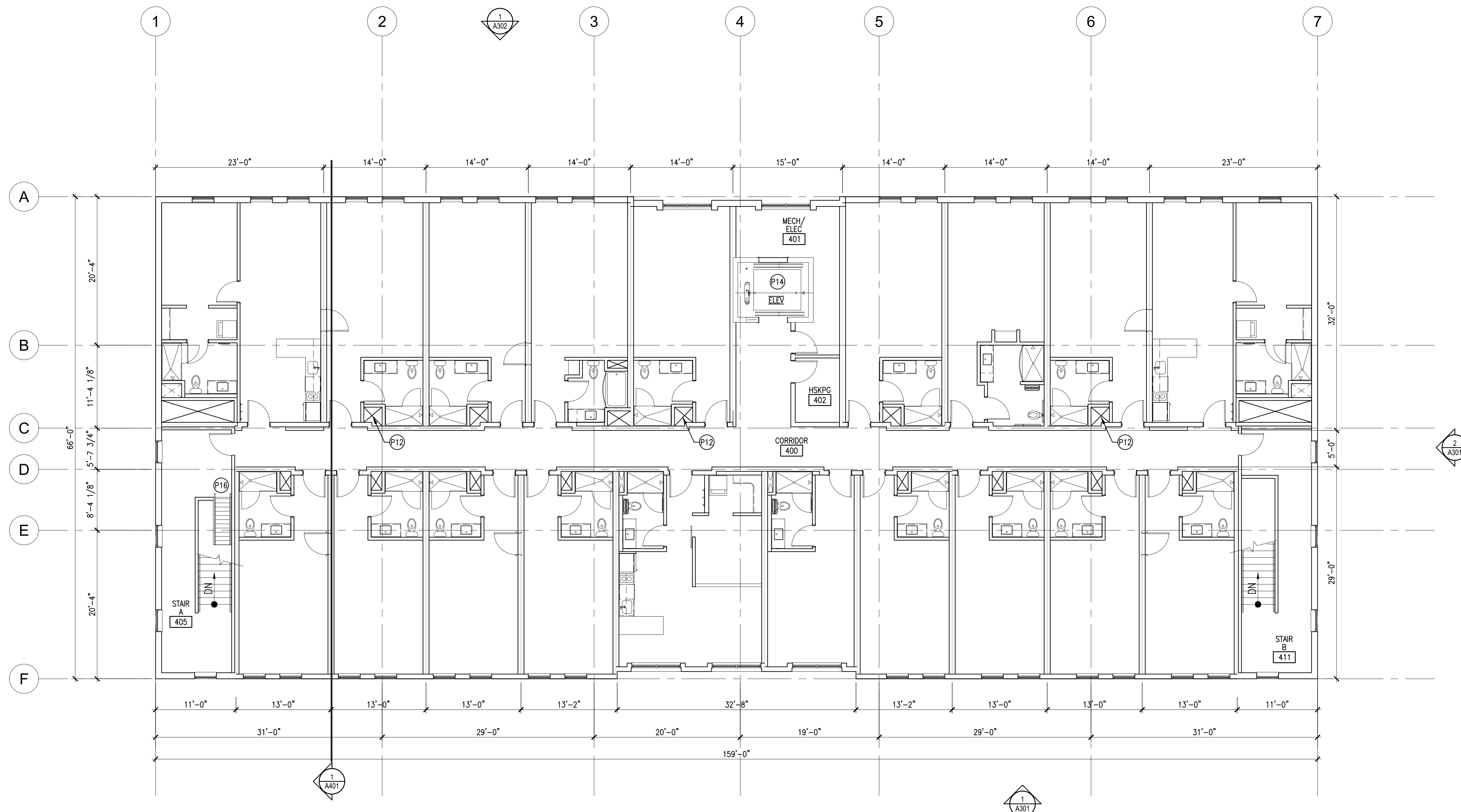


PLAN GENERAL NOTES

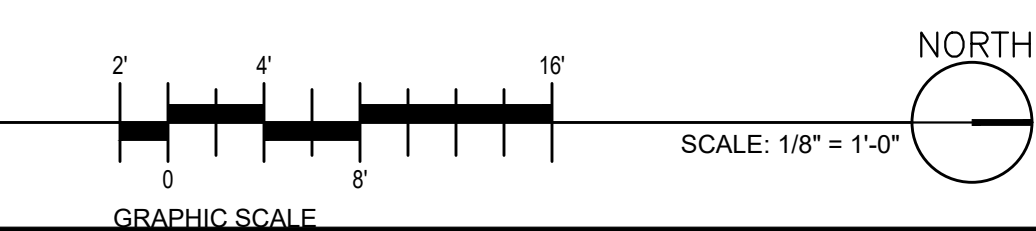
- DIMENSIONS ON EXTERIOR WALLS ARE TO THE INSIDE FACE OF FOUNDATION WALL AND/OR METAL STUD FRAMING
- ALL DOOR FRAMES ARE 4" FROM ADJACENT WALL ON HINGE SIDE, UNO
- VERIFY FINAL LOCATION OF ALL EQUIPMENT PRIOR TO INSTALLATION OF ELECTRICAL, PLUMBING OR MECHANICAL HOOK-UPS.
- ALL WALLS TO ROOF DECK, UNO TO ACCOMMODATE DEFLECTION OF THE ROOF AND FLOOR STRUCTURE, ASSEMBLY TO BE UL LISTED
- PROVIDE CONTROL JOINTS IN GYP BD WALLS AS RECOMMENDED BY MANUF
- PROVIDE MOISTURE RESISTANT GYP BD ON TOILET ROOM WET WALLS AND ADJACENT TO MOP SINK
- PROVIDE 4'x8' FIRE RATED TREATED PLYWOOD ON WALL IN ELEC ROOM FOR TELEPHONE DEMARCATION POINT
- NO COMBUSTIBLE MATERIALS ALLOWED IN PLENUM SPACE
- SEAL ALL OPENINGS OR PENETRATIONS IN THE TENANT DEMISING WALLS, AND OPEN AREAS AT THE ROOF DECK WALL INTERSECTION, TO PREVENT ODOR OR SOUND FROM BEING TRANSMITTED THROUGH OPENINGS INTO ADJACENT TENANT SPACES. MAINTAIN FIRE RATING AT ALL RATED WALLS/FLOORS
- PROVIDE DIRECTIONAL EXIT SIGNS PER CODE (SECTION 1013.1), SEE ELEC PLANS
- SEE CIVIL PLANS FOR SLAB ELEVATIONS
- SEE STRUCTURAL PLANS FOR COLUMN/BEAM LOCATIONS
- PROVIDE AND POST "OCCUPANCY LOAD X" SIGN IN ALL ASSEMBLY OCCUPANCIES, IBC SECTION 1004.3, SEE SHEET A009

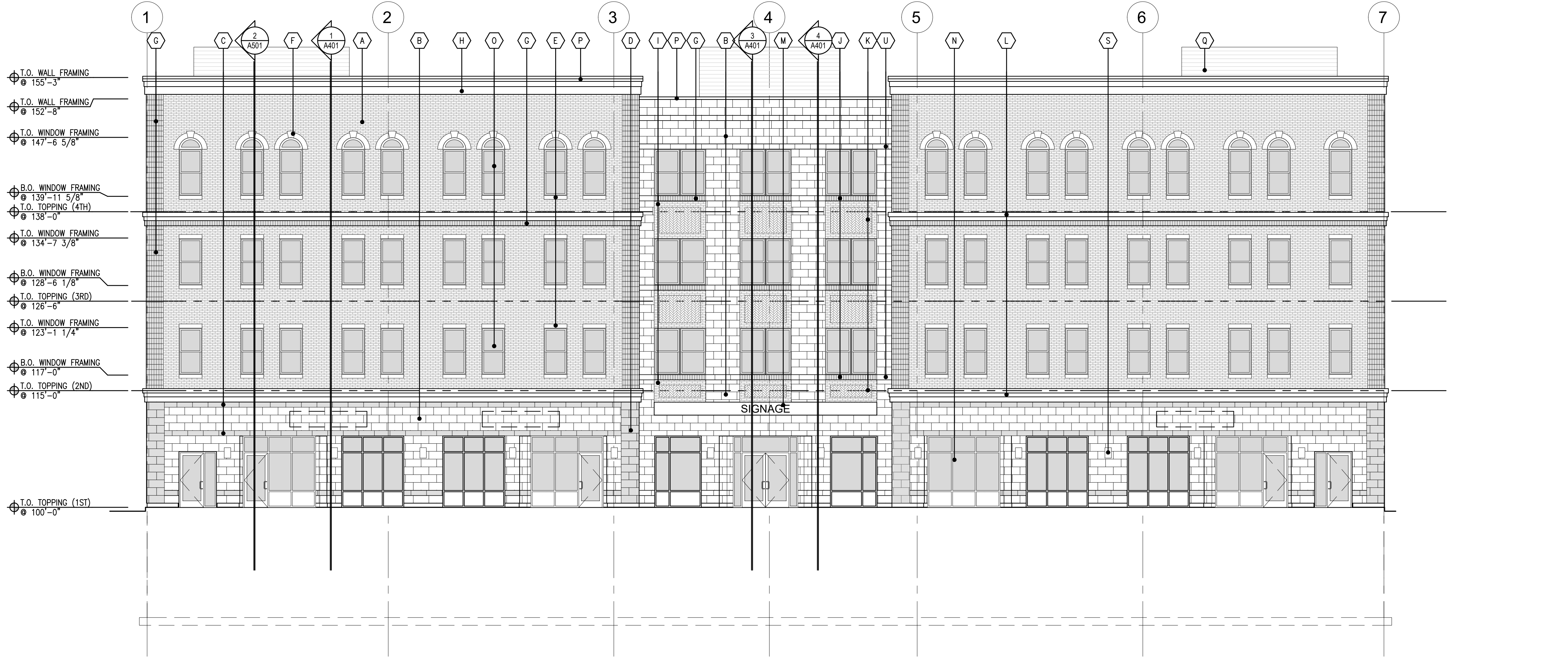
PLAN KEYNOTES

- NOTE: NOT ALL NOTES ARE USED ON EACH SHEET
- (P1) PROVIDE SEMI-RECESSED FIRE CABINET W/ PORTABLE FIRE EXTINGUISHER, PER IBC 906, SEE DETAIL 1/A1001.
 - (P2) PROVIDE RECESSED FIRE DEPARTMENT KEY BOX, COORDINATE LOCATION W/ FIRE MARSHAL
 - (P3) PROVIDE SEMI-RECESSED FIRE ANNUNCIATOR PANEL
 - (P4) PROVIDE CONCRETE PATIO SYSTEM, SEE CIVIL PLANS
 - (P5) PROVIDE STRUC STOOP AT DOOR, W/ 18" MIN CONC ON PULL/LATCH SIDE OF DOOR (STOOP HIGH POINT TO BE 1/4" BELOW T.O.S. ELEV SLOPE CONC AWAY FROM DOOR 1/4" PER FT), SEE STRUC PLANS FOR SIZE AND COORD W/ CIVIL PLANS
 - (P6) PROVIDE ELECTRICAL PANELS, SEE ELEC PLANS
 - (P7) NOT USED
 - (P8) PROVIDE HOSE BIB, SEE PLUMBING PLANS
 - (P9) PROVIDE ELECTRIC WATER COOLER/ BOTTLE FILLER COMBO, SEE PLUMBING PLANS
 - (P10) PROVIDE MOP SINK, SEE PLUMBING PLANS
 - (P11) PROVIDE FLOOR DRAIN, SEE DETAIL 15/A1001. SEE PLUMBING PLANS
 - (P12) PROVIDE RAIN LEADER, SEE PLUMBING AND CIVIL PLANS
 - (P13) PROVIDE RECYCLING AREA, PER SPS 362
 - (P14) PROVIDE MACHINE ROOM-LESS TRACTION ELEVATOR (3,500 LBS), COORDINATE SHAFT SIZES, PIT DEPTH AND OVERRUN DISTANCE W/ ELEVATOR SUPPLIER
 - (P15) PROVIDE EXIT DISCHARGE BARRIER (GATE), PER IBC SECTION 1023.8, SEE DETAIL 14/A1001
 - (P16) PROVIDE SHIPS LADDER FOR ROOF ACCESS
 - (P17) PROVIDE RETAINING WALL W/ GUARDRAIL SYSTEM, SEE CIVIL
 - (P18) NOT USED
 - (P19) NOT USED
 - (P20) WRAP STRUCT COLUMN AND/OR ROOF DRAIN AS TIGHT AS POSSIBLE W/ MTL FRAMING AND 5/8" GYP BD
 - (P21) LINE OF CANOPY ABOVE
 - (P22) PROVIDE DOUBLE SIDED GAS FIREPLACE



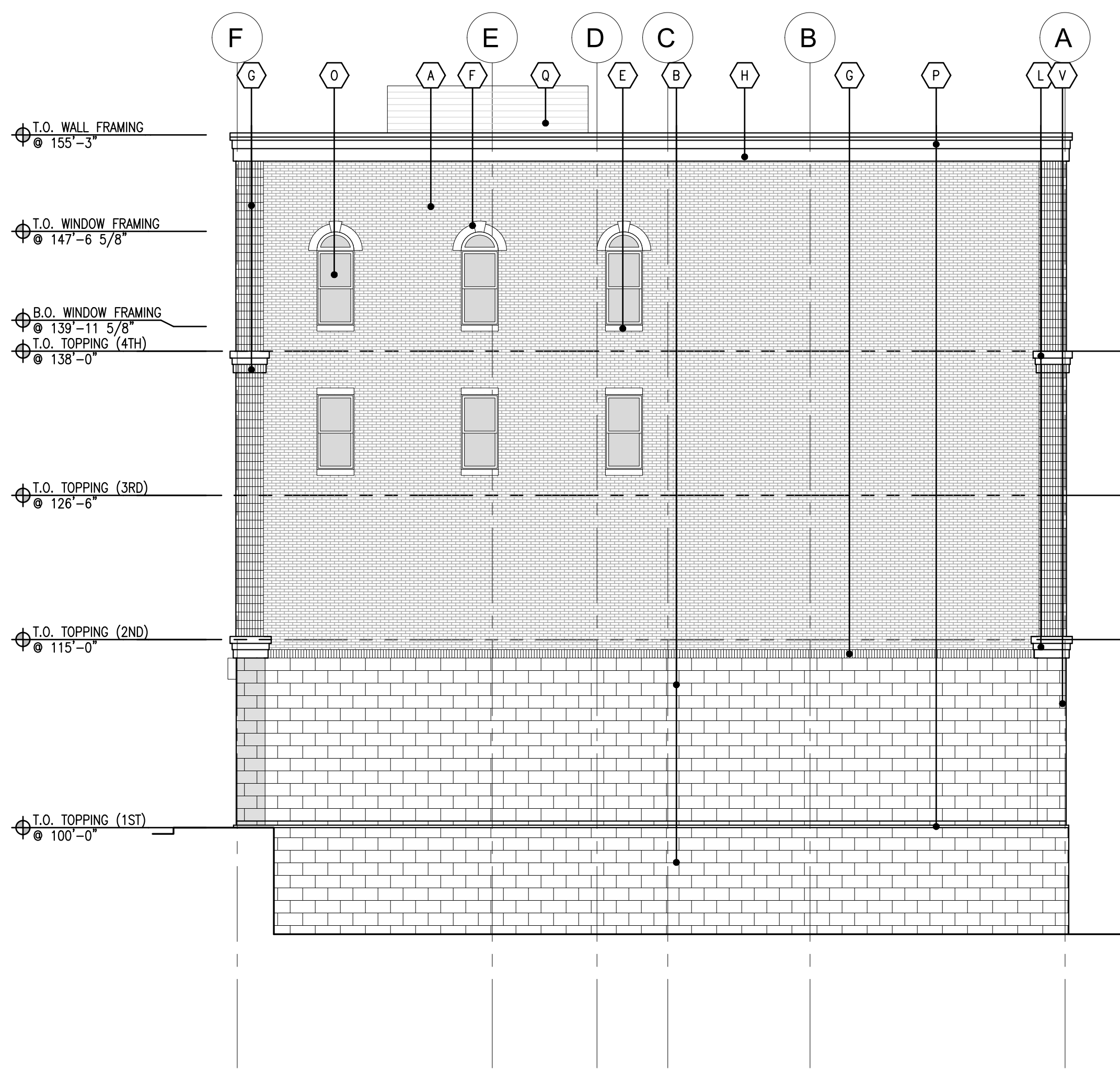
1 FOURTH LEVEL FLOOR PLAN
 A105





1 EAST ELEVATION
A301

SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
A301

SCALE: 1/8" = 1'-0"

MATERIAL KEYNOTES

- A THIN BRICK #1:
MANUF: ENDICOTT
PRODUCT: THIN BRICK
SIZE: MODULAR X 1/2"
COLOR: RUBY RED BLEND
FINISH: VELOUR
- B CULTURED STONE:
MANUF: ARRISCRAFT
PRODUCT: ARRIS-TILE RENAISSANCE
FINISH: SMOOTH
SIZE: 23 5/8" X 11 5/8" X 3/4"
COLOR: TAN
- C CULTURED STONE BAND:
MANUF: ARRISCRAFT
PRODUCT: ARRIS-TILE RENAISSANCE
FINISH: ROCKED
SIZE: 23 5/8" X 7 5/8" X 3/4"
COLOR: CAFE
- D CULTURED STONE QUOINS:
MANUF: ARRISCRAFT
PRODUCT: ARRIS-TILE RENAISSANCE
FINISH: ROCKED
SIZE: 23 5/8" X 11 5/8" X 3/4"
COLOR: CAFE
- E 6" PRECAST HEAD/SILL:
MANUF: ARRISCRAFT
PRODUCT: ARRIS-CAST
FINISH: SMOOTH
SIZE: 36" X 6" X 3/4"
COLOR: TAN
- F ARCHED EYEBROW W/ KEYSTONE:
MANUF: ARRISCRAFT
PRODUCT: ARRIS-CAST
FINISH: SMOOTH
COLOR: TAN
PROFILE: CUSTOM
- G THIN BRICK #1 SOLDIER COURSE:
MANUF: ENDICOTT
PRODUCT: THIN BRICK
SIZE: MODULAR X 1"
COLOR: RUBY RED BLEND
FINISH: VELOUR
- H PRECAST CORNICE:
MANUF: ARRISCRAFT
PRODUCT: ARRIS-CAST
COLOR: TAN
FINISH: SMOOTH
PROFILE: CUSTOM
- I THIN BRICK #2:
MANUF: ENDICOTT
PRODUCT: THIN BRICK
SIZE: MODULAR X 1"
COLOR: LIGHT SANDSTONE
FINISH: SMOOTH
- J THIN BRICK #2 SOLDIER COURSE:
MANUF: ENDICOTT
PRODUCT: THIN BRICK
SIZE: MODULAR X 1"
COLOR: LIGHT SANDSTONE
FINISH: SMOOTH
- K THIN BRICK #2 HERRINGBONE:
MANUF: ENDICOTT
PRODUCT: THIN BRICK
SIZE: MODULAR X 1/2"
COLOR: LIGHT SANDSTONE
FINISH: SMOOTH
- L PRECAST STONE BAND:
MANUF: ARRISCRAFT
PRODUCT: ARRIS-CAST
COLOR: TAN
FINISH: SMOOTH
PROFILE: CUSTOM
- M ALUMINIUM COMPOSITE MATERIAL EYEBROW:
MANUF: ARCONIC
PRODUCT: REYNOBOND
COLOR: DEEP BLACK
- N ALUMINIUM STOREFRONT SYSTEM:
MANUF: OLDCASTLE (OR EQUAL)
PRODUCT: SERIES 3000XT
COLOR: BLACK
- O SINGLE HUNG WINDOW:
MANUF: ANDERSEN
PRODUCT: 100 SERIES
COLOR: BLACK
- P PREFINISHED METAL CAP/SILL FLASHING:
MANUF: CMG (OR EQUAL)
COLOR: SANDSTONE
- Q MECHANICAL SCREEN:
MANUF: ENVISOR (OR EQUAL)
PRODUCT: HORIZONTAL RIB
COLOR: PUTTY (MATTE FINISH)
- R INSULATED OVERHEAD GARAGE DOOR:
MANUF: MIDLAND (OR EQUAL)
COLOR: BLACK
- S WALL SCIENCE:
MANUF: TBD
COLOR: BLACK
- T COMPOSITE DECK SYSTEM W/ METAL RAILING:
RAILING: BLACK
SUBSTRUCTURE: BROWN TREATED
DECKING: TREX (OR EQUAL)
- U CULTURED STONE BAND:
MANUF: ARRISCRAFT
PRODUCT: ARRIS-TILE RENAISSANCE
FINISH: ROCKED
SIZE: 23 5/8" X 7 5/8" X 3/4"
COLOR: TAN
- V CULTURED STONE QUOINS:
MANUF: ARRISCRAFT
PRODUCT: ARRIS-TILE RENAISSANCE
FINISH: ROCKED
SIZE: 23 5/8" X 11 5/8" X 3/4"
COLOR: TAN
- W DECORATIVE FENCE:
MANUF: AMERISTAR
PRODUCT: MONTAGE PLUS
COLOR: BLACK
- X CAST STONE WALL CAP:
MANUF: ARRISCRAFT
PRODUCT: ARRIS-TILE RENAISSANCE
FINISH: SMOOTH
SIZE: CUSTOM
COLOR: TAN

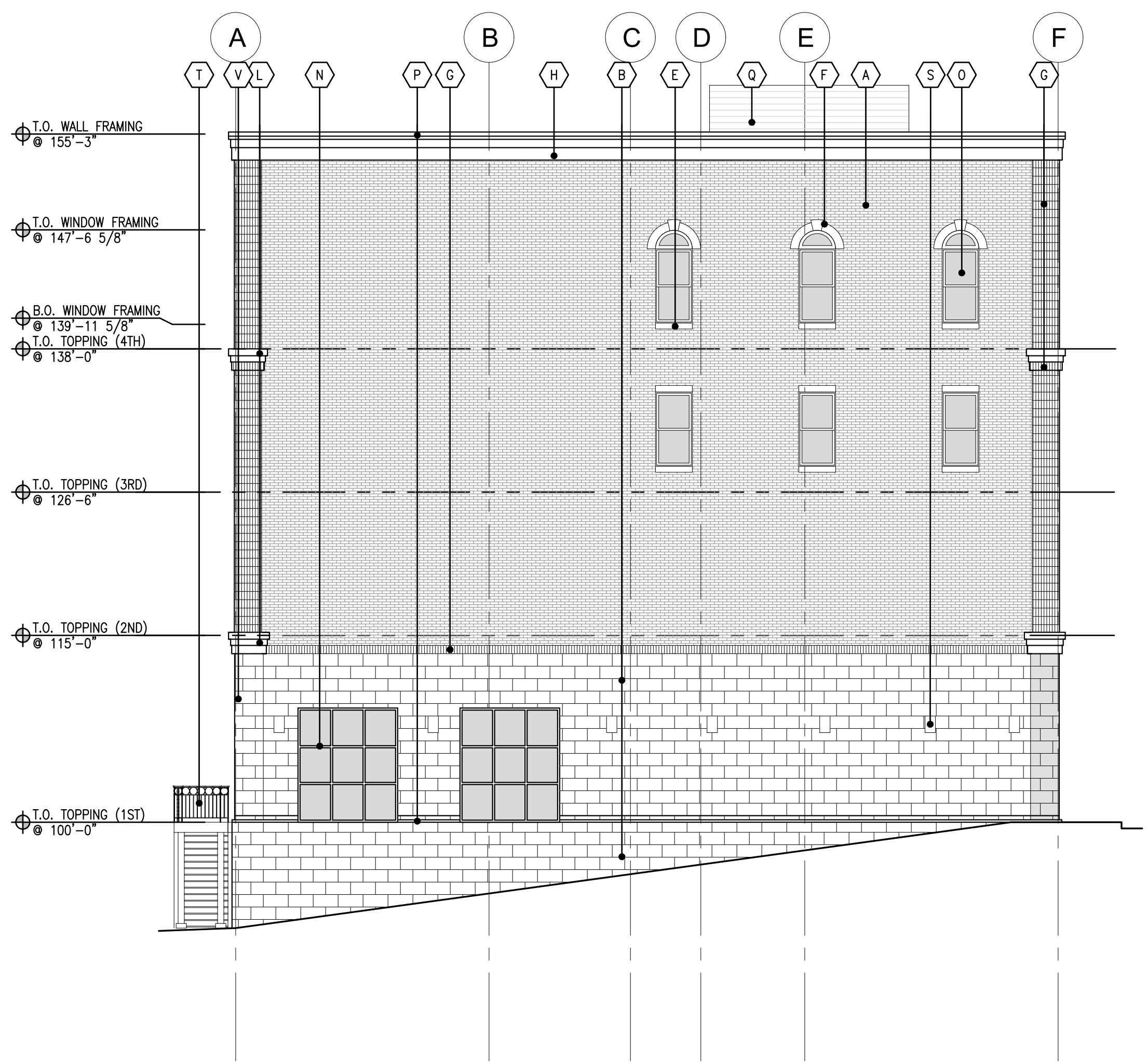
ISSUES / REVISIONS:

SITE PLAN REVIEW	04.20.2026
HFC REVIEW	05.22.2026
BOX SET	06.19.2026



1 WEST ELEVATION
A302

SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
A302

SCALE: 1/8" = 1'-0"

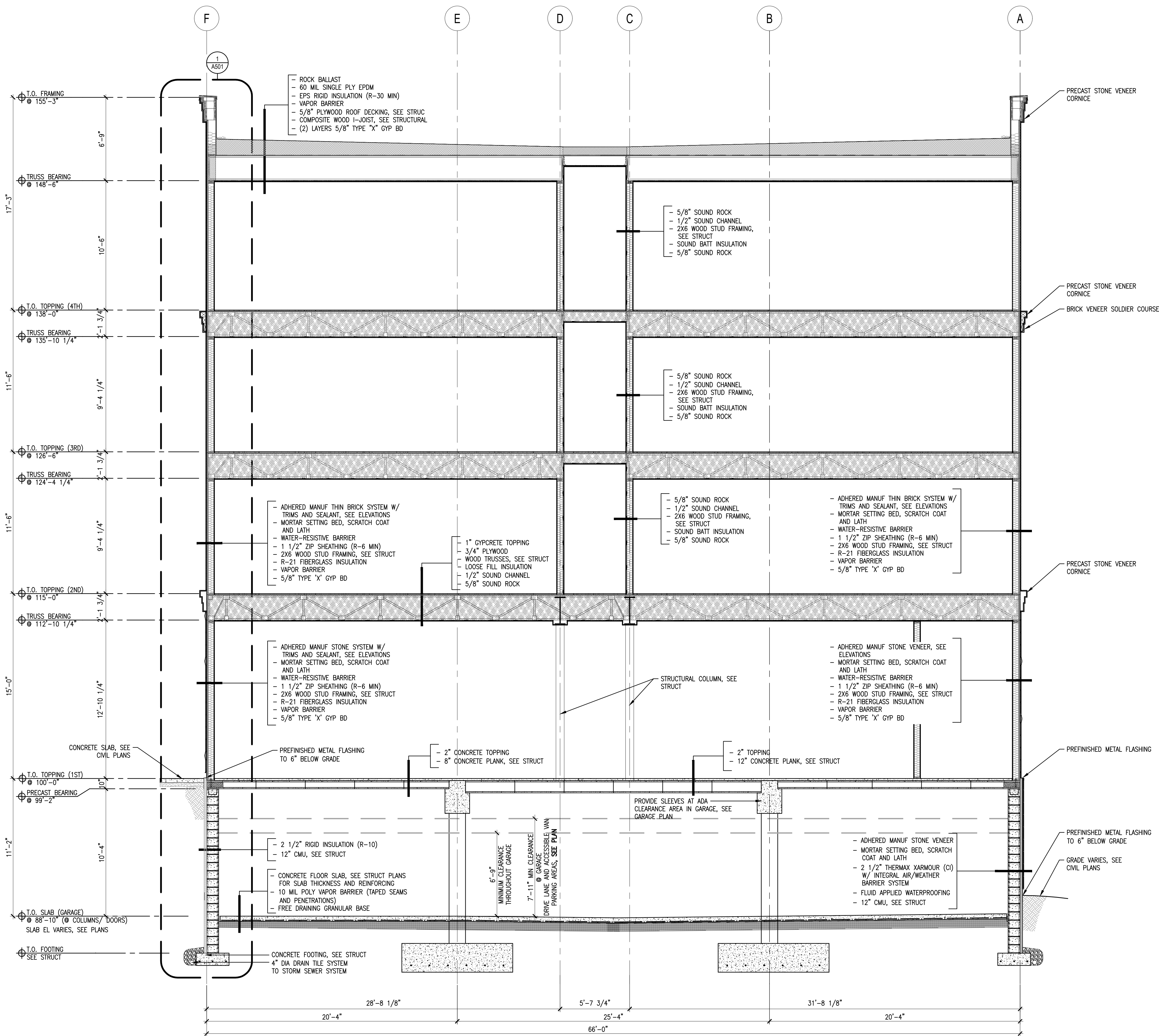
MATERIAL KEYNOTES

- A THIN BRICK #1:
MANUF: ENDICOTT
PRODUCT: THIN BRICK
SIZE: MODULAR X 1/2"
COLOR: RUBY RED BLEND
FINISH: VELOUR
- B CULTURED STONE:
MANUF: ARRISCRAFT
PRODUCT: ARRIS-TILE RENAISSANCE
FINISH: SMOOTH
SIZE: 23 5/8" X 11 5/8" X 3/4"
COLOR: TAN
- C CULTURED STONE BAND:
MANUF: ARRISCRAFT
PRODUCT: ARRIS-TILE RENAISSANCE
FINISH: ROCKED
SIZE: 23 5/8" X 7 5/8" X 3/4"
COLOR: CAFE
- D CULTURED STONE QUOINS:
MANUF: ARRISCRAFT
PRODUCT: ARRIS-TILE RENAISSANCE
FINISH: ROCKED
SIZE: 23 5/8" X 11 5/8" X 3/4"
COLOR: CAFE
- E 6" PRECAST HEAD/SILL:
MANUF: ARRISCRAFT
PRODUCT: ARRIS-CAST
FINISH: SMOOTH
SIZE: 36" X 6" X 3/4"
COLOR: TAN
- F ARCHED EYEBROW W/ KEYSTONE:
MANUF: ARRISCRAFT
PRODUCT: ARRIS-CAST
FINISH: SMOOTH
COLOR: TAN
PROFILE: CUSTOM
- G THIN BRICK #1 SOLDIER COURSE:
MANUF: ENDICOTT
PRODUCT: THIN BRICK
SIZE: MODULAR X 1"
COLOR: RUBY RED BLEND
FINISH: VELOUR
- H PRECAST CORNICE:
MANUF: ARRISCRAFT
PRODUCT: ARRIS-CAST
COLOR: TAN
FINISH: SMOOTH
PROFILE: CUSTOM
- I THIN BRICK #2:
MANUF: ENDICOTT
PRODUCT: THIN BRICK
SIZE: MODULAR X 1"
COLOR: LIGHT SANDSTONE
FINISH: SMOOTH
- J THIN BRICK #2 SOLDIER COURSE:
MANUF: ENDICOTT
PRODUCT: THIN BRICK
SIZE: MODULAR X 1"
COLOR: LIGHT SANDSTONE
FINISH: SMOOTH
- K THIN BRICK #2 HERRINGBONE:
MANUF: ENDICOTT
PRODUCT: THIN BRICK
SIZE: MODULAR X 1/2"
COLOR: LIGHT SANDSTONE
FINISH: SMOOTH
- L PRECAST STONE BAND:
MANUF: ARRISCRAFT
PRODUCT: ARRIS-CAST
COLOR: TAN
FINISH: SMOOTH
PROFILE: CUSTOM
- M ALUMINIUM COMPOSITE MATERIAL EYEBROW:
MANUF: ARCONIC
PRODUCT: REYNOBOND
COLOR: DEEP BLACK
- N ALUMINIUM STOREFRONT SYSTEM:
MANUF: OLDCASTLE (OR EQUAL)
PRODUCT: SERIES 3000XT
COLOR: BLACK
- O SINGLE HUNG WINDOW:
MANUF: ANDERSEN
PRODUCT: 100 SERIES
COLOR: BLACK
- P PREFINISHED METAL CAP/SILL FLASHING:
MANUF: CMG (OR EQUAL)
COLOR: SANDSTONE
- Q MECHANICAL SCREEN:
MANUF: ENVISOR (OR EQUAL)
PRODUCT: HORIZONTAL RIB
COLOR: PUTTY (MATTE FINISH)
- R INSULATED OVERHEAD GARAGE DOOR:
MANUF: MIDLAND (OR EQUAL)
COLOR: BLACK
- S WALL SCONCE:
MANUF: TBD
COLOR: BLACK
- T COMPOSITE DECK SYSTEM W/ METAL RAILING:
RAILING: BLACK
SUBSTRUCTURE: BROWN TREATED
DECKING: TREX (OR EQUAL)
- U CULTURED STONE BAND:
MANUF: ARRISCRAFT
PRODUCT: ARRIS-TILE RENAISSANCE
FINISH: ROCKED
SIZE: 23 5/8" X 7 5/8" X 3/4"
COLOR: TAN
- V CULTURED STONE QUOINS:
MANUF: ARRISCRAFT
PRODUCT: ARRIS-TILE RENAISSANCE
FINISH: ROCKED
SIZE: 23 5/8" X 11 5/8" X 3/4"
COLOR: TAN
- W DECORATIVE FENCE:
MANUF: AMERISTAR
PRODUCT: MONTAGE PLUS
COLOR: BLACK
- X CAST STONE WALL CAP:
MANUF: ARRISCRAFT
PRODUCT: ARRIS-TILE RENAISSANCE
FINISH: SMOOTH
SIZE: CUSTOM
COLOR: TAN

ISSUES / REVISIONS:

SITE PLAN REVIEW	04.20.2025
HFC REVIEW	05.22.2025
30% SET	06.19.2025

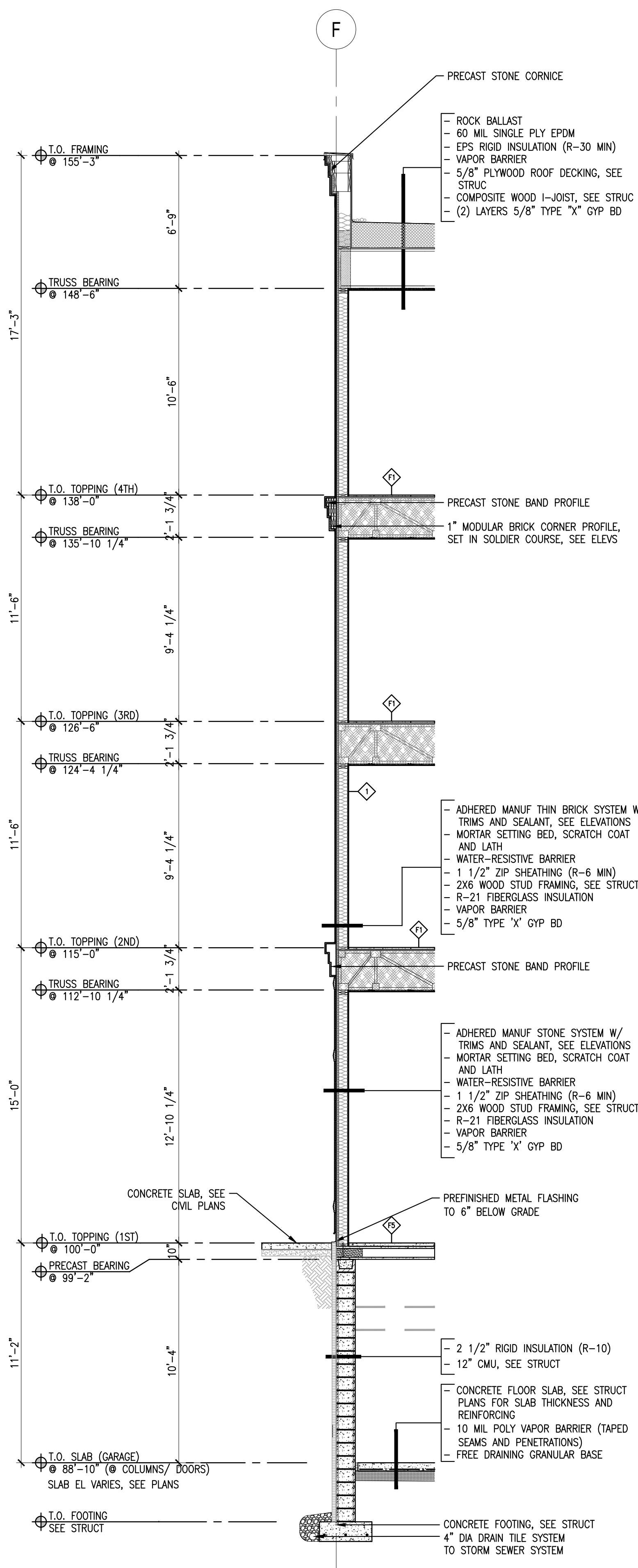
ISSUES / REVISIONS:	
SITE PLAN REVIEW	04.20.2026
HFC REVIEW	05.22.2026
30% SET	06.19.2026



1 BUILDING SECTION
 A401

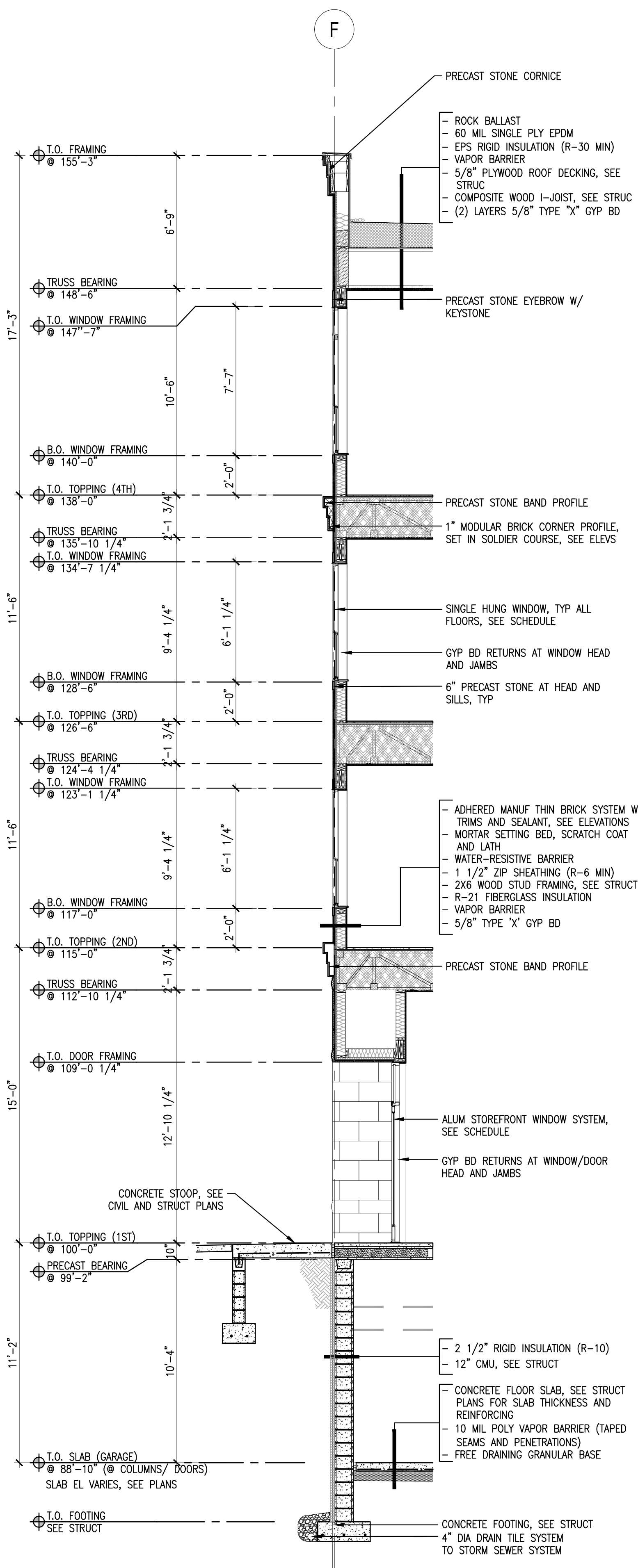
SCALE: 1/4" = 1'-0"

W:\25053 Archer House - Northfield\Drawings\A401 - Bldg Section.dwg | 10/15/2025 1:52:34 PM (Dwgs) User: jeh | Bldg Section - Main.dwg



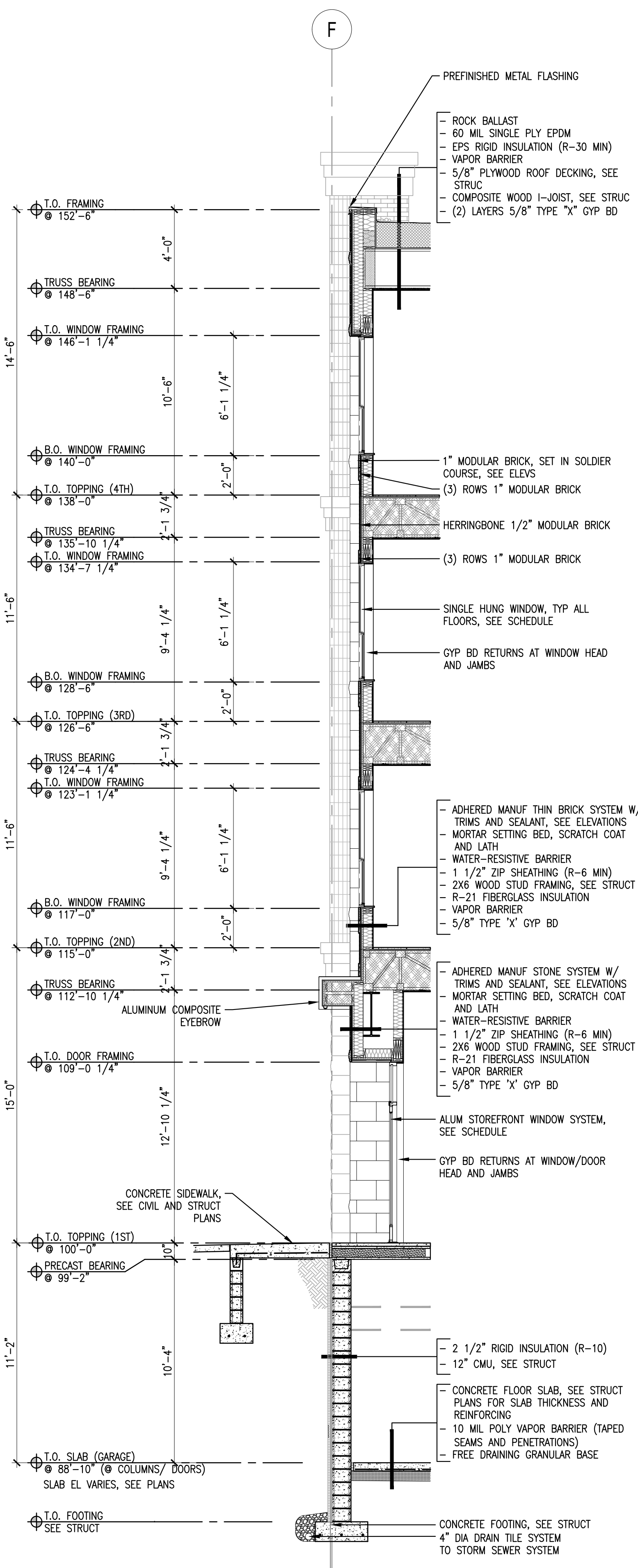
1 WALL SECTION
A501

SCALE: 1/4" = 1'-0"



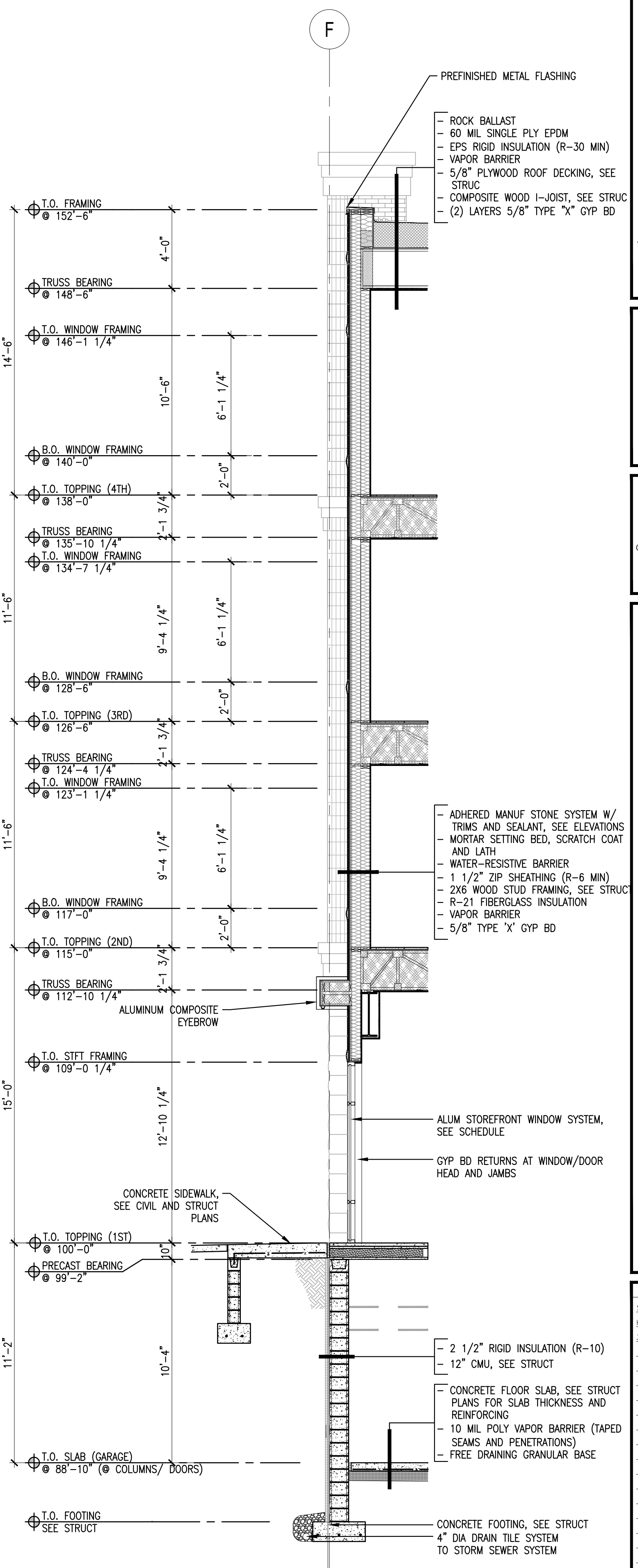
2 WALL SECTION
A501

SCALE: 1/4" = 1'-0"



3 WALL SECTION
A501

SCALE: 1/4" = 1'-0"



4 WALL SECTION
A501

SCALE: 1/4" = 1'-0"

ISSUES / REVISIONS:

SITE PLAN REVIEW	04.20.2026
HFC REVIEW	05.22.2026
30% SET	06.19.2026

W:\25053 Archer House - Northfield\Drawings\A501 - Wall Sections.dwg | 11.15.2025 11:11 AM | Title: Wall Section | User: JEM | PLOT: 06/19/2026



the hall

Bagels Inc.

THE ARCHER HOUSE

THE DOWNTOWN DINER



EAST - CONCEPT RENDERING



06/03/26 Proposal
Conditionally Approved

EAST - CONCEPT RENDERING

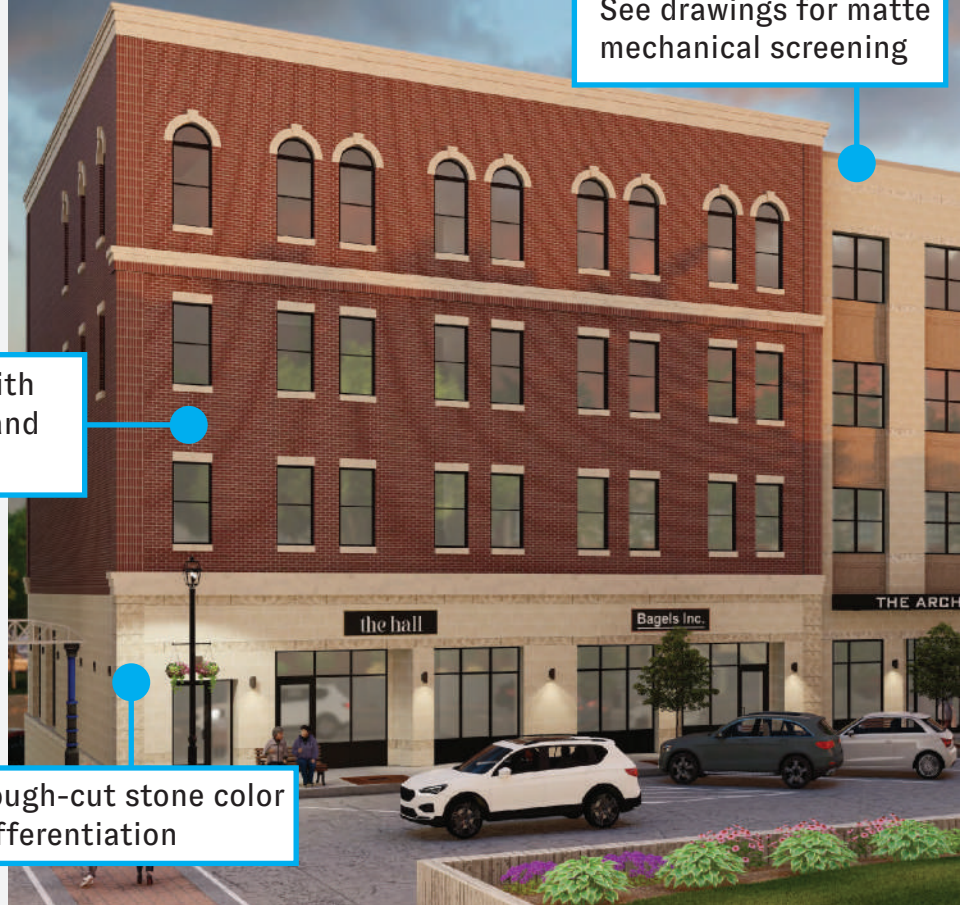


07/01/26 Proposal



Brick selection with less variegation and velour finish

06/03/26 Proposal
Conditionally Approved



See drawings for matte mechanical screening

Rough-cut stone color differentiation

07/01/26 Proposal



06/03/26 Proposal
Conditionally Approved

Semi-circular Arch



New stone supplier
& color at trim locations

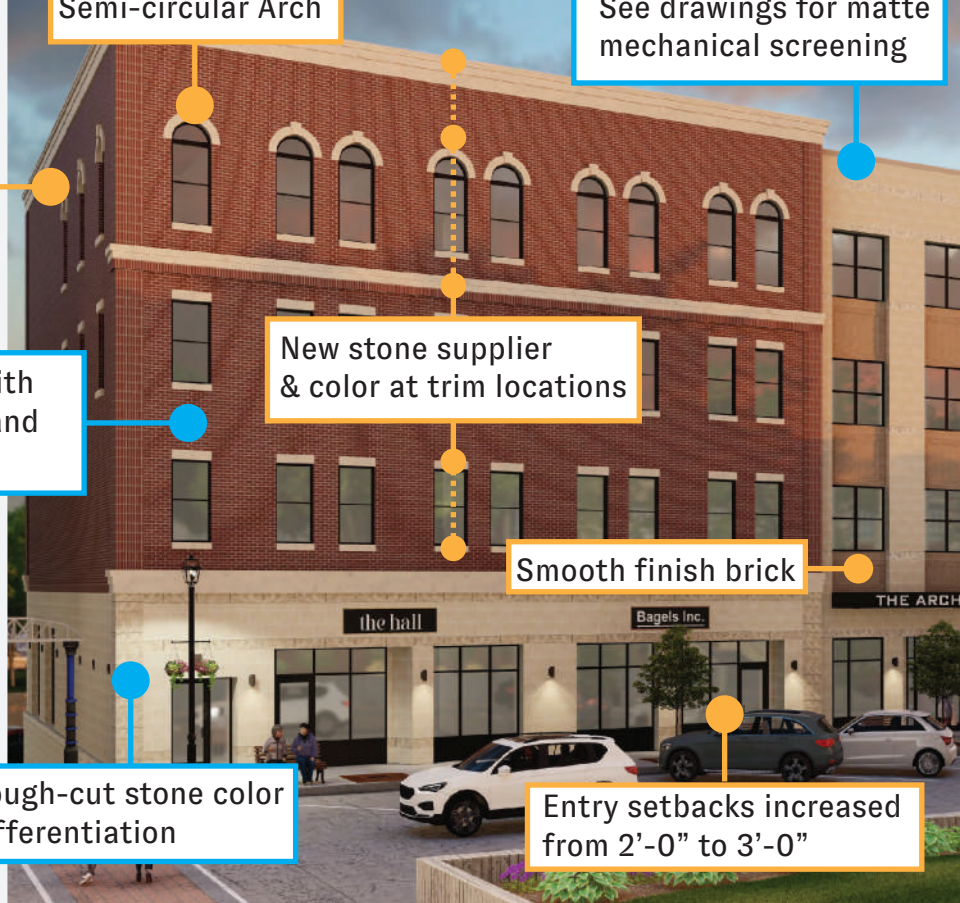
Smooth finish brick

Entry setbacks increased
from 2'-0" to 3'-0"

07/01/26 Proposal



06/03/26 Proposal
Conditionally Approved



07/01/26 Proposal

■ HPC Conditions

■ Additional Refinement

WEST - CONCEPT RENDERING



06/03/26 Proposal
Conditionally Approved

WEST - CONCEPT RENDERING



07/01/26 Proposal



06/03/26 Proposal
Conditionally Approved




Arch top added to windows at Level 4 rear elevation

One course of rock-faced stone added

07/01/26 Proposal

 HPC Conditions

 Additional Refinement



Legislation Text

File #: 26-339, Version: 1

HPC Meeting Date: July 1, 2026

To: Members of the Heritage Preservation Commission

From: Mathias Hughey, Interim City Planner

..Title
Staff Updates.

..Body
Action Requested:
Staff provide updates to the Heritage Preservation Commission.

Summary Report:
City Council & Board/Commission Updates
- The upcoming agenda items list is attached for reference.
- The meeting schedule for the year is attached.

Zoning Code Update & Redesign
- Houseal Lavigne, the consultant working on the zoning code update, is summarizing all the feedback collected and working on preliminary recommendations.
- Zoning Code Update website is attached! Updates will be posted throughout the project.

Planning Applications & Related Updates
- See the hyperlink in the attachments for the City's Development Map.
- Staff continue to work with Post Consumer Brands on the Ames Mill Dam. The main discussion includes timeline of transferring ownership of the dam. The dam is part of our Downtown Historic District, so a certificate of appropriateness and Section 106 review will be required.

Minor COA Updates
- A minor COA was approved for signage at Modern Therapeutics at 502 Division St. S. See attached

Training Opportunities
- The Maryland Department of Planning has free webinars on a variety of topics. Please see the link in the attachments to view and/or subscribe.
- The National Alliance for Preservation Commissions (NAPC) has webinars related to historic preservation. The city is a member and can share webinar links if there is interest.
- The NAPC is hosting their bi-annual conference in Minneapolis! Forum 2026 will be July 22-26. The city is an NAPC member and can review adding commissioners who may wish to attend who are interested.

Alternative Options:
N/A

Financial Impacts:
N/A

Tentative Timeline:
N/A



City of Northfield

Upcoming Agenda Items

City Hall
801 Washington Street
Northfield, MN 55057
northfieldmn.gov

City Council

Tuesday, July 7, 2026

- TMP 26-282** Public Hearing Related to Charter Commission Proposed Ordinance Amending Section 4.1 of the Northfield City Charter.
Drafter: Martig
Notes: Public Hearing #1 (15 min.)
- TMP 26-483** Consideration of Summary Publication of Ordinance 1094 Related to the Vacation of the Drainage & Utility Easement within 2420 Bridgewater Ln.
Drafter: Schmidt
Notes: Consent
- TMP 26-487** Consider Motion Authorizing Submittal of Application for the Building Resilient Infrastructure and Communities (BRIC) Grant and Flood Mitigation Assistance Grant for Downtown Flood Improvements.
Drafter: Bennett
Notes: consent
- TMP 26-512** Consider Approval of a Temporary Liquor License for Tanzenwald Brewing Company, LLC dba Tanzenwald Brewing Company for August 20, 2026 for the Friends of Downtown Northfield Third Thursday Event.
Drafter: Peterson
Notes: Consent
- TMP 26-519** Consider Approving Disbursements totaling \$
Drafter: Grant
Notes: consent
- TMP 26-543** Approve Application for Off-Site Gambling Permit for the Defeat of Jesse James Days Committee, Inc. at Northfield Ballroom, 450 Montessori Court, on September 9, 2026.
Drafter: Peterson
Notes: Consent
- TMP 26-544** Consider Resolution Appointing Election Judges for the 2026 Primary and General Elections.

Drafter: Peterson

Notes: Consent

TMP 26-548

Consider Joint Resolution between the City of Dundas and the City of Northfield for the Detachment and Annexation of Part of 2420 Bridgewater Ln.

Drafter: Schmidt

Notes: consent?

TMP 26-549

Consider a Drainage, Utility, Use & Maintenance Agreement for Property Located as Part of the Dundas Commons Final Plat.

Drafter: Schmidt

Notes: consent?

TMP 26-407

Consider Resolution Accepting Public Improvements and Approving Final Payment for the 2024 College Street and Water Street Areas Reconstruction Project (STR2024-A77).

Drafter: Simonson

Notes: Consent

TMP 26-408

Consider Resolution Accepting Public Improvements and Approving Final Payment for the Jefferson Parkway West Mill and Overlay and Mill Towns State Trail Improvements Project (STR2024-A78).

Drafter: Simonson

Notes: Consent

TMP 26-498

Approve the Northfield Fire Relief Association request for fire relief pension benefits

Drafter: Martig

Notes: consent

TMP 26-509

Consider Resolution Approving MnDOT Railroad Crossing Signal Agreement for the Railroad Crossing Gate Improvements at Second Street, Third Street and St. Olaf Avenue.

Drafter: Simonson

Notes: Consent

TMP 26-331

Consider Approval of Updated Economic Development Authority (EDA) Enabling Resolution.

Drafter: Martig

Notes: consent

- TMP 26-457** Consider Resolution Accepting Bids and Awarding Contract for Northwest Area Water Tower Site.
Drafter: Wagner
Notes: Consent
- TMP 26-465** Consideration of Approval of Professional Services Contract with Engineering Firm for the Wastewater Treatment Plant Pretreatment, Primary and Generator Project.
Drafter: Wagner
Notes: Consent
- TMP 26-472** Consideration of a Conditional Use Permit for Off-Street Parking at 212 Division St. S.
Drafter: Hughey
Notes: consent; pending PC
- TMP 25-846** Consider Resolution approving Contract with the State of Minnesota for the Reconstruction of the Mill Towns State Trail in Sechler Park.
Drafter: Bennett
Notes: consent
- TMP 26-280** Consider Ordinance 1095 Amending Section 4.1 of the Northfield City Charter (First Reading).
Drafter: Martig
Notes: Immediately After Public Hearing #1 (5 min.)
- Ord. 1094** Consider Second Reading of Ordinance 1094 Vacating a Drainage and Utility Easement within 2420 Bridgewater Ln.
Drafter: Schmidt
Notes: consent
- TMP 26-151** Consider Approval of Safe Streets and Roads for All (SS4A) Planning Grant with FHWA.
Drafter: Bennett
Notes: Consent
- TMP 25-986** Reports From the Mayor and Council Members.
Drafter: Martig
Notes: update
- TMP 26-140** City Administrator's Update.

Drafter: Martig

Notes: update

TMP 25-889 Northfield Historical Society Annual Presentation.

Drafter: Martig

Notes: Presentation #1 (10 min.)

TMP 26-541 Police Department Mentorship Program Presentation

Drafter: Schroepfer

Notes: Presentation #2 (15 min.)

TMP 25-755 Consider Approval of June 16, 2026 City Council Meeting Minutes.

Drafter: Peterson

Notes: consent

Tuesday, July 14, 2026

TMP 26-284 Consider Summary Publication of Ordinance No. 1095 Amending Section 4.1 of the Northfield City Charter.

Drafter: Peterson

Notes: Special Meeting #2 (5 min.); vote only

TMP 26-290 Discussion on Organized Curbside Compost.

Drafter: Bennett

Notes: Work Session #1 (30 min.)

TMP 26-281 Consider Ordinance 1095 Amending Section 4.1 of the Northfield City Charter (Second Reading).

Drafter: Martig

Notes: Special Meeting #1 (5 min.)

TMP 26-173 Review of Proposed 2027-2028 HRA Budget and HRA Levy.

Drafter: Hanson

Notes: Delete item and combine with TMP 26-389 (budget presentation)?

TMP 26-389 2027-2028 Budget Worksession.

Drafter: Angelstad

Notes: Work Session #5 (90 min.)

- TMP 25-886** Review Fee Schedule Changes effective January 1, 2027.
Drafter: Peterson
Notes: Work Session #4 (15 min.)
- TMP 26-530** Review of Broadband Franchising Option Related to Modernization of Cable Franchising and City Alternative Revenue Strategic Priority.
Drafter: Martig
Notes: Work Session #3 (30 min.)
- TMP 26-540** Review the proposed 2027 Northfield Area Fire & Rescue Service Budget and Capital Equipment Plan and Related City of Northfield of Fire Department 2027 Contribution.
Drafter: Martig
Notes: Work Session #2 (15 min.)

Tuesday, July 21, 2026

- TMP 26-524** Consider Motion approving the Sibley Swale Park Improvement Plan.
Drafter: Tussing
Notes: Regular (15 min)
- TMP 26-525** Consider Motion approving the Oddfellows Park Improvement Plan.
Drafter: Tussing
Notes: Regular (15 min)
- TMP 26-413** Consider Approval of Agreement with MnDOT for Railroad Crossing Signal Improvement at Third Street, Second Street, and St. Olaf Avenue.
Drafter: Bennett
Notes: Consent
- TMP 26-551** Proclaiming Vintage Band Festival Week.
Drafter: Martig
Notes: consent
- TMP 25-887** Consider Approval of Temporary Liquor Licenses for the Defeat of Jesse James Days Committee.
Drafter: Peterson
Notes: consent
- TMP 25-647** Consider approval of agreement with Post Consumer Brands. for Ames

Mill Dam Ownership Transfer to the City of Northfield.

Drafter: Bennett

Notes: Regular #__ (15 min.)

TMP 26-477

Consider Resolution Providing for the Issuance and Sale of \$_____ General Obligation Street Reconstruction and Equipment Bonds, Series 2026A.

Drafter: Bennett

Notes: Regular

TMP 26-179

Consider Approval of Sale of Property at 1600 Riverview Ln by Northfield Hospital + Clinics.

Drafter: Bennett

Notes: #1 Immediately Following Public Hearing #1 (5 min.)

TMP 26-185

Consider Approval of Grant Contract Agreement with the State of Minnesota for Local Housing Trust Fund Grant (2025) in the Amount of \$150,000.

Drafter: Hanson

Notes: consent

TMP 26-177

Public Hearing on Sale of Property in at 1600 Riverview Ln (Northfield Hospital + Clinics)

Drafter: Bennett

Notes: Public Hearing #1 (5 min.)

TMP 26-141

City Administrator's Update.

Drafter: Martig

Notes: update

TMP 25-893

Age Friendly Northfield (AFN) Mid-Year Presentation.

Drafter: Martig

Notes: Presentation #__ (10 min.); confirmed 5/4/26

TMP 25-768

Consider Approval of July 7, 2026 City Council Meeting Minutes.

Drafter: Peterson

Notes: consent

TMP 25-769

Consider Approval of July 14, 2026 City Council Work Session Minutes.

Drafter: Peterson

Notes: consent

Monday, August 3, 2026

TMP 26-550 Consideration of Resolution Ordering Preparation of Feasibility Report for the 2027 Reclamation Project.

Drafter: Simonson

Notes: Consent

TMP 26-003 First Reading of Ordinance to Amend Chapter 34: Land Development Code: Article 5. Subdivision of Land. 5.26 Parks, Trails and Open Space Dedication Related to Park & Trail Dedication Fees.

Drafter: Schmidt

Notes: Regular #__ (___ min.)

TMP 25-958 City Administrator's Update.

Drafter: Martig

Notes: update

TMP 25-770 Consider Approval of July 21, 2026 City Council Meeting Minutes.

Drafter: Peterson

Notes: consent

Tuesday, August 18, 2026

TMP 26-142 City Administrator's Update.

Drafter: Martig

Notes: update

TMP 26-152 Discuss Safe Streets and Roads for All (SS4A) Planning RFP- Scope of Services.

Drafter: Bennett

Notes: Regular #__ (___ min.)

TMP 26-390 2027-2028 Budget Worksession.

TMP 25-771 Consider Approval of August 3, 2026 City Council Meeting Minutes.

Drafter: Peterson

Notes: consent

Tuesday, August 25, 2026

- TMP 26-006** Summary Publication Notice for the Text Amendment to Park Dedication Fees.
Drafter: Schmidt
Notes: consent
- TMP 26-513** Public Hearing for Wellhead Protection Plan Part 2 Update.
Drafter: Wagner
Notes: Public Hearing
- TMP 26-005** Second Reading of Ordinance to Amend the Text Related to Park & Trail Dedication Fees.
Drafter: Schmidt
Notes: Consent
- TMP 26-143** City Administrator's Update.
Drafter: Martig
Notes: update
- TMP 26-191** 2026 Second Quarter Financial & Investment Updates
Drafter: Angelstad
Notes: consent
- TMP 25-772** Consider Approval of August 18, 2026 City Council Meeting Minutes.
Drafter: Peterson
Notes: consent

Housing & Redevelopment Authority

Tuesday, July 7, 2026

TMP 26-376 Election of Housing and Redevelopment Authority Officer of Secretary.

Drafter: hanson

Notes: Regular #1 (5 min.)

TMP 26-377 Consider HRA Resolution 2026-XXX For Forgiving a Forgivable Loan to Three Rivers Community Action for the Construction and Completion of Spring Creek II Affordable Housing Development.

Drafter: Hanson

Notes: Regular #2 (15 mins.)

26-377 Consider HRA Resolution 2026-XXX Approval of Consultant Service Contract with Three Rivers Community Action to continue Mobile (Manufactured) Home Rehabilitation Services and Authorizing Budget Amendment for Services.

Drafter: Hanson

Notes: Regular #3 (10 min.)

TMP 26-488 Staff Updates

Drafter: Hanson

Notes: update #1 (5 min.)

TMP 26-077 Consider Approval of April 21, 2026 Housing and Redevelopment Authority Meeting Minutes.

Drafter: Peterson

Notes: consent

Tuesday, August 25, 2026

TMP 26-178 Adopt a Local Housing Trust Fund Policy.

Drafter: Hanson

Notes: consent; may be deleted

TMP 26-165 Staff Updates

Drafter: Hanson

TMP 26-421 Consider Adopting a Manufactured Home Acquisition Program

TMP 26-078 Consider Approval of June 16, 2026 Housing and Redevelopment Authority Meeting Minutes.

Drafter: Peterson

Notes: consent

TMP 26-312 Update to Down Payment Assistance and Home Rehabilitation Policies

Drafter: Hanson

Board/Commission	Meeting Date
Heritage Preservation Commission (HPC)	Wednesday, January 7, 2026
Charter Commission	Thursday, January 8, 2026
Housing and Redevelopment Authority (HRA) Work Session	Tuesday, January 13, 2026
Library Board	Wednesday, January 14, 2026
Northfield Area Fire and Rescue Services	Thursday, January 15, 2026
Planning Commission (PC)	Thursday, January 15, 2026
Environmental Quality Commission (EQC)	Wednesday, January 21, 2026
Hospital Board	Thursday, January 22, 2026
Economic Development Authority (EDA)	Monday, January 26, 2026
Heritage Preservation Commission (HPC)	Wednesday, February 4, 2026
Housing and Redevelopment Authority (HRA)	Tuesday, February 17, 2026
Environmental Quality Commission (EQC)	Wednesday, February 18, 2026
Northfield Area Fire and Rescue Services	Thursday, February 19, 2026
Planning Commission (PC)	Thursday, February 19, 2026
Economic Development Authority (EDA)	Monday, February 23, 2026
Human Rights Commission (HRC)	Wednesday, February 25, 2026
Hospital Board	Thursday, February 26, 2026
Heritage Preservation Commission (HPC)	Wednesday, March 4, 2026
Housing and Redevelopment Authority (HRA) Work Session	Tuesday, March 10, 2026
Library Board	Wednesday, March 11, 2026
Charter Commission	Thursday, March 12, 2026
Environmental Quality Commission (EQC)	Wednesday, March 18, 2026
Northfield Area Fire and Rescue Services	Thursday, March 19, 2026
Planning Commission (PC)	Thursday, March 19, 2026
Economic Development Authority (EDA)	Monday, March 23, 2026
Hospital Board	Thursday, March 26, 2026
Heritage Preservation Commission (HPC)	Wednesday, April 1, 2026
Environmental Quality Commission (EQC)	Wednesday, April 15, 2026
Northfield Area Fire and Rescue Services	Thursday, April 16, 2026
Planning Commission (PC)	Thursday, April 16, 2026
Housing and Redevelopment Authority (HRA)	Tuesday, April 21, 2026
Human Rights Commission (HRC)	Wednesday, April 22, 2026
Hospital Board	Thursday, April 23, 2026
Economic Development Authority (EDA)	Monday, April 27, 2026
Heritage Preservation Commission (HPC)	Wednesday, May 6, 2026
Library Board	Wednesday, May 13, 2026
Charter Commission	Thursday, May 14, 2026
Environmental Quality Commission (EQC)	Wednesday, May 20, 2026
Northfield Area Fire and Rescue Services	Thursday, May 21, 2026
Planning Commission (PC)	Thursday, May 21, 2026
Hospital Board	Thursday, May 28, 2026
Heritage Preservation Commission (HPC)	Wednesday, June 3, 2026
Housing and Redevelopment Authority (HRA)	Tuesday, June 16, 2026
Environmental Quality Commission (EQC)	Wednesday, June 17, 2026
Northfield Area Fire and Rescue Services	Thursday, June 18, 2026
Planning Commission (PC)	Thursday, June 18, 2026
Economic Development Authority (EDA)	Monday, June 22, 2026
Human Rights Commission (HRC)	Wednesday, June 24, 2026
Hospital Board	Thursday, June 25, 2026

Board/Commission	Meeting Date
Heritage Preservation Commission (HPC)	Wednesday, July 1, 2026
Library Board	Wednesday, July 8, 2026
Charter Commission	Thursday, July 9, 2026
Environmental Quality Commission (EQC)	Wednesday, July 15, 2026
Northfield Area Fire and Rescue Services	Thursday, July 16, 2026
Planning Commission (PC)	Thursday, July 16, 2026
Hospital Board	Thursday, July 23, 2026
Economic Development Authority (EDA)	Monday, July 27, 2026
Heritage Preservation Commission (HPC)	Wednesday, August 5, 2026
Environmental Quality Commission (EQC)	Wednesday, August 19, 2026
Northfield Area Fire and Rescue Services	Thursday, August 20, 2026
Planning Commission (PC)	Thursday, August 20, 2026
Economic Development Authority (EDA)	Monday, August 24, 2026
Housing and Redevelopment Authority (HRA)	Tuesday, August 25, 2026
Human Rights Commission (HRC)	Wednesday, August 26, 2026
Hospital Board	Thursday, August 27, 2026
Heritage Preservation Commission (HPC)	Wednesday, September 2, 2026
Library Board	Wednesday, September 9, 2026
Charter Commission	Thursday, September 10, 2026
Environmental Quality Commission (EQC)	Wednesday, September 16, 2026
Northfield Area Fire and Rescue Services	Thursday, September 17, 2026
Planning Commission (PC)	Thursday, September 17, 2026
Hospital Board	Thursday, September 24, 2026
Economic Development Authority (EDA)	Monday, September 28, 2026
Heritage Preservation Commission (HPC)	Wednesday, October 7, 2026
Northfield Area Fire and Rescue Services	Thursday, October 15, 2026
Planning Commission (PC)	Thursday, October 15, 2026
Housing and Redevelopment Authority (HRA)	Tuesday, October 20, 2026
Environmental Quality Commission (EQC)	Wednesday, October 21, 2026
Hospital Board	Thursday, October 22, 2026
Economic Development Authority (EDA)	Monday, October 26, 2026
Human Rights Commission (HRC)	Wednesday, October 28, 2026
Heritage Preservation Commission (HPC)	Wednesday, November 4, 2026
Library Board	Monday, November 9, 2026
Charter Commission	Thursday, November 12, 2026
Environmental Quality Commission (EQC)	Wednesday, November 18, 2026
Hospital Board	Thursday, November 19, 2026
Northfield Area Fire and Rescue Services	Thursday, November 19, 2026
Planning Commission (PC)	Thursday, November 19, 2026
Economic Development Authority (EDA)	Monday, November 23, 2026
Heritage Preservation Commission (HPC)	Wednesday, December 2, 2026
Housing and Redevelopment Authority (HRA)	Tuesday, December 8, 2026
Human Rights Commission (HRC)	Monday, December 14, 2026
Environmental Quality Commission (EQC)	Wednesday, December 16, 2026
Hospital Board	Thursday, December 17, 2026
Northfield Area Fire and Rescue Services	Thursday, December 17, 2026
Planning Commission (PC)	Thursday, December 17, 2026



Use existing Backboard & Border

Cut out & raised Logo & Letters

30"



MODERN
THERAPEUTICS

14'



MODERN
THERAPEUTICS

502 DIVISION STREET - NORTHFIELD, MN

Signage proposal
by Bohnhoff Design
612-968-5013